

Planning Commission Meeting  
700 Doug Davis Drive  
Hapeville, Georgia 30354

October 8, 2019

AGENDA

6:00 pm

1. Welcome And Introduction

2. Approval Of Minutes

- September 10, 2019

Documents:

[MINUTES 9-10-2019 \(DRAFT\).PDF](#)

3. New Business

3.I. 600 South Central Avenue Special Exception Request

Michael Foster on behalf of Regions Bank is requested approval of a special exception to authorize the installation of an Automated Teller Machine (ATM) at 600 South Central Avenue, Parcel Identification Number 14 009800200513. The property is zoned RMU, Residential Mixed Use and is located in the Arts District Overlay (A-D).

Staff Comment

Applicant Comment

Public Comment

Documents:

[600 SOUTH CENTRAL AVENUE - SPECIAL EXCEPTION \\_REDACTED.PDF](#)  
[PLANNERS REPORT SPECIAL EXCEPTION 600 S CENTRAL AVE ATM \(002\).PDF](#)

3.II. O Porsche Avenue Site Plan Review

Steven Ellis of PRO Building Systems, Inc. and authorized representative of Porsche Cars North America, Inc. is requesting site plan approval for the construction of an auto service center and repair facility located at 0 Porsche Avenue, Parcel Identification Number 14 0096LL0593. The property is zoned B-P, Business Park.

Staff Comment

Applicant Comment

Public Comment

Documents:

[PORSCHE AVENUE - SITE PLAN APPLICATION.PDF](#)  
[ELEVATIONS - PORSCHE SERVICE CENTER ATLANTA SOUTH.PDF](#)  
[ENGINEERS REPORT-PORSCHE SVC CTR SITE PLANS REVIEW -1.PDF](#)  
[PLANNERS REPORT SITE PLAN PORSCHE DR \(002\).PDF](#)

4. Next Meeting Date - November 12, 2019 At 6:00PM

5. Adjourn





## Planning Commission Meeting

700 Doug Davis Drive  
Hapeville, Georgia 30354

September 10, 2019 6:00PM

### MINUTES

#### 1. Welcome and Introduction

Chairman Brian Wismer called the meeting to order at 6:00 p.m. in the municipal annex located at 700 Doug Davis Drive, Hapeville, Georgia 30354. Members in attendance included Leah Davis, Lucy Dolan, Larry Martin, Charlotte Rentz, and Cliff Thomas. City Planner Michael Smith and Secretary Adrienne Senter were present.

Commissioner Jeanne Rast was unable to attend the meeting.

#### 2. Minutes of August 13, 2019

**MOTION ITEM:** Lucy Dolan made a motion, Charlotte Rentz seconded to approve the minutes of August 13, 2019 with noted correction. Motion Carried: 5-0.

#### 3. New Business

##### a. 257 Birch Street

##### Site Plan Request

David Cook requested site plan approval to construct a 3-bedroom, 2.5-bath, 1,777-sf, 1.5 story single-family home at 257 Birch Street, Parcel Identification Number 14 009400091767. The property is zoned R-1, One-Family Detached and is .05 acres. Parking will be provided by an 11' wide driveway running along the west side of the house.

Mr. Cook submitted a revised site plan to address the deficiencies outlined in the Planner's Report. The height of the proposed home will be 30.08'+/-. The setbacks are 8'8" on the east, 9.1" on the west, 16'1" on the front and 75'8" on the rear. The curb cut will be located on the east side. The concrete and driveway and walkway have been added to the site plan for a total of 29% of impervious surface.

According to Mr. Cook, a permit to remove 12 trees from 261 Birch Street was issued on November 12, 2018. At the time the permit was issued, they did not have an address for 257 Birch Street – that lot was listed as 0 Birch Street. The trees were removed in 2 phases: Phase 1 – 2 cottonwoods approximately 10 inches in diameter, 1 crape myrtle bush, five sapling trees – oak and maple which were all less than 5 inches in diameter. Prior to Phase 2, the lots were cleaned to make it safer and more economical to remove the remaining trees. Phase 2: 1 34" oak tree, one 33" oak tree, one 28" oak tree, and one 30" oak or maple tree were removed. During phase 2 one additional 28" oak tree was removed at 261 Birch Street.



Mr. Smith stated that any tree 30" or larger is considered a landmark tree and requires tree planting or payment into the tree bank. Mr. Cook proposes to plant 4 crape myrtle trees and 2 oak trees.

- Public Comment – None.

**MOTION ITEM:** Larry Martin made a motion, Lucy Dolan seconded to approve the site plan for 257 Birch Street provided that the applicant plant 2 oak trees to replace the 2 landmark trees that were removed. Motion Carried: 5-0.

**b. 261 Birch Street**

**Site Plan Request**

David Cook requested site plan approval to construct a 3-bedroom, 2.5-bath, 1,777-sf single-family home at 261 Birch Street, Parcel Identification Number 14 009400091130. The property is zoned R-1, One-Family Detached and is .05 acres. Parking will be provided by an 11' wide driveway running along the west side of the house.

The existing driveway is dilapidated and is connected to the driveway of the neighboring property. The curb cut will remain the same, but the applicant has proposed to add a 1' 2" grassy barrier to separate the 2 driveways. The driveway will be 11' wide.

All the deficiencies have been addressed. The applicant must submit revised drawings showing the change to the driveway.

- Public Comment – None.

**MOTION ITEM:** Larry Martin made a motion, Lucy Dolan seconded to approve the site plan for 261 Birch Street provided the applicant submit a revised plan showing an accurate depiction of the final driveway plan and plant 2 specimen trees to replace the removed landmark trees. Motion Carried: 5-0.

**c. 449 Walnut Street**

**Site Plan Request**

Bernard Vigilance requested site plan approval to construct a 4-bedroom, 3-bath, single-family home at 449 Walnut Street, Parcel Identification Number 14 009400040400. The property is zoned R-SF, Residential-Single Family and is .16 acres.

The structure will be built on a hill, with a height of 1.5 stories at the front and 2.5 stories in the rear. The dwelling will have 2,337-sf of heated floor area, a 1,358-sf unheated basement, and a 484-sf two-car garage, with a total roofed area of 4,275-sf including a porch. The plan will include a grass strip to separate the driveways.

**The following deficiencies were identified:**

- The applicant should provide the height of the structure from grade at both the front and rear in feet.
- The applicant should indicate the width of the proposed driveway and curb cut.



- The applicant should provide design cross sections for the driveway, sidewalk, and curb cut.
- The applicant should provide the type of trees to be planted.

Public Comment – None.

**MOTION ITEM:** Larry Martin made a motion, Lucy Dolan seconded to approve the site plan for 449 Walnut Street subject to the deficiencies outlined in the planner's report.  
**Motion Carried:** 5-0.

**d. 451 Walnut Street**

**Site Plan Request**

Bernard Vigilance is requesting site plan approval to construct a 4-bedroom, 3-bath, single-family home at 451 Walnut Street, Parcel Identification Number 14 009400040392. The property is zoned R-SF, Residential-Single Family and is .18 acres.

The structure will be built on a hill, with a height of 1.5 stories at the front and 2.5 stories in the rear. The dwelling will have 2,337-sf of heated floor area, a 1,358-sf unheated basement, and a 484-sf two-car garage, with a total roofed area of 4,275-sf including a porch. The plan will include a grass strip to separate the driveways.

**The following deficiencies were identified:**

- The applicant should provide the height of the structure from grade at both the front and rear in feet.
- The applicant should indicate the width of the proposed driveway and curb cut.
- The applicant should provide design cross sections for the driveway, sidewalk, and curb cut.
- The applicant should provide the type of trees to be planted.

Public Comment – None.

**MOTION ITEM:** Lucy Dolan made a motion, Cliff Thomas seconded to approve the site plan for 449 Walnut Street subject to the deficiencies outlined in the planner's report.  
**Motion Carried:** 5-0.

**e. 591 King Arnold Street**

**Site Plan Request**

Danny England of Office of Design Architect and representative of Miller Lowry Developments, LLC requested site plan approval to construct 18 townhomes at 591 King Arnold Street, Parcel Identification Number 14 003500040383. The property is zoned U-V, Urban Village and is approximately 0.993 acres.



### Planner's Report (Summary)

All townhomes will be three stories tall but will vary in height from grade at the street or entrance from two and a half stories to three stories. Heights in feet have only been provided for six of the townhomes, at 35' each. Twelve 3 bed/3.5 bath townhomes with approximately 1,830-sf of heated floor area each will be built directly along King Arnold Street in two blocks of six townhomes. An additional six 2 bed/2 bath townhomes will approximately 1,239-sf of heated floor area each will be built in the rear in two blocks of three townhomes. All units will have first floor two-car garages facing a shared alley. The site is developed and currently occupied by a one-story structure which will be removed.

The project as proposed will require the following variances from the Board of Appeals. Staff supports these variances.

1. Increase the number of permitted townhomes in the U-V district from 12 to 18 units.
2. Lower the minimum floor area per dwelling unit from 1,400-sf to 1,200-sf.
3. Allow for the development of residences without ground level non-residential uses.
4. Allow units 14-17 to be built without pedestrian access along the street.
5. Increase the maximum width allowed for curb breaks from 30' to 38.1'.

In addition, the site plan should be revised to address the following concerns identified per the planner's review for zoning compliance.

1. No setbacks are provided on the site plan.
2. No building heights have been provided in feet for the buildings along King Arnold Street.
3. The complete dimensions for length and width of the buildings have only been provided for buildings 13-18.
4. The plans should be revised to show all retaining walls.
5. Fences around front porches shown on the renderings are not included on the site plan or architectural drawings. Fences must be compliant with the Code.
6. The maximum allowed site coverage is 90%. No site coverages have been provided.
7. Trees must be planted an average of 40' on center in the supplemental area along North Fulton Avenue and Estelle Street.
8. A wall, fence, hedge, or retaining wall is required between all supplemental areas and sidewalks.
9. Street trees must be placed a maximum of every 40' on-center. The spacing between the street trees along King Arnold Street has not been provided.
10. Street trees must be provided along North Fulton Avenue and Estelle Street.
11. Curb breaks must be separated by at least 50'. The plans do not indicate the distance between the proposed curb breaks to the north.
12. Curb breaks must be at least 25' from the nearest intersection. The distance between the proposed curb breaks and the nearest intersections have not been provided.
13. The widths of the driveways connecting to the alley have not been provided.



The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards. While not required by zoning, the following concerns related to the site planning will need to be addressed or will require a Design Exception to comply with the Architectural Design Standards:

1. Units 14 and 17 have front entry garages.
2. In addition to an appropriate landscape buffer, a permanent opaque wall between six and height feet high and faced in wood, stacked stone, brick or hard-coat true stucco is required.
3. Streetlights are required.

Should the site plan address all the planner's comments and the City Engineer's comments then the site plan is recommended for approval by the Planning Commission subject to the approval of the required variances by the Board of Appeals.

#### Public Comments

1. Glen Summers expressed concerns regarding the size of the lot and parking.
2. Donna Ellington expressed concerns regarding flooding and requested a fence is installed along the rear of the property.
3. Earl Moorman inquired regarding the location of the Georgia Power transformer, the rain drain grate count, the number of loads of dirt, and parking along Estelle Street.
4. Bernard Oresti expressed concerns with density, parking and soil support for the rear units.

#### End of Public Comments.

Commissioner Rentz commented regarding the overall goal of the Livable Center's Initiative and the goal of the U-V and downtown district to promote developments with retail on the ground floor.

Commissioner Martin expressed concern with the density of the project and the lack of ground floor retail. In addition, he is concerned regarding the height of the development in particular to the increased shading and lack of sunlight and visibility to the existing properties. Also, Martin is concerned with the increase traffic near the school crossing.

**MOTION ITEM: Larry Martin made a motion, Lucy Dolan seconded to accept public comments. Motion Carried: 5-0.**

1. Glen Summers, spoke regarding parking.
2. Donna Ellington spoke regarding the rear fence.
3. Bernard Oresti commented regarding the traffic impact.
4. Earl Moorman inquired if the units would be owner occupied and if they would have firewalls.



Commissioner Rentz recommended the Planning Commission not include variance #3, request for the development of residences without ground level non-residential uses, as part of their recommendation to the Board of Appeals.

Commissioner Dolan expressed concern regarding ground floor retail abutting the residential neighborhood and does not support this development with retail as this will increase traffic and parking within the neighborhood.

**MOTION ITEM:** Cliff Thomas made a motion, Lucy Dolan seconded to approve the site plan for 591 King Arnold Street provided the applicant address the deficiencies outlined in the planner's and engineer's reports and approval of the required variances by the Board of Appeals. Motion Carried: 4-1; Larry Martin opposed.

**4. Next Meeting Date – October 8, 2019 at 6:00PM**

**5. Adjourn**

**MOTION ITEM:** Larry Martin made a motion, Charlotte Rentz seconded to adjourn the meeting at 8:08 p.m. Motion Carried: 5-0.

