

# **AGENDA**

## **City of Hapeville**

**3468 North Fulton Avenue**

**Hapeville, Georgia 30354**

## **Design Review Committee**

November 20, 2019

6:00 PM

1. Welcome And Introduction
2. Approval Of Minutes

Documents:

[DRC MINUTES OCTOBER 16, 2019.PDF](#)

3. James Babcock 536 College Street  
Mr. James Babcock has submitted an application seeking approval of plans for the exterior remodel of two apartment buildings at 536 College Street. The property is zoned RMU, Residential Mixed-Use.

Documents:

[536 COLLEGE STREET APPLICATION.PDF](#)

4. YM Hospitality 3450 International Blvd  
Nick Patel of YM Hospitality has submitted an application seeking approval of plans to construct a new 355-square foot dumpster enclosure at 3450 International Blvd. The property is zoned U-V, Urban Village.

Documents:

[PLANNERS REPORT 3450 INTERNATIONAL BLVD.PDF](#)

5. Kevin Clark 282 Birch Street  
Mr. Kevin Clark has submitted an application seeking approval of plans for the addition of a new 241-square foot rear deck and the construction of a new 347-square foot detached garage for an existing single-family dwelling at 282 Birch Street. The property is zoned R-1, One Family Residential.

Documents:

[282 BIRCH STREET APPLICATION.PDF](#)

6. Shannon Short 3055 Oakdale Road

Mr. Shannon Short has submitted an application seeking approval of plans for the addition of a new 364-square foot master bedroom to an existing single-family dwelling at 3055 Oakdale Road. The property is zoned R-1, One Family Detached.

Documents:

[3055 OAKDALE ROAD APPLICATION.PDF](#)

7. Anthony Uwechue 218 Maple Street

Mr. Anthony Uwechue has submitted an application seeking approval of plans for the renovation of an existing single-family dwelling at 218 Maple Street. The property is zoned R-1, One Family Detached.

Documents:

[218 MAPLE STREET APPLICATION.PDF](#)

8. Consideration To Approve The 2020 Design Review Committee Meeting Schedule

Documents:

[2020 DRC MEETING SCHEDULE.PDF](#)

9. Next Scheduled Meeting - Wednesday, December 18, 2019 At 6:00PM

10. Adjourn

**Please note that if the Design Review Committee approves the submitted application with condition(s), the applicant is responsible for making the necessary changes and resubmitting.  
Agenda subject to change**

## **Design Review Committee Meeting Minutes**

October 16, 2019

### **I. Call to Order**

Jonathan Love called to order the regular meeting of the Design Review Committee at 6:00 PM on October 16, 2019 at Hapeville City Hall Conference Room.

### **II. Roll Call**

Jonathan Love (Chairman) conducted a roll call. The following persons were present Brian Gregory, Karl Dufrenne, John Stalvey, and Michael Smith (non-voting). Rick Ferrero was absent (2).

### **III. Meeting Minutes**

The Committee reviewed the minutes from September 18, 2019. Mr. Stalvey made a motion to approve the minutes. Mr. Dufrenne seconded; motion carried 4-0.

### **IV. Applications**

Mr. Stalvey made a motion to add an item to the end of the agenda for The Landings at Virginia Park. Mr. Love seconded; motion carried 4-0.

- a) 3472 Rainey Avenue – Tony McSwain attending  
Mr. Love made a motion to approve the application as submitted. Mr. Dufrenne seconded; motion carried 4-0.
- b) 3275-3277 Russell Street – Steve Lamb attending  
The applicant agreed to paint/stain the ramp at the recommendation of the Committee. Mr. Gregory made a motion to conditionally approve the application based upon the decision of the Board of Appeals regarding construction in the setback. Mr. Dufrenne seconded; motion carried 4-0.
- c) 438 Porsche Avenue – Reuben Buckareff attending  
Applicant provided picture of the installed window showing it meets recessed window standards. Mr. Dufrenne made a motion to approve the application as submitted. Mr. Stalvey seconded; motion carried 4-0.
- d) 105 Lily Street – Jim Joyner attending  
The Committee granted a design exception to have first floor windowsills less than 2.5' above the finished first floor elevation. Mr. Stalvey made a motion to approve the application as submitted. Mr. Gregory seconded; motion carried 4-0.
- e) 591 King Arnold Street – Brent Stone attending  
The Committee indicated windows need to be added to all enfronting facades of the townhomes. The applicant agreed to update the drawings to show windows as noted on the side elevation of units 1 and 12.  
Mr. Love made a motion to approve the application with the updates.  
Mr. Stalvey seconded; motion carried 4-0.