Respectfully submitted by,

\_\_\_\_\_  
Brian Wismer, Chairman

\_\_\_\_\_  
Adrienne Senter, Secretary

19-PC-10-23

**CITY OF HAPEVILLE  
ECONOMIC DEVELOPMENT DEPARTMENT  
PLANNING COMMISSION APPLICATION**

Name of Applicant Michael Foster

Mailing Address: 2100 First Avenue North, Birmingham, AL 35203

Telephone 205-252-8222 Mobile # [REDACTED] Email michael.foster@bdgllp.com

Property Owner (s) Regions Bank (John Earley)

Mailing Address 250 Riverchase Parkway East, Birmingham, AL 35244

Telephone 205-560-5348 Mobile #

Address/Location of Property: 600 South Central Avenue

Parcel I.D. # **(INFORMATION MUST BE PROVIDED):** 14 009800200513

Present Zoning Classification: RMU Size of Tract: 1.4053 acre(s)

Present Land Use: Bank

Please check the following as it applies to this application

☐ Site Plan Review

☐ Conditional Use Permit

☐ Temporary Use Permit

Other (Please State) Special Exception

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered too. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

[Signature]  
Applicant's signature

Date: 9/5/2019

Sworn to and subscribed before me

This 5 day of September 2019  
Kay D. Milstead  
Notary Public

Kay D. Milstead  
Notary Public  
State of Alabama at Large  
My Commission Expires 2/9/2020

**CITY OF HAPEVILLE  
ECONOMIC DEVELOPMENT DEPARTMENT  
PLANNING COMMISSION APPLICATION**

### WRITTEN SUMMARY

In detail, provide a summary of the proposed project in the space provided below. (Please type or print legibly.)

Addition of a new thru-wall ATM and removal of existing drive-thru window.

[illegible]



CITY OF HAPEVILLE  
ECONOMIC DEVELOPMENT DEPARTMENT  
PLANNING COMMISSION APPLICATION

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

600 South Central Avenue

Hapeville, GA

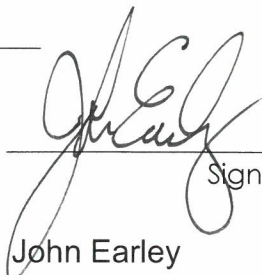
City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

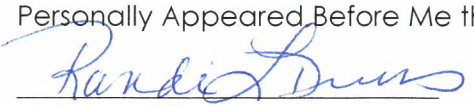
Name of Applicant Michael Foster

Address of Applicant  
2100 First Avenue North, Birmingham, AL 35203

Telephone of Applicant  
205-252-8222

  
\_\_\_\_\_  
Signature of Owner  
John Earley  
\_\_\_\_\_  
Print Name of Owner

Personally Appeared Before Me this 4 day of September, 2019.

  
\_\_\_\_\_  
Notary Public

RANDI L. DICUS  
Notary Public  
Alabama State at Large

### **Site Plan Checklist – Please include with your application.**

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan **must** contain the following information:

(Please **initial** each item on the list above certifying the all required information has been included on the site plan)

MF A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.

MF Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.

MF The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.

MF Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional sitting of adjoining structures, etc).

MF

The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.

MF

The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.

MF

Existing and proposed grades at an interval of five (5) feet or less.

N/A

The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93-2-14(y) to determine the required tree density for your lot(s).

N/A

A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.

N/A

The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.

N/A

The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.

N/A

The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.



N/A

Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.

MF

Location and size of all signs. Detached single-family residential development may be exempt from this requirement.

MF

Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.

MF

Site area (square feet and acres).

MF

Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.

N/A

Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.

N/A

Total floor area ratio and/or residential density distribution.

MF

Number of parking spaces and area of paved surface for parking and circulation

MF

At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please **initial** each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: 

Date 9/5/2019



August 9, 2019

To Whom it May Concern:

We are writing in support of the proposed text amendment to the code to allow construction of drive thru lanes on a limited basis. Drive thru ATM usage is central to the modern banking experience, and the level of service and convenience these stations afford our customers is widely used and universally expected.

We understand the intent of the drive thru restriction is to protect the character of the City of Hapeville, but suggest that this should not apply to financial institutions because they do not produce the negative results associated with other uses. The modern fast food chain drive thru, for example, is often associated with wide swathes of impervious surfaces; dramatically increased vehicular traffic; long lines of queuing cars that can stack out and obstruct adjacent roadways; large, garish lighting and signage infrastructure for wayfinding and branding. In contrast, bank drive thru ATMs are small, limited in number, and rarely stack up beyond one or two cars.

The most important distinction, however, is related to customer service. Bank drive thru ATMs allow us to deliver a high level of financial service to our customers during nights and weekends when such services would otherwise be unavailable. Bank drive thru ATMs are useful and convenient during normal branch operations, but absolutely essential when bank branches are closed. Our goal is to make this level of service available to our Hapeville branch patrons.

In our view, bank drive thrus deliver a high level of service to the community without the drawbacks often associated with other drive thru lane usage. They provide valuable services to the community when no other such service can be delivered. Further, with any new drive thru construction, we are committed to doing all that is required to meet the City of Hapeville's high standards and further enhance this community. With these considerations in mind, we encourage the Commission to approve the zoning amendment at issue.

Thank you for your consideration.

Sincerely,

A handwritten signature in blue ink, appearing to read "John Earley", written over a circular blue ink stamp.

John Earley  
Vice President  
Corporate Real Estate & Properties Department

Post Office Box 11007  
Birmingham, Alabama 35288





HAPEVILLE MAIN  
EXTERIOR PHOTO  
EXISTING CONDITIONS





"REGIONS GREEN"  
CANVAS AWNING ON  
ALUMINUM FRAME

TYPICAL SURROUND

THRU-WALL DRIVE-UP ATM



HAPEVILLE MAIN  
EXTERIOR PHOTO  
NEW WORK







RFC # OP015475  
Project Number: 600 South Central Ave.  
Site Name: Hapeville, GA 30354  
Address: 6/5/19  
City, ST, Zip: Date:



Site Approved: \_\_\_\_\_  
Date: \_\_\_\_\_



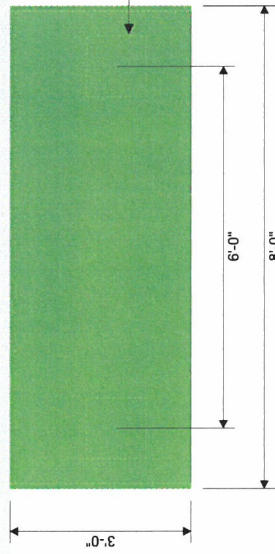
### CANOPY SPECIFICATIONS

ALUMINUM AWNING W/ DOWN LIGHTING.  
ALUMINUM FRAMING & SUPPORTS PAINTED  
PMS 370C ALUMINUM FRAME, WITH .080"  
ALUMINUM CLADDING, CLOSED ENDS, CLOSED BACKS.  
PAINTED PMS 370C.

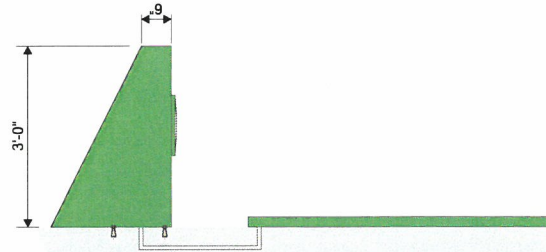
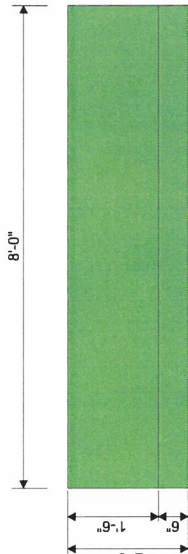
### COLOR SPECIFICATIONS

PMS 370C GREEN

WHITE



TOP VIEW  
SCALE: 1/2" = 1'-0"

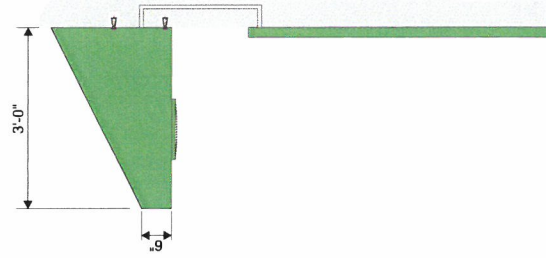


LEFT SIDE VIEW  
SCALE: 1/2" = 1'-0"

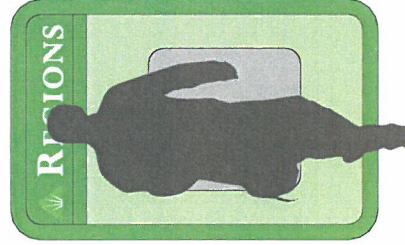
DOWN LIGHTING  
CLOSED BOTTOM WITH HOLES CUT FOR  
XSL S LED 50 SS CW LIGHT FIXTURES

### DOWN LIGHTING SPECIFICATIONS:

QTY (2) NEW XSL S LED 50 SS CW LIGHT FIXTURES FOR NEW AWNING,  
1 ON EACH SIDE OF AWNING PAINTED GREEN TO MATCH AWNING



RIGHT SIDE VIEW  
SCALE: 1/2" = 1'-0"



FRONT VIEW  
SCALE: 1/2" = 1'-0"



**Client Review Status**

Approved ☐ Approved as Noted ☐ Revises & Resubmit ☐

Name \_\_\_\_\_ Title \_\_\_\_\_

Date \_\_\_\_\_

**Declaration**

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**Date / Description**

|        |                   |
|--------|-------------------|
| 6/4/19 | Change light spec |
| 6/5/19 |                   |
| -      | -                 |
| -      | -                 |
| -      | -                 |

**Project Information**

Client: Regions Bank  
600 South Central Ave.  
Hapeville, GA 30354  
File: OP015475 Hapeville, GA 301  
Sales: House Design: LB PM JC



**Allen Industries**  
YOUR BRAND AT ITS BEST™  
**1-800-967-2553**  
[www.allenindustries.com](http://www.allenindustries.com)

PROPOSED ELEVATION



PHOTO ELEVATION DEPICTION INTENDED FOR GENERAL CONCEPT ILLUSTRATION ACTUAL SIZING, COLORS & PERSPECTIVE WILL VARY SLIGHTLY FROM IMAGE

**REGIONS**

Client Review Status

Allen Industries, Inc. has reviewed and approved this design for production. ☐ Approved ☐ Approved as Noted ☐ Revised & Resubmit

Name \_\_\_\_\_ Title \_\_\_\_\_

Declaration

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Date / Description

6/4/19 Issue Date

6/3/19 Change light spec

Project Information

Client Regions Bank

600 South Central Ave.

Hapeville, GA 30354

File OP015475 Hapeville, GA 301

Sales House Design LB PM JC

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1 SITE PLAN  
1" = 20'-0"

bdg  
architects

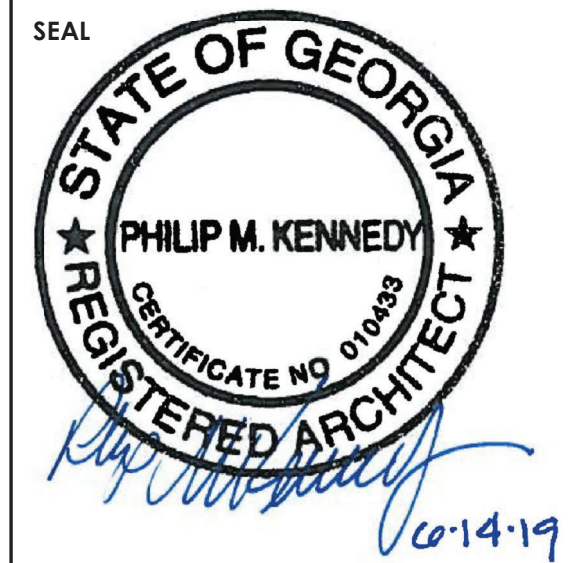
2100 1st Ave. North  
Ste. 100  
Birmingham, AL 35203

P: 205-252-8222  
Lic. # AA-0003590  
W: www.bdgllp.com

REGIONS®

REGIONS HAPEVILLE  
ATM ADDITION  
600 SOUTH CENTRAL AVENUE,  
HAPEVILLE, GA 30354  
REGIONS PROJECT #GASC193138ER

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| ISSUE | BY | DATE | DESCRIPTION |
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| PROJECT INFORMATION BLOCK |            |
|---------------------------|------------|
| JOB #                     | 183305     |
| DATE:                     | 05-10-2019 |
| DRAWN BY:                 | McR        |
| CHECKED BY:               | JQ         |

SHEET TITLE  
OVERALL  
ARCHITECTURAL  
SITEPLAN

SHEET NUMBER

A-100





**DEPARTMENT OF PLANNING AND ZONING  
PLANNER'S REPORT**

DATE: September 30, 2019  
TO: Adrienne Senter  
FROM: Michael Smith  
RE: **Special Exception Request – 600 South Central Avenue**

**BACKGROUND**

The City of Hapeville has received a special exception application from Mr. Michael Foster to permit a drive-up ATM accessory to a Regions Bank located at 600 South Central Avenue. The ATM would be located on the east side of the building, adjacent to an existing drive-through teller window, and would use the existing drive-through lane.

The property is zoned RMU, Residential Mixed-Use, and is within the A-D, Arts District overlay.

At the request of the applicant and in conjunction with this proposal, Mayor & City Council voted on September 17, 2019, to adopt a text amendment permitting drive-throughs in the A-D overlay when used by banks.

**REVIEW**

The following code sections are applicable to this application:

**ARTICLE 11.5. - RMU ZONE (RESIDENTIAL MIXED USE)**

**Sec. 93-11.5-1. - Intent.**

The RMU district is established in order to:

- (1) Ensure development that is consistent with neo-traditional planning practices, which are often defined by pedestrian-oriented buildings, interconnected streets, a mix of uses and housing types, and a compact walkable scale.
- (2) Help create a compact, dense, and distinguishable core area;
- (3) Provide for an urban form allowing mid-rise structures;
- (4) Encourage multiple uses within the same structure; and
- (5) Include street oriented activity and pedestrian amenities at the street level of structures.



**Sec. 93-11.5-3. - Permitted uses.**

The following are permitted within the RMU zone:

- (1) Business and professional offices/agencies, including:
  - j. Banks and other financial institutions (not including pawnshops, check cashing businesses, title pawn, and payday loans).

**ARTICLE 28. - A-D ZONE (ARTS DISTRICT OVERLAY)**

**Sec. 93-28-3. - Purpose.**

The purpose of the arts district overlay is to facilitate creation of an arts destination, sustain established arts and cultural uses and promote new arts and cultural uses. The arts district overlay seeks integration of the arts into the fabric of the community and is conceived as the location of art galleries and art studios forming the core of an arts district. A complementary mix of shops, restaurants and entertainment venues will support these uses. These elements are expected to generate interest in downtown Hapeville and attract arts and cultural events.

The arts district overlay features an expanded range of permitted uses focused on the arts while retaining all property rights established by the underlying zoning. The arts district overlay encourages adaptive reuse of historic buildings and new construction technologies, affording owners expanded development options. These measures will enhance the market attractiveness of the arts district.

Arts venues, community festivals, expanded arts uses and pedestrian character are expected to promote an arts district. Planned investment in public art, lighting, sidewalks and off-street parking will leverage private investment and enhance public safety. This combination of public and private investment is expected to advance Hapeville's position in regional leadership in the arts and stimulate broad economic revitalization. Importantly, the arts district overlay features walkable distances from nearby neighborhoods to small-scale establishments and live entertainment venues accommodated by the arts district overlay and compatible with the neighborhood character.

**Sec. 93-28-8. - Prohibited uses.**

The following uses shall be prohibited in the Arts District Overlay:

- (1) All drive-through facilities other than those permitted by special exception for accessory use by banks or credit unions.

**Sec. 93-24-10. - Special exceptions.**

- (a) Special exceptions and special property use permits shall be decided by the mayor and council.
- (b) The planning commission shall review and make nonbinding recommendations to the mayor and council on special exceptions and special property use permits.
- (c) Special exceptions may be sought for:
  - (1) Reduction of the number and size of parking spaces and off-street loading space requirements;

- (2) Location of off-street parking space and off-street loading spaces; and
  - (3) Location and number of drive-throughs.
- (d) When acting upon an application for a special exception, in addition to the requirements listed under the above references, the planning commission and the mayor and council shall give consideration to the following factors where applicable:
  - (1) The proposed design and location of the particular development;
  - (2) The possible traffic generating characteristics of the proposed development;
  - (3) The effects the proposed development will have on the present or intended character of the area in which it proposes to locate;
  - (4) The availability of public utilities, facilities and services; and
  - (5) The character, and effect of the parking demands of the proposed development.
- (e) After considering the above-listed factors and after reviewing the planning commission recommendation, the mayor and council shall take any actions or establish any reasonable conditions of approval, such as planted buffers, as will accomplish the intent and purpose of this chapter.

## **RECOMMENDATION**

The proposed design and location will partially obscure the ATM from the right-of-way by placing it behind an existing teller window and canopy. The Design Review Committee approved the design on August 21, 2019. No new drive-through lanes or infrastructure other than the ATM itself and the associated canopy will be required. As there is already a daytime teller window and a walk-up ATM adjacent to parking at the site, traffic generated by those seeking ATM access will likely reflect existing levels.

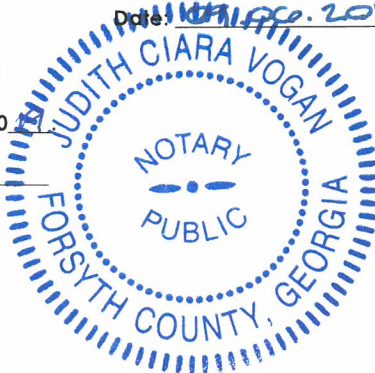
The intent of the Arts District is to generate interest in downtown Hapeville and attract arts and cultural events in part by promoting a pedestrian character. It was specifically designed to provide for walkable distances between nearby neighborhoods and small-scale establishments compatible with the neighborhood character. Allowing for a proliferation of typical drive-through establishments may compromise this goal of the district.

In the past, Hapeville has required new outdoor ATMs to be walk-up models, accessible via the sidewalk but not by car. Staff consulted with the Hapeville Chief of Police to determine if there are any safety concerns regarding vehicle or drive-up ATMs. Chief Glavosek suggested that walk-up ATMs may leave people more vulnerable to being targets of thieves, whereas drive-up ATMs could be a safer alternative. Regions Bank has indicated in conversations that the market and industry standards are changing to address convenience and thus teller windows are being replaced with more ATMs and similar automated machines.

In considering the special exception, staff recommends the Planning Commission and City Council carefully consider the intent of the Arts-District, safety, and changing industry and market conditions. Staff recommends approval for the drive-up ATM.



19-PC-10-24



CITY OF HAPEVILLE  
ECONOMIC DEVELOPMENT DEPARTMENT  
PLANNING COMMISSION APPLICATION

### WRITTEN SUMMARY

In detail, provide a summary of the proposed project in the space provided below. (Please type or print legibly.)

Applicant proposes a state of the art auto service center and repair facility on the site. The facility will be associated with Porsche's adjacent office headquarters, which is greater than 200,000 square feet, and is part of Porsche's corporate campus concept.

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.



CITY OF HAPEVILLE  
ECONOMIC DEVELOPMENT DEPARTMENT  
PLANNING COMMISSION APPLICATION

**AUTHORIZATION OF PROPERTY OWNER**

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

Porsche Ave (14 0096 LL0593)

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant Steven Ellis, PRO Building Systems, Inc.

Address of Applicant  
c/o The Galloway Law Group, 3500 Lenox Rd., Suite 760, Atlanta GA

Telephone of Applicant  
404-965-3680

G. Feygin  
Signature of Owner

GEORGE FEYGIN  
Print Name of Owner

Personally Appeared Before Me this 6th day of September, 20 19

[Signature]  
Notary Public



**CITY OF HAPEVILLE  
ECONOMIC DEVELOPMENT DEPARTMENT  
PLANNING COMMISSION APPLICATION**

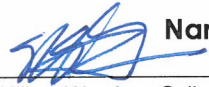
**Date**  
September 9, 2019

**AUTHORIZATION OF ATTORNEY**

**THIS SERVES TO CERTIFY THAT AS AN ATTORNEY-AT-LAW, I HAVE BEEN AUTHORIZED  
BY THE OWNER(S) TO FILE THE ATTACHED APPLICATION FOR THE PROPERTY  
LOCATED AT:**

Porsche Ave (14 0096 LL0593)

**City of Hapeville, County of Fulton, State of Georgia**

 **Name or Attorney**

William Woodson Galloway Bar No. 283080  
Laurel David Bar No. 206505

**Address**

The Galloway Law Group, LLC  
3500 Lenox Rd., Ste 760,  
Atlanta GA 30326

**Telephone**

404-965-3680



### **Site Plan Checklist – Please include with your application.**

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan **must** contain the following information:

(Please **initial** each item on the list above certifying the all required information has been included on the site plan)



A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.



Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.



The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.



Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional sitting of adjoining structures, etc).



The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.



The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.



Existing and proposed grades at an interval of five (5) feet or less.



The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93-2-14(y) to determine the required tree density for your lot(s).



A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.



The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.



The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.



The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.



Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.

Location and size of all signs. Detached single-family residential development may be exempt from this requirement.

Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.

Site area (square feet and acres).

Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.

Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.

Total floor area ratio and/or residential density distribution.

Number of parking spaces and area of paved surface for parking and circulation

At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please **initial** each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: \_\_\_\_\_

Date 9/09/2019

## **Option Tract**

All that tract or parcel of land lying and being in land lot 96 of the 14th District, City of Hapeville, Fulton County, Georgia and being more particularly described as follows:

Commence at the intersection of the line common to land lots 11 and 12, 13th District, Clayton County, Georgia, and the South boundary line of Land Lot 65, 14th District, Fulton County, Georgia, said Point of Commencement being located North 88 degrees 49 minutes 32 seconds West a distance of 307.92 feet as measured from a concrete monument found at the intersection of said county line and the northwesterly right-of-way of Interstate Highway I-75 (having a varied right-of-way); thence run North 08 degrees 10 minutes 25 seconds West a distance of 1064.55 feet to an iron pin set said iron pin set also being THE TRUE POINT OF BEGINNING;

From THE TRUE POINT OF BEGINNING as thus established run North 90 degrees 00 minutes 00 seconds West a distance of 1257.63 feet to an iron pin set, Thence run North 00 degrees 24 minutes 44 seconds East a distance of 1226.35 feet to an iron pin set, said iron pin set being located on the southeasterly right-of-way of South Street (public road having a variable width right-of-way); thence run along the said southeasterly right-of-way of South Street North 35 degrees 19 minutes 11 seconds East a distance of 185.37 feet to an iron pin set; thence continue to run along the said southeasterly right-of-way of South Street North 32 degrees 25 minutes 35 seconds East a distance of 26.92 feet to an iron pin set, said iron pin set being located on the southwesterly right-of-way of Henry Ford II Avenue (public road having a variable width right-of-way); thence leave the said southeasterly right-of-way of South Street and run along the said southwesterly right-of-way of Henry Ford II Avenue South 53 degrees 39 minutes 04 seconds East a distance of 639.64 feet to a point; thence run along the said southwesterly right-of-way of Henry Ford II Avenue along a curve to the left an arc distance of 606.89 feet (said arc having a radius of 2437.76 feet and being subtended by a chord 605.32 feet in length and bearing North 61 degrees 38 minutes 35 seconds West) to a point; thence continue to run along the said southwesterly right-of-way of Henry Ford II Avenue South 63 degrees 35 minutes 46 seconds East a distance of 94.14 feet to a nail set; thence leave the said southwesterly right-of-way of Henry Ford II Avenue and run South 00 degrees 24 minutes 44 seconds West a distance of 691.82 feet to an iron pin set, said iron pin set also being THE TRUE POINT OF BEGINNING.

Said tract contains 30.002 acres (1,306,884 square feet).



### **Porsche Service Center Lease Area**

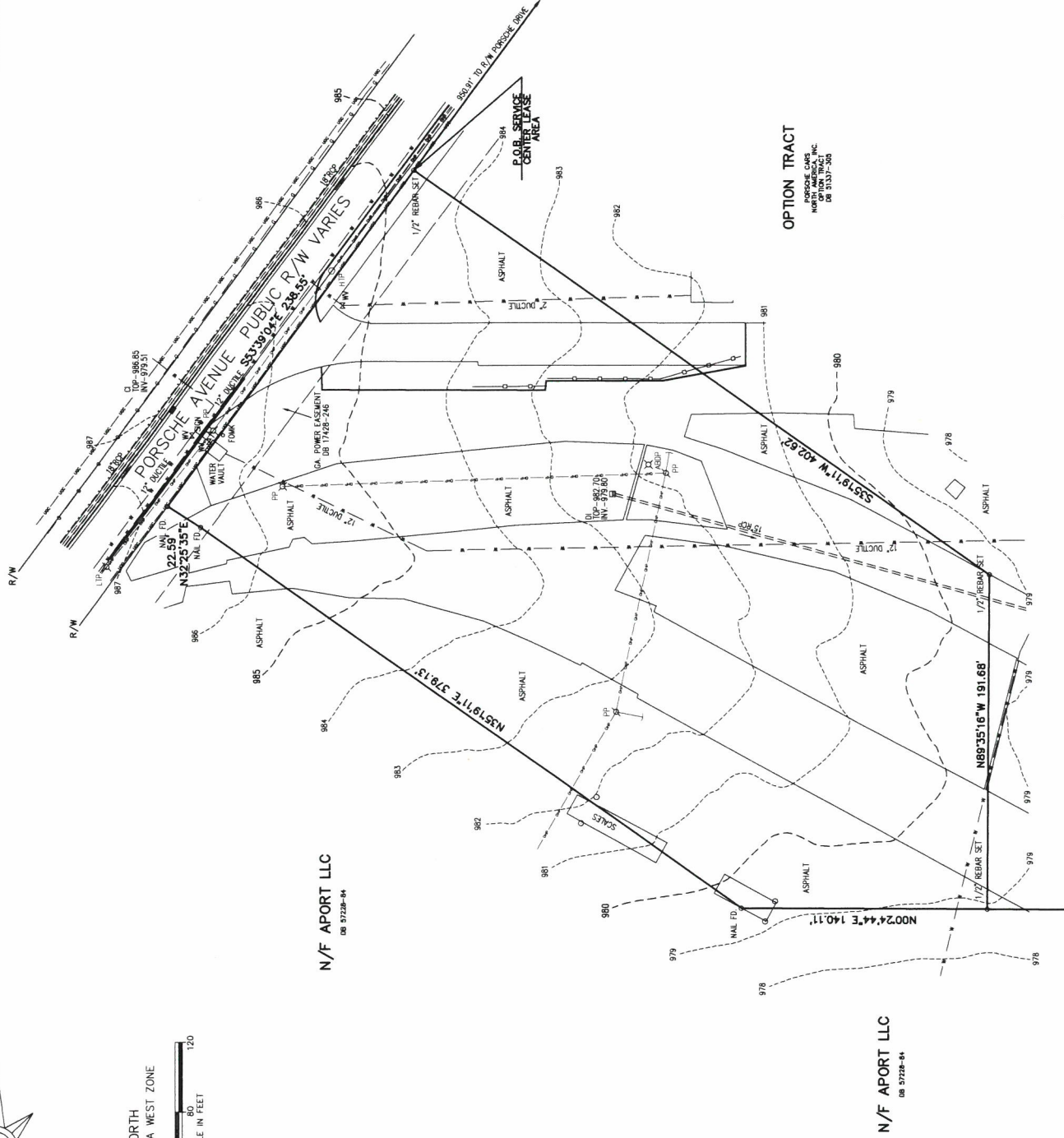
All that tract or parcel of land lying and being in Land Lot 96 of the 14th District, City of Hapeville, Fulton County, Georgia and being more particularly described as follows:

Beginning at an iron pin set on the southwesterly right-of-way of Porsche Avenue (formerly known as Henry Ford II Avenue and having a varied right-of-way) located 950.91 feet as measured northwesterly along said right-of-way from its intersection with the westerly right-of-way of Porsche Drive (having a varied right-of-way); Thence leaving said right-of-way and running South 35 degrees 19 minutes 11 seconds West a distance of 402.62 feet to an iron pin set; Thence running North 89 degrees 35 minutes 16 seconds West a distance of 191.68 feet to an iron pin set; Thence running North 00 degrees 24 minutes 44 seconds East a distance of 140.11 feet to nail found; Thence running North 35 degrees 19 minutes 11 seconds East a distance of 379.13 feet to nail found; Thence running North 32 degrees 25 minutes 35 seconds East a distance of 22.59 feet to nail found on the southwesterly right-of-way of Porsche Avenue; Thence running along said right-of-way South 53 degrees 39 minutes 04 seconds East a distance of 238.55 feet to and iron pin set and The Point of Beginning;

Said tract contains 2.50 acres (108,900 square feet).



GRID NORTH  
NAD 83 GEORGIA WEST ZONE



OPTION TRACT  
PORSCHE CARS  
NORTH AMERICA, INC.  
OPTION TRACT  
DB 51337-305

Equipment used:  
Angular & Linear: Sokkia iX Robotic Total Station

Reference: Deed Book 51337 Page 335

The field data upon which this plot is based has a closure precision of one foot in >25,000 feet and an angular error of <5.0" per angle point and was adjusted using the Least Squares Method.

Bearings are referenced to Grid North, Georgia State Plane Coordinate System, West Zone.

1' contour interval based on NAVD88 datum.

No portion of the property lies within an H.U.D. identified Flood Hazard Area per F.I.R.M. Map No. 1312C0369 F, dated September 18, 2013. Subject property lies within Zone "X" - areas determined to be outside of the 0.2% chance annual floodplain.

Information showing underground structures and utilities was obtained from a limited field survey. The exact location of any underground items should be verified through utility companies. This plat shall not be used for exact locations or presence of underground work.



|          |        |
|----------|--------|
| DESIGNED |        |
| DRAWN    | DE     |
| CHECKED  | WJDIV  |
| APPROVED | WJDIII |

**LOWE**  
**ENGINEERS**

990 HAMMOND DRIVE  
SUITE 900  
ATLANTA, GEORGIA 30328  
TEL.: 770-857-8400  
FAX: 770-857-8401

AN BOUNDARY &amp; TOPOGRAPHICAL SURVEY FOR

PORSCHE CARS  
NORTH AMERICA, INC.  
SERVICE CENTER LEASE AREA

## REVISIONS

| DATE   | NO. | REVERSE PL PER PCNA DESCRIPTION |
|--------|-----|---------------------------------|
| 9/3/19 | 1   |                                 |

JOB NO. 19-0140

DATE SEPTEMBER 3, 2019

SCALE  $1'' = 40'$

DWG. NO. 1 OF 1

[illegible]















[illegible]

## PCNA SERVICE CENTER

ORSCHKE AVE, HAPEVILLE, GA  
LAND LOT 96 14TH DISTRICT

|                         |            |
|-------------------------|------------|
| GSWCC NO.<br>(LEVEL II) |            |
| DRAWN BY                | JNS        |
| DESIGNED BY             |            |
| REVIEWED BY             |            |
| DATE                    | 09/09/2019 |
| PROJECT NO              |            |

TITLE

PROPOSED  
SITE PLAN

SHEET NUMBER

C1-00



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C3-02

PREPARED FOR



**PORSCHE**

ONE PORSCHE DRIVE, ATLANTA, GA, 30308

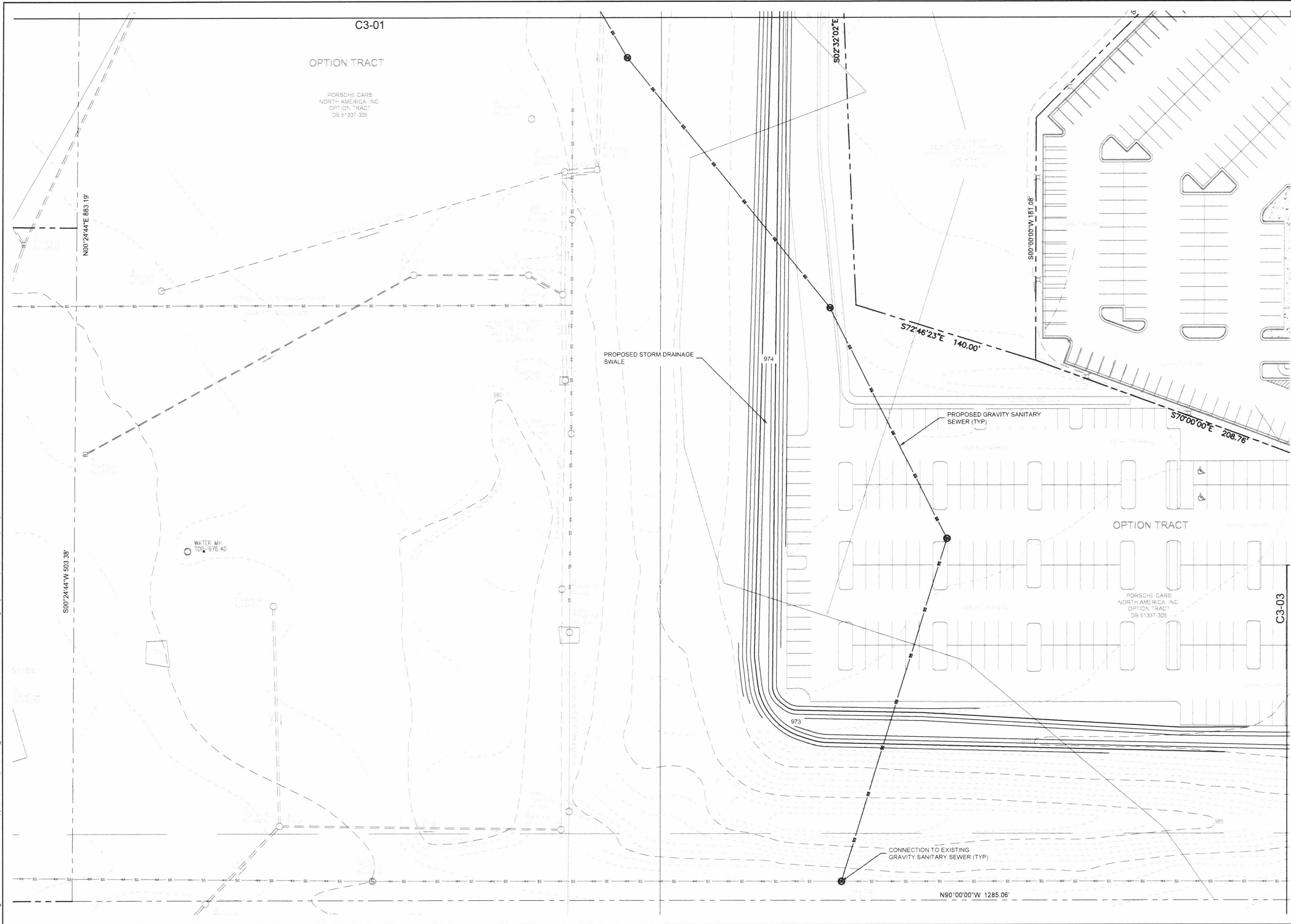
PROJECT

**PCNA SERVICE CENTER**  
PORSCHE AVE., HAPVILLE, GA  
LAND LOT 96, 14TH DISTRICT

|                                                  |            |
|--------------------------------------------------|------------|
|                                                  |            |
| GSWCC NO<br>(LEVEL II)                           |            |
| DRAWN BY                                         | JNS        |
| DESIGNED BY                                      |            |
| REVIEWED BY                                      |            |
| DATE                                             | 09/09/2019 |
| PROJECT NO                                       |            |
| TITLE<br>PROPOSED<br>GRADING AND<br>UTILITY PLAN |            |
| SHEET NUMBER<br>C3-01                            |            |



Drawing name: C:\Users\John.Simoneaux\appdata\local\temp\Acr\Publish\_560\AC3-00 GRADING AND DRAINAGE PLAN.dwg Layout 2 Sep 09 2019 6:25pm by John Simoneaux



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|                                                                                                                                                                 |  |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| <b>Kimley»Horn</b><br>11720 AMBER PARK DRIVE, SUITE 600<br>ALPHARETTA, GEORGIA 30009<br>PHONE 770.694.2800<br>WWW.KIMLEY-HORN.COM                               |  |
| <b>PORSCHE</b><br>ONE PORSCHE DRIVE, ATLANTA, GA 30354                                                                                                          |  |
| PCNA SERVICE CENTER<br>PORSCHE AVE, HAPEVILLE, GA<br>LAND LOT 96, 14TH DISTRICT                                                                                 |  |
| C3-02                                                                                                                                                           |  |
| GSWCC NO. (LEVEL II)<br>DRAWN BY JNS<br>DESIGNED BY<br>REVIEWED BY<br>DATE 09/09/2019<br>PROJECT NO.<br>TITLE PROPOSED GRADING AND UTILITY PLAN<br>SHEET NUMBER |  |
| No. ISSUANCE AND REVISION DESCRIPTIONS<br>DATE BY                                                                                                               |  |



C3-02

PROPOSED STORM DRAINAGE SWALE

TIE IN TO EXISTING STORMWATER MANAGEMENT SYSTEM

974

973

975

970

965

PROPOSED STORM DRAINAGE  
SWALE

TIE IN TO EXISTING STORMWATER  
MANAGEMENT SYSTEM

C3-03

PCNA SERVICE CENTER  
PORSCHE AVE, HAPEVILLE, GA  
LAND LOT 96, 14TH DISTRICT

ORDERED FOR



**PORSCHE**  
PORSCHE DRIVE, ATLANTA, GA. 30308

ONE PORSCHE DRIVE, ATLANTA, GA, 30354

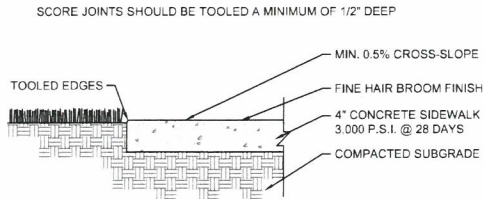
Kimley»Horn

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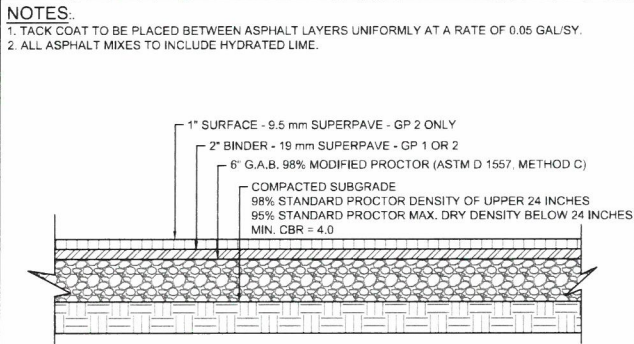


Drawing name: K:\ALP\_P\J019891003\_PCNA Track Extension\CAD\Exhibits\2019-09-05 Service Center Engineered Site Plan\Plansheets\C6-00 CONSTRUCTION DETAILS.dwg Layout1 Sep 09, 2019 5:02pm by John Simoneaux

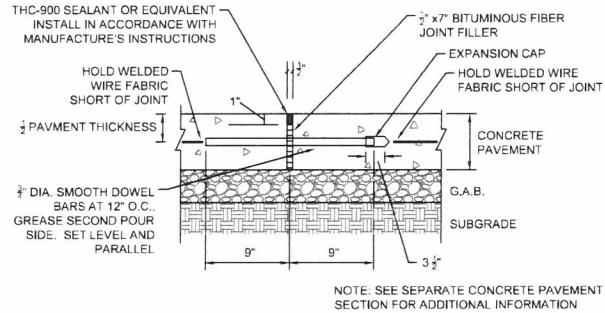


- NOTES:
1. SCORING OF WALKS SHOULD OCCUR EVERY 5' OR AS DESIGNATED BY THE SITE PLAN. 1/2 X 4" ASPHALTIC EXPANSION JOINTS SHOULD BE PLACED EVERY 30'.
  2. WHERE SIDEWALK MEETS CURB OR BUILDING, 1/2 X 6" ASPHALTIC EXPANSION JOINT SHOULD BE USED.

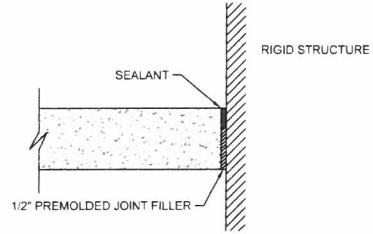
CONCRETE SIDEWALK DETAIL



ASPHALT PAVEMENT SECTION

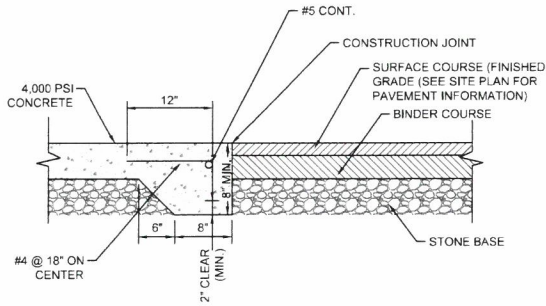


CONCRETE EXPANSION JOINT DETAIL

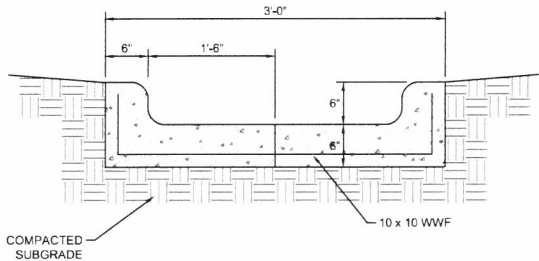


- NOTE:
1. PROVIDE ISOLATION JOINT WHERE CONCRETE PAVEMENT ABUTS A RIGID STRUCTURE.

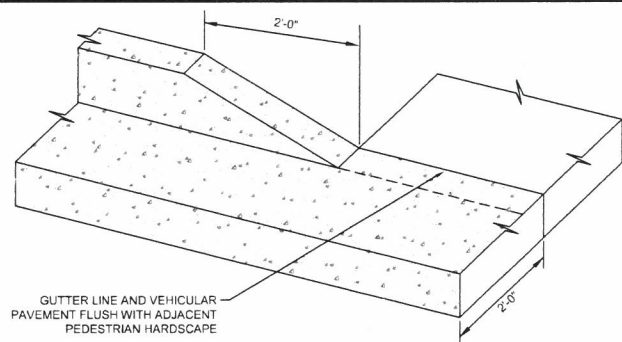
CONCRETE ISOLATION JOINT DETAIL



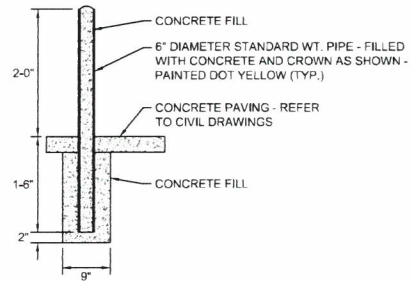
CONCRETE / ASPHALT JOINT DETAIL



CONCRETE FLUME DETAIL



TYP MITERED CURB SECTION TO FLUSH WITH PAVEMENT



BOLLARD DETAIL

| No. | ISSUANCE AND REVISION DESCRIPTIONS | DATE | BY |
|-----|------------------------------------|------|----|
|     |                                    |      |    |
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|     |                                    |      |    |
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|     |                                    |      |    |
|     |                                    |      |    |
|     |                                    |      |    |



| TREES                                                                             | CODE    | QTY | COMMON NAME              | BOTANICAL NAME                      | CAL/HT | HT        | SPRD      | CONDITION | REMARKS                   |
|-----------------------------------------------------------------------------------|---------|-----|--------------------------|-------------------------------------|--------|-----------|-----------|-----------|---------------------------|
|  | ELM-LAB | 15  | CHINESE ELM TREE         | ULMUS PARVIFOLIA 'LACEBARK ELM'     | 2" CAL | 6' MIN HT | 5-6' SPRD | B&B       | STRAIGHT TRUNK, FULL HEAD |
|  | MAP-OG  | 6   | OCTOBER GLORY MAPLE      | ACER RUBRUM 'OCTOBER GLORY' TM      | 2" CAL | 6' MIN HT | 5-6' SPRD | B&B       | STRAIGHT TRUNK, FULL HEAD |
|  | OAK-HWD | 23  | WILLOW OAK               | QUERCUS PHELLOS 'HIGHTOWER'         | 2" CAL | 6' MIN HT | 5-6' SPRD | B&B       | STRAIGHT TRUNK, FULL HEAD |
| SHRUBS                                                                            | CODE    | QTY | COMMON NAME              | BOTANICAL NAME                      | CONT   | HT        | SPRD      | SPACING   | REMARKS                   |
|  | VIB-CHI | 66  | CHINDO VIBURNUM          | VIBURNUM AWABUKI 'CHINDO'           | 7 GAL  | 36-42"    | 24-30"    | 54" o.c.  | DENSE FOLIAGE, 3' MIN HT  |
|  | WAX-DD  | 89  | DON'S DWARF WAX MYRTLE   | MYRICA CERIFERA 'DON'S DWARF'       | 7 GAL  | 36-42"    | 24-30"    | 54" o.c.  | DENSE FOLIAGE, 3' MIN HT  |
|  | HOL-BH  | 17  | DWARF BURFORD HOLLY      | ILEX CORNUTA 'BURFORDII NANA'       | 3 GAL  | 18-24"    | 16-18"    | 36" o.c.  | DENSE FOLIAGE             |
|  | LOR-R   | 32  | DWARF RUBY FRINGE FLOWER | LOROPETALUM CHINENSE RUBRUM 'RUBY'  | 3 GAL  | 18-24"    | 16-18"    | 48" o.c.  | DENSE FOLIAGE             |
|  | TER-LEA | 34  | LEANN CLEYERA            | TERNSTROEMIA GYMNANTHERA 'LEANN' TM | 7 GAL  | 36-42"    | 24-30"    | 48" o.c.  | DENSE FOLIAGE, 3' MIN HT  |

| CAL/HT | HT        | SPRD      | CONDITION | REMARKS                   |
|--------|-----------|-----------|-----------|---------------------------|
| 2" CAL | 6' MIN HT | 5-6' SPRD | B&B       | STRAIGHT TRUNK, FULL HEAD |
| 2" CAL | 6' MIN HT | 5-6' SPRD | B&B       | STRAIGHT TRUNK, FULL HEAD |
| 2" CAL | 6' MIN HT | 5-6' SPRD | B&B       | STRAIGHT TRUNK, FULL HEAD |

| CONT       | HT     | SPRD   | SPACING  | REMARKS                  |
|------------|--------|--------|----------|--------------------------|
| 7 GAL      | 36-42" | 24-30" | 54" o.c. | DENSE FOLIAGE, 3' MIN HT |
| 7 GAL      | 36-42" | 24-30" | 54" o.c. | DENSE FOLIAGE, 3' MIN HT |
| 3 GAL      | 18-24" | 16-18" | 36" o.c. | DENSE FOLIAGE            |
| UBY' 3 GAL | 18-24" | 16-18" | 48" o.c. | DENSE FOLIAGE            |
| ' TM 7 GAL | 36-42" | 24-30" | 48" o.c. | DENSE FOLIAGE, 3' MIN HT |

The plan shows a central building footprint surrounded by a parking lot and landscaped areas. Key features include:

- Parking Lot:** Located around the building, with spaces numbered 1 through 19.
- Landscape Callouts:** Various trees are specified with codes like WAX-DDJ25, 15/LOR-R, 17/HOL-BH, 6/MAP-OC, 17/LOR-R, 24/WAX-DD, 23/OAK-HWO, 15/ELM-LAB, 19/VIB CHI, 19/WAX-DD, 21/TER LEA, VIB CHI20, WAX-DDJ21, TER LEA113, and VIB CHI27.
- Dimensions:** Tree heights (e.g., 6' MIN HT), spacings (e.g., 54" o.c.), and galvaneum sizes (e.g., 7 GAL) are provided.
- Future Expansion:** A dashed line indicates a "FUTURE NO STALL EXPANSION 50' X 80'".
- Orientation and Scale:** A north arrow and a graphic scale in feet (0 to 40) are located at the bottom right.
- Adjacent Features:** The plan shows proximity to "PORSCHE AVENUE" and a "PUBLIC R/W VARIE".



**PORSCHE**

LITTE

ONE PORSCHE DRIVE, ATLANTA, GA. 30354

[illegible]

PROJECT

PCNA SERVICE CENTER  
PORSCHE AVE., HAPVILLE, GA  
LAND LOT 96, 14TH DISTRICT

|                         |            |
|-------------------------|------------|
| GSWCC NO.<br>(LEVEL II) |            |
| DRAWN BY                | KW         |
| DESIGNED BY             | KW         |
| REVIEWED BY             | TL         |
| DATE                    | 09/09/2019 |
| PROJECT NO.             | 019891003  |

|                   |
|-------------------|
| TITLE             |
| LANDSCAPE<br>PLAN |
| SHEET NUMBER      |
| L1-00             |

Drawing name K:\A\P\_PRJ\019891003\_PCNA Track Extension\CAD\Exhibits\2019-09-05 Service Center Engineered Site Plan\Plansheets\1.00 LANDSCAPE PLAN.dwg Layout1 (2) Sep 09, 2019 5:55pm by Kate Winn

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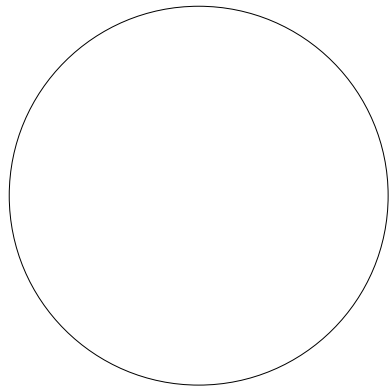


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# Porsche Atlanta Service Center

HAPEVILLE, GA



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Client:  
**Client Name Here ?**

?? CLIENT ADDRESS ??

Project:  
**PORSCHE  
ATLANTA  
SERVICE  
CENTER**

**SOUTH CENTRAL AVENUE  
HAPEVILLE, GA**

Project Number: 19044  
Drawn By: Author  
Checked By: Checker  
Approved By: Approver

Sheet Title:  
**COVER**

Sheet Number:  
**A001**

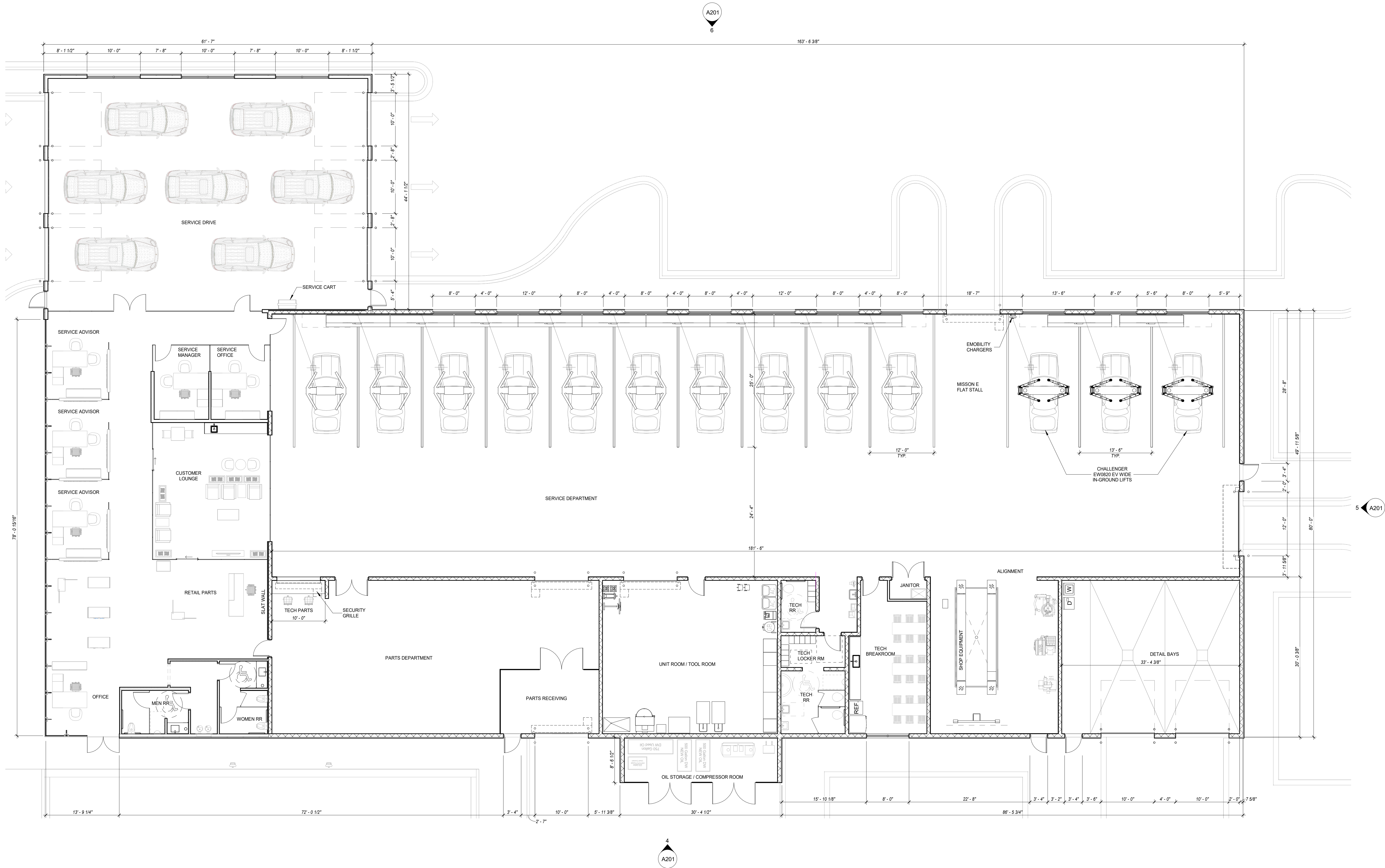


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Client:  
**Client Name Here ?**

?? CLIENT ADDRESS ??

Project:  
**PORSCHE ATLANTA SERVICE CENTER**

**SOUTH CENTRAL AVENUE  
HAPEVILLE, GA**

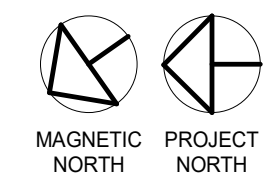
Project Number: 19044  
Drawn By: Author  
Checked By: Checker  
Approved By: Approver

Sheet Title:

**FLOOR PLAN**

Sheet Number:

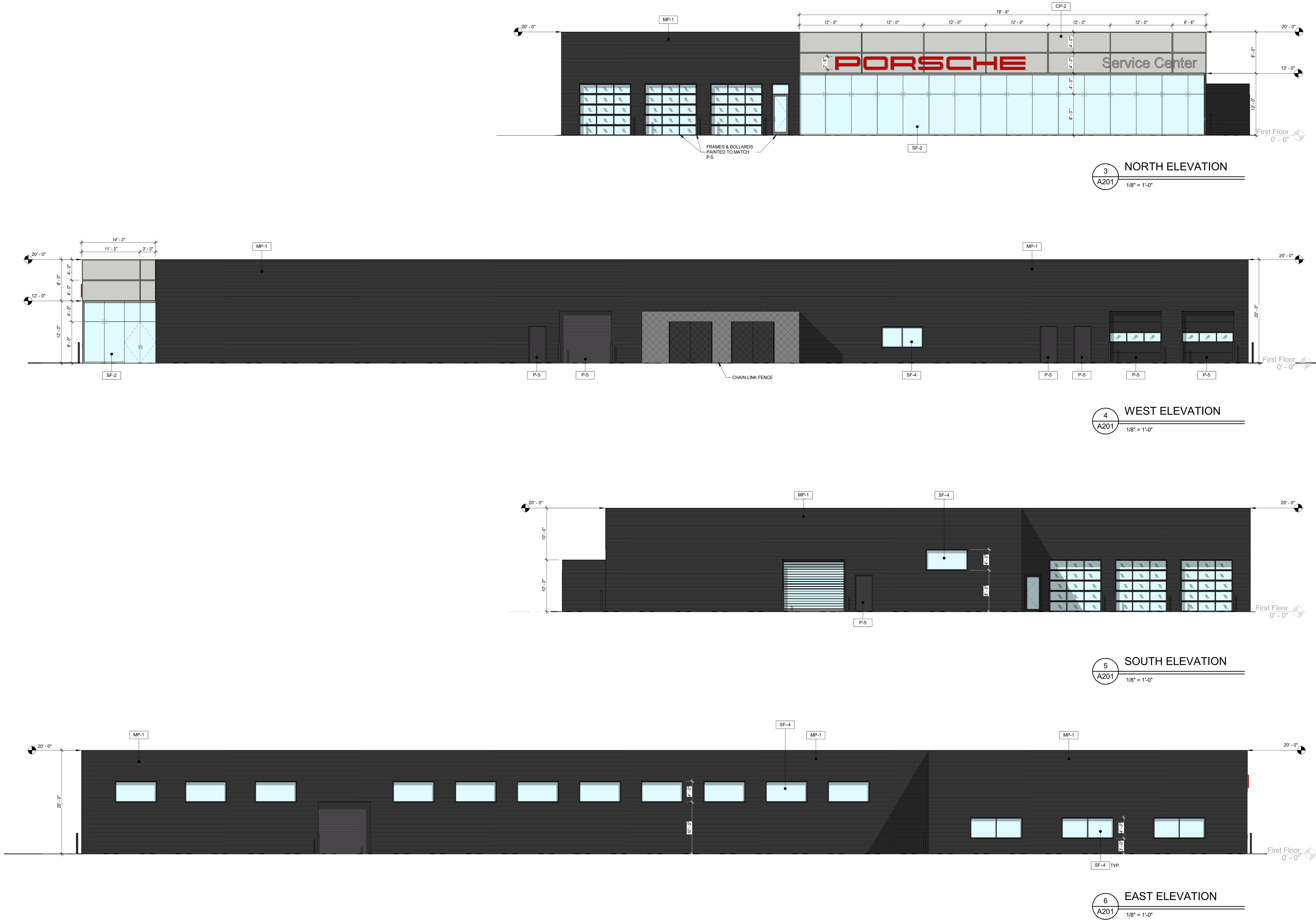
**A131**



**1**  
A131  
FLOOR PLAN - FIRST FLOOR  
1/8" = 1'-0"

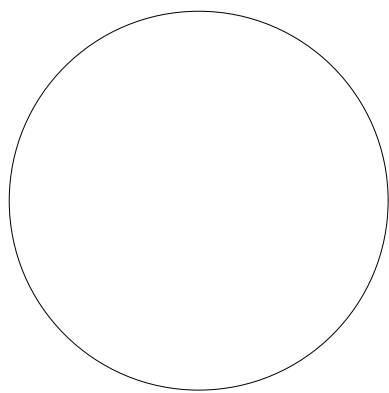


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| EXTERIOR FINISHES |      |                           |                           |                  |                                      |                                   |
|-------------------|------|---------------------------|---------------------------|------------------|--------------------------------------|-----------------------------------|
|                   | CODE | MATERIAL                  | MANUFACTURER              | PATTERN          | COLOR                                | COMMENTS                          |
| PAINT             | P-5  | EXTERIOR PAINT            | SHERWIN WILLIAMS          | FLAT FINISH      | TO MATCH RAL 7021                    | EXTERIOR DOORS, FRAMES & BOLLARDS |
|                   |      |                           |                           |                  |                                      |                                   |
| METALS            | CP-2 | PERFORATED METAL PANEL    | ALPOLIC BY PATTISON SIGNS | --               | SUNRISE SILVER                       | ALPOLIC BY PATTISON SIGNS         |
|                   | MC-1 | PRE-FINISHED METAL COPING | TBD                       | --               | COLOR TO MATCH MP-1                  |                                   |
|                   | MP-1 | ARCH. RIBBED METAL        | CENTRIA                   | RIGID WALL #9916 | ATAS TARGA BLACK (TO MATCH RAL 7021) |                                   |
| GLAZING           | SF-2 | STRUCTURAL CURTAINWALL    | SLIMPACT                  | --               | BLACK SEALANT AT VERTICAL JOINTS     | FRAMELESS, STACK WALL             |
|                   | SF-4 | EXTERIOR STOREFRONT       | KAWNEER                   | 451T             | TO MATCH MP-1                        |                                   |





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1 EXTERIOR PERSPECTIVE

A205



**PRO  
BUILDING  
SYSTEMS**

DESIGN BUILD  
CONTRACTORS

Client:

Client Name Here ?

?? CLIENT ADDRESS ??

Project:

**PORSCHE  
ATLANTA  
SERVICE  
CENTER**

**SOUTH CENTRAL AVENUE  
HAPEVILLE, GA**

Project Number: 19044

Drawn By: Author

Checked By: Checker

Approved By: Approver

Sheet Title:

**EXTERIOR 3D  
VIEWS**

Sheet Number:

**A205**

2 EXTERIOR PERSPECTIVE

A205



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ysm

DESIGN

RETAILAUTOMOTIVEARCHITECTURE

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| Rev | Date | Comments |
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PRO  
BUILDING  
SYSTEMS

DESIGN BUILD  
CONTRACTORS

Client:

Client Name Here ?

?? CLIENT ADDRESS ??

Project:

PORSCHE  
ATLANTA  
SERVICE  
CENTER

SOUTH CENTRAL AVENUE  
HAPEVILLE, GA

Project Number: 19044  
Drawn By: Author  
Checked By: Checker  
Approved By: Approver

Sheet Title:

RENDERING

Sheet Number:

A206



September 30, 2019

Ms. Adrienne Senter  
Planning & Development Coordinator  
Department of Economic Development  
City of Hapeville  
3468 N. Fulton Avenue  
P.O. Box 82311  
Hapeville, Georgia 30354

Re: Porsche Service Center  
1 Porsche Avenue  
Development Review No. 1  
K&W Ref. No. 191051.60

Dear Ms. Senter:

As requested, I have reviewed the site plans for the Porsche Service Center Site to be located on a 2.50 acre parcel on Porsche Avenue, within a B-P Zoning District. The initial submittal was received on September 25, 2019. The plans were prepared by Kimley Horn, and did not contain a design professional seal on any of the six drawing sheets. My comments are as follows:

1. All drawings should be sealed by the design professional of record.
2. The exterior wall material of the proposed building is not described to verify compliance with Section 93-18-5(3) regarding wall material composition for the indicated B-P zoning district.
3. The basis for the quantity of proposed parking spaces should be shown to verify compliance with Section 93-18-3 for off-street parking and loading requirements.
4. A local "on-site" project benchmark tied to mean sea level datum should be included on the plans.
5. The distance from the building front facing Porsche Avenue to the right of way of Porsche Avenue or a similar dimension to establish the front building line should be shown.
6. The projected peak and average utility usage for all City provided utility services (such as water and sanitary sewer) should be indicated on the plans.
7. All projects should include a Storm Water Management Plan per City Code Section 63-2-9.
8. The zoning type for all adjacent property parcels should be shown.
9. The minimum full size parking space width is 10 feet rather than the 9 feet shown.
10. The purpose and intended use for the extended driveway shown in the southeast corner of the property and how it will terminate should be shown on the drawings.
11. The plans do not indicate how solid waste from the site will be accounted for as no dumpster is to be provided. Details of the dumpster enclosure should also be shown.
12. Concrete sidewalk at least 5 feet wide complying with Section 90-1-4 (7) is not shown along the frontage of Porsche Avenue.
13. The paving thicknesses should be included on the drawings.
14. Detectable warning strips and ADA ramps per US DOT and Department of Justice standards should be shown for all ADA ramps at sidewalks intersecting driveways and streets.
15. The landscape plan does not provide a summary table indicating planting quantities or caliper size and comparisons to City requirements. Therefore it cannot be verified if minimum City requirements have been satisfied. The landscaping plan shown should include computations for area in vehicular use areas to verify compliance with Section 93-23-18 of the Zoning Ordinance.



16. Provisions to address the Post Development Storm Water Management procedures of Section 63-2 (such as the storm water management inspection and maintenance agreement, performance maintenance bond and fees, and the estimate of the plan annual maintenance costs and the basis used for determining the costs) should be provided so bond amounts to be posted can accurately be verified.
17. Provisions to demonstrate how the project will adequately address Water Quality per Section 63-2-15 of the Regulations was not included on the plans.
18. It is not clear from the information provided if the existing conditions hydrologic analysis and post development analysis regarding stormwater runoff rates, volumes and velocities has been adequately addressed to satisfy the requirements of the Post Development Stormwater Ordinance (Section 63-2-9).
19. The developer is responsible for preparing and filing the Erosion, Sedimentation and Pollution Control Plan to comply with the Georgia EPD General National Pollutant Discharge Elimination System Permit (NPDES) for storm water discharges from construction activities. A copy of the EPD online GEOS NOI submittal receipt for proof that the plan and Notice of Intent was filed before construction activities are begun should be furnished to the City for record purposes.
20. The disturbed acreage for the site is greater than 1 acre, therefore the petitioner should provide an Erosion Control Checklist per GSWCC criteria with or on the submitted plans for review.
21. A copy of the approval from GSWCC Region 1 for review and approval of the erosion control plans should be provided to the City.
22. Storm drain pipe profiles should be provided for all storm drain pipes.
23. The proposed sanitary sewer and storm drain lines should be shown within a minimum 20 feet wide permanent utility easement where the route extends off the subject property. The sanitary sewer and storm drain pipe size, lengths, slopes, and profiles should be on the drawings. A copy of the executed and recorded easement agreement needs to be provided to the City prior to issuance of a certificate of occupancy.
24. The proposed site plan shows site improvements and the building located over existing 12 inch and 2 inch water mains and storm drain pipes. The plans do not show how these existing features will be handled with the proposed site improvements.
25. Plans for exterior lighting are not shown to address site lighting of the development.

I have retained one copy of the plans provided for review in the event there are questions. The petitioner should be made aware that the review does not constitute a waiver of City Ordinance requirements or assumption of responsibility for full review of City Ordinance requirements. Deviations from Ordinance requirements may be noted at any time during the review, permitting or construction processes. Re-submittals should include a narrative indicating how and where the review comments were addressed.

Very truly yours,

**KECK & WOOD, INC.**



Michael J. Moffitt, P.E.





## **DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT**

DATE: October 1, 2019  
TO: Adrienne Senter  
FROM: Michael Smith  
RE: **Site Plan Review – Porsche Avenue Service Center**

### **BACKGROUND**

The City of Hapeville has received a site plan application from Steven Ellis on behalf of PRO Building Systems, Inc, to develop a specialty auto service center and repair facility as a component of Porsche Cars of North America's corporate campus concept on Porsche Avenue (Parcel ID 14 0096 LL0593). The lot is currently partially paved but is otherwise undeveloped. The site area under consideration is 2.5 acres. The facility is shown as a 20' high, 17,600/20,815 square foot building surrounded by parking as well as one accessory structure.

The property is zoned B-P, Business Park, and is subject to the Commercial/Mixed-Use area, Subarea B, of the Architectural Design Standards. Porsche's office headquarters are located on an adjacent lot located in the City of Atlanta and use at least 200,000 square feet of space, making this a permitted use in the B-P district.

### **REVIEW**

The following code sections are applicable to this application:

#### **ARTICLE 18. - B-P ZONE (BUSINESS PARK)**

##### **Sec. 93-18-1. - Intent.**

- (a) The purpose of this district is to encourage the development of a high-quality community of businesses, office services and recreation uses to promote economic development for the city by fostering the creation of significant employment centers.
- (b) In order to further the achievement of this purpose, applicants for development within the B-P (business park) district shall submit proposed site development plans for review and approval in accordance with the provisions of section 93-2-16.
- (c) To create continuity for the business park aesthetic, buildings and sites must reflect buildings immediately adjacent to the zone.



## **Sec. 93-18-2. - Permitted uses.**

The uses permitted in any B-P zone shall be limited to business and professional offices, educational institutions, retail sales of new merchandise, recreational uses and services as specifically identified below. All such principal uses shall be conducted wholly within completely enclosed buildings unless otherwise specified.

- (4) Auto service and repair facility, including major mechanical or body repair, when associated with a single onsite office use of at least 200,000 square feet, which may be located in another jurisdiction if it is immediately adjacent to the zone.

## **REQUIREMENTS**

### **Sec. 93-2-16. - Site plan review.**

- (a) *Intent and purpose.* The site plan review procedures are intended to ensure adequate review and consideration of potential impacts of proposed development upon surrounding uses and activities, and to encourage a high standard of site planning and design resulting in quality development in the city.
  - (b) *Application.* An application for site plan review may be filed by the owner, or agent for the owner, of any property to be developed according to the plan. All applications for site plan review shall be filed with the building official for transmission to the planning commission. Site plan review requirements are applicable for all proposed development in all zones within the city and all property submitted for annexation.
  - (c) *Submission requirements.* Applications for site plan review shall contain the following information and any additional information the planning commission may prescribe by officially adopted administrative regulations; ten copies of the application shall be submitted:
    - (1) *Site and landscape plan.* Maps and site plans shall be submitted (minimum scale of 1" = 50' or larger, e.g., 1" = 40', 1" = 30', etc.) indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn, showing:
      - a. The locations, size and height of all existing and proposed structures on the site.
- ***The subject tract is partially paved but otherwise undeveloped.***
  - ***Setbacks are not required in the B-P district for the main building.***
  - ***The structure will be 20' tall and have an area of 17,600 SF/20,815 SF. Applicant should clarify the actual square footage.***
  - ***Per Sec. 93-2-5, accessory structures in a side or rear yard must be set back from the property line at least 5'. The applicant should provide the distance between accessory structure and the nearest property line.***
- b. The location and general design cross section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances.
- ***The plans show a new parking lot served by a 36' wide driveway. It is unclear if the curb cut is new or an existing curb cut. A new curb cut is not allowed. An existing curb cut may be relocated.***
  - ***The applicant should provide the width of the new curb cut.***
  - ***No sidewalk is shown at the street as required by the Architectural Design Standards. Sidewalk must adhere to the Commercial/Mixed Use standard (5' landscape zone, 10' sidewalk/clear area).***
  - ***Design cross sections have been provided.***



- c. The locations, area and number of proposed parking spaces.
- ***The new parking lot will have 148/143 parking spaces. For auto service and repair, parking minimums are 3 spaces per 1,000 sf of gross floor area in the B-P zone which is 62/53 parking spaces. One loading space is required for buildings between 10,001 sf and 40,000 sf. There is no loading space and the parking spaces significantly exceed the minimum parking requirements. While shared parking is allowed within the B-P zoning district, the applicant should indicate the need for the additional parking spaces as part of the overall property development plan.***
- d. Existing and proposed grades at an interval of five feet or less.
- ***The site plan shows existing and proposed grades at 1' intervals.***
- e. The location and general type of all existing trees over six-inch caliper and, in addition, an identification of those to be retained.
- ***The site has previously been developed and does not have any trees.***
- f. The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in section 93-23-18.
- ***A landscape plan has been provided and will be reviewed by the Design Review Committee per the B-P Code.***
- g. The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed outdoor furniture (seating, lighting, telephones, etc.).
- ***The site will be an automobile service and repair center.***
- h. The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms.
- ***None proposed.***
- i. The identification and location of all refuse collection facilities, including screening to be provided.
- ***The applicant should provide the location of refuse collection facilities and describe screening.***
- j. Provisions for both on-site and off-site stormwater drainage and detention related to the proposed development.
- ***See engineer's report.***



- k. Location and size of all signs.
- ***One flagpole is shown on the plans. In addition, the elevations indicate the applicant intends to install a wall sign directly to the front of the structure. The applicant must apply separately for a sign permit for each sign, and the signs must conform to the City's sign ordinance.***
- (2) *Site and building sections.* Schematic or illustrative sections shall be drawn to scale of 1" = 8' or larger, necessary to understand the relationship of internal building elevations to adjacent site elevations.
- ***The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.***
- (3) *Typical elevations.* Typical elevations of proposed building shall be provided at a reasonable scale (1/8" = 1'0") and shall include the identification of proposed exterior building materials.
- ***The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.***
- (4) *Project data.*
    - a. Site area (square feet and acres).
- ***The minimum lot size is 10,000 SF. The lot is 108,990 SF or 2.5 acres, which is compliant.***
- b. Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others.
- ***Impervious surface area has been given as 90%. B-P zoning does not have any maximum site coverage. The applicant should provide site coverage broken down by type, such as building area and parking.***
- c. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.
- ***Not applicable.***
- d. Floor area in nonresidential use by category.
- ***The entire 17,600/20,815 SF structure will be an auto service center and repair facility.***
- e. Total floor area ratio and/or residential density distribution.
- ***Not applicable.***
- f. Number of parking spaces and area of paved surface for parking and circulation.
- ***The facility will have 148/143 off-street parking spaces.***



- (5) *Project report.* A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, stormwater and erosion control, etc. of the proposed development.

- ***The project is for the construction of an auto service center and repair facility affiliated with an adjacent office use greater than 200,000 SF in area.***
- ***Authorization from the owner of the property has been provided.***
- ***The applicant should provide an anticipated development schedule.***

#### **ARTICLE 18. - B-P ZONE (BUSINESS PARK)**

##### **Sec. 93-18-3. - Off-street parking and loading requirements.**

(g) Loading spaces for buildings:

- (2) Between 10,001 square feet to 40,000 square feet of total floor area; one loading space required.

- ***The applicant should indicate one dedicated loading space on the plans.***

(i) Auto service and repair facilities shall have a minimum of three off-street parking spaces per 1,000 square feet of gross floor area. Auto service and repair facilities that include major mechanical or body repair shall have one off-street parking space per 1,000 square feet of gross floor area.

- ***The minimum parking required is 54/63 spaces. The plans indicate 148/143 spaces. The need for additional parking should be explained.***

##### **Sec. 93-18-4. - Height requirements.**

No structure shall exceed 105 feet or eight stories in height, unless additional height is approved by the planning commission, the Federal Aviation Administration, the city building official and the fire chief to ensure that fire safety design standards are met. The Federal Aviation Administration must approve all building heights.

- ***The structure will be 20' high, which is compliant.***

##### **Sec. 93-18-5. - Site development and improvement standards.**

In order to establish and maintain the B-P (Business Park) district as a quality area which will preserve the investments of all landowners and developers, as well as the tax base of the city, all construction and development within the B-P district shall comply with the following standards:

- (1) *Minimum lot area.* The minimum lot area for any building site shall be 10,000 square feet.

- ***The lot area is 108,990 SF, which is compliant.***



(2) *Setbacks for front, rear and side yards.*

- a. There is no setback requirement.
- b. Only driveways, interior vehicular circulation drives, permitted signs, and landscaped areas shall be allowed between a building and the front property line.

• ***Compliant***

(3) *Buildings.*

- a. Exterior wall materials shall be one or more of the following:
  1. Hard-coat stucco;
  2. Stone with either a weathered face or a polished, fluted or broken face. No quarry-faced stone shall be used except in retaining walls;
  3. Fiber-cement siding;
  4. Glass;
  5. Metal and metal panel; or
  6. Concrete masonry.
    - i. Units shall be those generally described by the National Concrete Masonry Association as "customized architectural concrete masonry units" or shall be broken faced brick-type units with marble aggregate. There shall be no exposed concrete block on the exterior of any building visible from any public right-of-way. Any concrete masonry units that have gray cement color visible from any public right-of-way shall be coated with a coating approved by the design review committee.
    - ii. Concrete may be poured in-place, tilt-up or precast. Poured in-place and tilt-up walls may be exposed or have a finish of stone, a texture, metal panels or screening, or a coating. Textured finishes shall be coated. Coating shall be an approved cementitious of any epoxy type with a life expectancy of at least ten years.
- b. Other exterior wall materials may be used only with the prior approval of the design review committee. Approval or disapproval will be judged on the appropriateness of the materials when considered in context with other buildings in the same business park.
- c. Outside storage of materials is prohibited.
- d. Roof-mounted equipment shall be located and/or screened to minimize visibility from streets or surrounding buildings.

• ***The structure will have a façade consisting of glass and metal panels, which is compliant.***

- (4) *Landscaping.* Landscaping design standards shall be established during design review. Approval or disapproval will be judged on the appropriateness of the materials when considered in context of the location of the landscaping, the visibility of the landscaping to the general public on the nearest public right-of-way and in context with other buildings in the same business park.

• ***Landscape standards will be established by the Design Review Committee.***

- (5) *Exterior lighting.* All exterior lighting shall comply with FAA requirements related to aircraft safety, and all exterior lighting shall be maintained in accordance with plans and specifications submitted to and approved by the building official.

• ***No exterior lighting has been proposed.***



## **ARTICLE 23. - OFF-STREET PARKING AND LOADING**

### **Sec. 93-23-1. - Purpose and intent.**

The purpose of this article is to ensure the reasonable provision of off-street parking and loading facilities within the city. The requirements contained herein are minimum standards only, and are intended to protect and promote the health, safety and welfare of the present and future inhabitants of the city.

### **Sec. 93-23-2. - Entrance and exit points.**

Except in districts zoned R-0, R-1, R-2 and R-3, curb breaks shall not be more than 30 feet in width, nor less than 25 feet in width. In no case shall there be less than 50 feet from the closest sides of any two-driveway curblines. Curb breaks shall be located at least 25 feet from the nearest intersection of two curblines as measured along one of the curblines. Business establishments on contiguous lots are encouraged to consolidate entrance and exit points. Suitable provisions, including a five-foot-wide planted buffer strip between the right-of-way and parking area shall be made to prevent entrance or exit from other than at designated entrance or exit points.

- ***The maximum width allowed for curb breaks is 30'. The widths of the proposed curb break has not been provided but is at least 36', which is not compliant.***

### **Sec. 93-23-3. - Setbacks from property lines.**

Off-street parking and loading spaces and their respective maneuvering areas shall be set back not less than five feet from all property lines, except where those spaces and areas for adjacent properties abut, or are in contiguous use, there need not be any setback.

- ***Compliant***

### **Sec. 93-23-4. - Maneuvering areas.**

All off-street parking and loading spaces shall be provided with adequate off-street maneuvering areas.

- ***Compliant***

### **Sec. 93-23-6. - Reduction in area and number of parking spaces.**

No open area in an off-street parking area shall be encroached upon by buildings, storage or any other use; nor shall the number of parking spaces and/or off-street loading spaces be reduced except upon approval of the board of appeals, and then only after proof that, by reason of diminution in floor area, seating area, number of employees or change in other factors controlling the regulation of the number of parking spaces, the proposed reduction is reasonable and consistent with the intent of this chapter.

- ***The site plans do not indicate any encroachment upon the parking area by any buildings or other uses.***

### **Sec. 93-23-7. - Mixed uses.**

In the case of mixed uses, the total requirements for off-street parking and off-street loading space shall be the sum of the requirements of the various uses computed separately as specified herein. Off-street parking and off-street loading space for one use shall not be considered as providing the required off-street parking or off-street loading space for any other use.

- ***Not applicable to non-mixed-use development.***



**Sec. 93-23-8. - Uses not specifically mentioned.**

In the case of a use not specifically mentioned herein, the requirements for off-street parking space and off-street loading space for a use which is so mentioned, and to which that use is most similar, shall apply.

**Sec. 93-23-9. - Issuance of certificate of occupancy.**

No certificate of occupancy shall be issued for any building or group of buildings unless and until all required off-street parking and loading facilities are in place and ready to use.

**Sec. 93-23-10. - Off-street parking requirements according to district and uses.**

At the time of the erection of any building or structure hereinafter listed, or at the time any such building or structure is enlarged or increased in capacity by adding dwelling units, guestrooms, floor area, seats, beds, members or employees, there shall be provided for such new construction, enlargement or increased capacity only, off-street automobile parking space and off-street loading spaces in accordance with the minimum requirements established for each zone. The maximum number of off-street automobile parking spaces shall be 110 percent of the requirement for uses proposed at the time of development approval.

- **The maximum parking permitted for the project is 60/70 spaces. The applicant is proposing 148/143 off-street parking spaces likely for shared uses which is allowable in the B-P district.**

**Sec. 93-23-11. - Size of off-street parking spaces, including parking spaces for compact automobiles, and parking spaces for automobiles of the physically handicapped.**

- (a) Of the total number of parking spaces required for any nonresidential use having 20 or more off-street parking spaces, a maximum of 70 percent shall be "full-size" as described in the table below, and a minimum of 30 percent shall be "compact size" as described in the table below:

*Minimum Full-Size Space Dimensions*

| Type of Space                           | Width of Space | Length of Space |
|-----------------------------------------|----------------|-----------------|
| Parallel at curb to angle of 29 degrees | 8.5 feet       | 22 feet         |
| Angle of 30 degrees to 60 degrees       | 9 feet         | 18 feet         |
| Angle of 61 degrees to 90 degrees       | 10 feet        | 18 feet         |

*Minimum Compact-Size Parking Space Dimensions*

| Type of Space                           | Width of Space (feet) | Length of Space (feet) |
|-----------------------------------------|-----------------------|------------------------|
| Parallel at curb to angle of 29 degrees | 8                     | 19                     |
| Angle of 30 degrees to 60 degrees       | 8.5                   | 15                     |
| Angle of 61 degrees to 90 degrees       | 9                     | 15                     |

- **At least 30% of provided parking spaces must be compact size. The plans state that 21 (14%) of the 148 provided spaces are compact size, which is not compliant. However, the locations and dimensions of those spaces are unclear.**
- **The majority of provided spaces are between the dimensional requirements for full-size spaces and compact-size spaces, being too narrow for the former and too long for the latter.**
- **10 of the provided parking spaces are at angles of less than 90 degrees to the curb and do not have lengths provided.**



- (b) There shall be adequate interior passageways, drives and maneuver areas, as determined by the building official, to accommodate each space and to connect each space with a public street.

- **Compliant**

- (c) In addition to the above-stated requirements, parking space for automobiles of the physically handicapped shall be provided in accordance with the following standards.

(1) Access to buildings generally.

- Accessibility to such building shall be provided from rights-of-way in parking areas by means of a pathway leading to at least one entrance generally used by the public. Such pathway shall have been cleared of all obstructions relating to construction activity, prior to the opening of the building to the general public. Where curbs exist along such pathway, as between a parking lot surface and a sidewalk surface, inclined curb approaches or curb cuts having a gradient of not more than one foot in 12 feet and a width of not less than four feet shall be provided for access by wheelchairs.
- A parking lot servicing each entrance pathway shall have a number of level parking spaces as set forth in the following table, identified by above grade signs as being reserved for physically handicapped persons. Each parking space so reserved shall be not less than 12 feet in width.

*Parking Spaces for Handicapped*

| Total Spaces and Lot | Required No. of Reserved Spaces          |
|----------------------|------------------------------------------|
| Up to 25             | 1                                        |
| 26 to 50             | 2                                        |
| 51 to 75             | 3                                        |
| 75 to 100            | 4                                        |
| 100 to 150           | 5                                        |
| 150 to 200           | 6                                        |
| 201 to 300           | 7                                        |
| 301 to 400           | 8                                        |
| 401 to 500           | 9                                        |
| 501 to 1,000         | 2% of total                              |
| Over 1,000           | 20, plus 1<br>for each 100<br>over 1,000 |

- (2) Location. Parking spaces for the physically handicapped shall be located as close as possible to elevators, ramps, walkways and entrances.

- **The applicant must provide three ADA parking spaces.**

**Sec. 93-23-12. - Location.**

If the required off-street parking spaces cannot reasonably be provided on the same lot as the building it serves, the board of appeals may permit that space to be provided on other off-street property. That property shall be within 400 feet of the premises to which it is appurtenant, as measured along the nearest pedestrian walkway.



- ***The off-street parking is provided on the same lot as the building.***

**Sec. 93-23-13. - Joint use of required off-street parking spaces.**

No part of an off-street parking area required for any building or use for the purpose of complying with the provisions of this chapter shall be included as a part of an off-street parking area similarly required for another building or use unless the type of structure indicates that the periods of usage of that structure will not be simultaneous with each other, as determined by the board of appeals.

- ***The off-street parking provided is for the exclusive use of the center.***

**Sec. 93-23-14. - Size of off-street loading spaces.**

Each off-street loading space shall have minimum dimensions of 15 feet in height, 15 feet in width, and 60 feet in length. However, upon sufficient demonstration in a specific instance that a particular loading space will be used exclusively by shorter or lower trucks, the board of appeals may reduce the minimum length or height.

- ***The applicant should provide one 15' high, 15' wide, and 60' long loading space.***

**Sec. 93-23-15. - Location of off-street loading spaces.**

All required off-street loading spaces shall be located on the same lot as the building which they are intended to serve, or on an adjacent lot when shared with the use occupying the lot.

- ***The applicant should provide one 15' high, 15' wide, and 60' long loading space.***

**Sec. 93-23-16. - Drive-in establishments.**

There shall be no drive-in establishments in which customers are served while located on a public right-of-way. In the case of a drive-in establishment where customers are served while occupying automobiles parked off a public right-of-way, that establishment shall provide on the premises sufficient parking space which, in the judgment of the building official, the chief of police and the city engineer will accommodate the largest number of automobiles being served or waiting to be served at any one time. This required space shall be appropriately arranged for the purpose and in no case shall it be less than the minimum space as specified in this chapter.

- ***Not applicable.***

**Sec. 93-23-17. - Continuing character of obligation.**

The schedule of requirements for off-street parking space and off-street loading space applicable to newly erected or altered structures shall be a continuing obligation of the owner of the real estate on which any such structure is located, so long as the structure is in existence and its use requiring vehicle parking or vehicle loading facilities continues, and it shall be unlawful for an owner of any building affected by this chapter to discontinue, change or dispense with, or to cause the discontinuance or change of the required vehicle parking or loading space apart from the discontinuance, sale or transfer of the structure, without establishing alternative vehicle parking or loading space which meets the requirements of and is in compliance with this chapter, or for any person, firm or corporation to use that building without acquiring the land for vehicle parking or loading space which meets the requirements of and is in compliance with this chapter.

**RECOMMENDATIONS**

The project as proposed will require the following variances from the Board of Appeals. Staff supports these variances.

- Parking in excess of the 110% requirement.

In addition, the site plan should be revised to address the following concerns identified per the planner's review for zoning compliance:

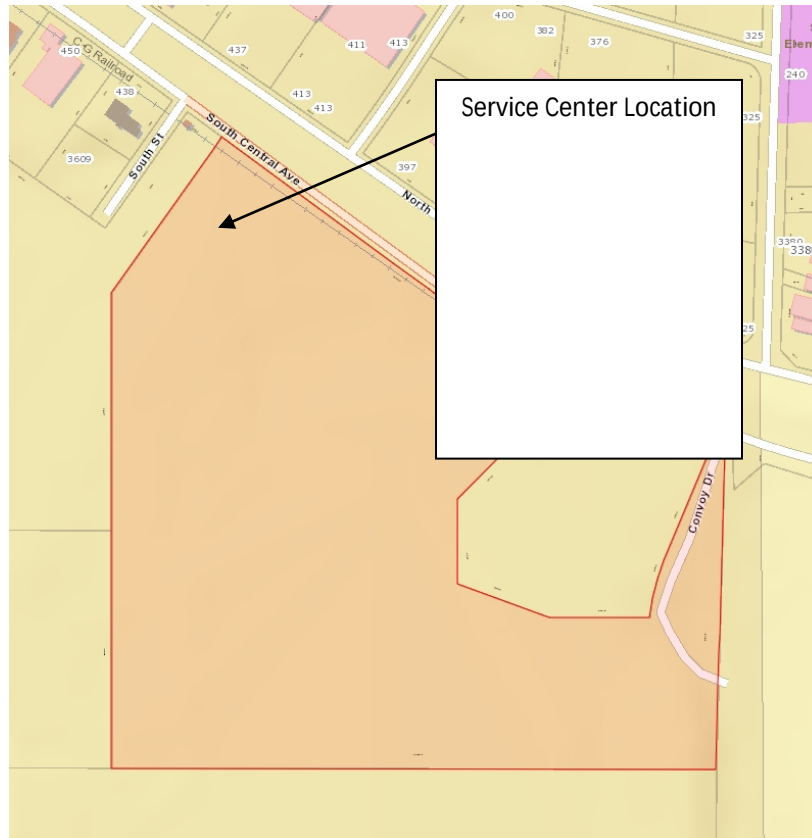


- *The applicant should clarify the actual square footage.*
- *The applicant should provide the distance between accessory structure and the nearest property line.*
- *The applicant should clarify if the curb cut is new or existing. A new curb cut is not allowed. An existing curb cut may be relocated.*
- *The applicant should provide the width of the new curb cut.*
- *No sidewalk is shown at the street as required by the Architectural Design Standards. Sidewalk must adhere to the Commercial/Mixed Use standard (5' landscape zone, 10' sidewalk/clear area).*
- *The applicant should provide site coverage broken down by type, such as building area and parking.*
- *The applicant should indicate one dedicated loading space on the plans.*
- *The applicant should indicate the need for additional parking, if shared parking is the intent.*
- *The applicant should provide an anticipated development schedule.*
- *At least 30% of provided parking spaces must be compact size. The plans state that 21 (14%) of the 148 provided spaces are compact size, which is not compliant. However, the locations and dimensions of those spaces are unclear.*
- *The majority of provided spaces are between the dimensional requirements for full-size spaces and compact-size spaces, being too narrow for the former and too long for the latter.*
- *10 of the provided parking spaces are at angles of less than 90 degrees to the curb and do not have lengths provided.*
- *The applicant must provide three ADA parking spaces.*
- *The applicant should provide one 15' high, 15' wide, and 60' long loading space.*

The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.

Should the site plan address all the planner's comments and the City Engineer's comments then the site plan is recommended for approval by the Planning Commission subject to approval of the required variances by the Board of Appeals.





**Location Map – Porsche Avenue (Parcel ID 14 0096 LL0593)**