- f) 801 Virginia Avenue – Joseph Latimer attending  
801 Virginia Avenue was used as the Chick-Fil-A headquarters in the 1960s. Design Exceptions are being granted to Chick-Fil-A to restore it to a similar design. Mr. Gregory made a motion to approve the application with the following design exceptions:

1. To continue use of existing storefront style and the installation of a landscape buffer to maintain the historical nature of the building.
2. For the use of metal panels as a façade material to maintain the historical nature of the building.

Mr. Love seconded; motion carried 4-0.

- g) Porsche Avenue – Laurel David attending  
Mr. Gregory made a motion to approve the application as submitted. Mr. Stalvey seconded; motion carried 4-0.

- h) The Landing at Virginia Park  
5-Unit building – Applicant has submitted plans for minor façade material changes. The first floor of the end units (1, 5) shall be painted brick. Unit 2 and 4 shall use a hardy-plank lap siding on the upper stories. The first-floor façade of units 2-4 shall remain brick.

Mr. Gregory made a motion to approve the updated plans for the 5-unit building. Mr. Stalvey seconded; motion carried 4-0.

2-unit building – Applicant submitted plans for façade and structural changes. Committee needs more details than the plans provided. Mr. Dufrenne made a motion to table the application. Mr. Stalvey seconded; motion carried 4-0.

## **V. Next Meeting**

Next scheduled meeting is Wednesday, November 20, 2019 at 6:00 PM.

## **VI. Adjournment**

Jonathan Love adjourned the meeting at 7:00 PM.

Minutes submitted by: \_\_\_\_\_  
Brian Gregory, Secretary

Minutes approved by: \_\_\_\_\_  
Jonathan Love, Chairman





**DEPARTMENT OF PLANNING AND ZONING  
PLANNER'S REPORT**

DATE: November 13, 2019  
TO: Tonya Hutson  
FROM: Michael Smith  
RE: **Design Review – 536 College Street Remodel**

**Key:**

|                 |   |
|-----------------|---|
| Compliant:      | ✓ |
| Not Compliant:  | ✗ |
| Incomplete:     | ✋ |
| Not Applicable: | ⊘ |

**BACKGROUND**

The City of Hapeville has received a design review application from James Babcock for the exterior remodel of two apartment buildings at 536 College Street. The remodeling consists of the addition of wooden paneling to the street facing facades of the two buildings, as well as the addition of wooden columns to existing stoops over the entrances to the units. The remodeling has already occurred.

The property is zoned RMU, Residential Mixed-Use, is within the A-D, Arts District overlay, and is subject to the Commercial/Mixed-Use area, Subarea B, of the Architectural Design Standards.

**RECOMMENDATIONS**

The applicant has not submitted all information required for a full design review. Should the Design Review Committee require any other elements of the site or structure to be brought into compliance with the Architectural Design Standards, the applicant will need to resubmit the application with all required information.

The use of wood siding is permitted in the Commercial/Mixed-Use area if it does not constitute more than 20% of the area of the enfronting façade. However, façade materials shall be combined horizontally, with the heavier below the lighter. The addition of wood siding vertically with brick to either side, rather than above the brick, is not compliant with the Design Standards. However, the Committee has allowed such designs in the past with a design exception.

As the existing stoops do not match any of the permitted supplemental area treatments, the code does not provide guidance for the design of the wooden columns. A design exception will be required for any changes to the stoops.

# CITY OF HAPEVILLE

## DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 10/15/19

**NOTE:** All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: James Babcock Contact Number: [REDACTED]

Applicants Address: [REDACTED]

E-Mail Address: James.Babcock@delmarhurstcapital.com Zoning Classification: C3 CR-5

Address of Proposed Work: 536 College St Hapeville, GA 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 11 009600020301

Property Owner: Roland Brooks Contact Number: [REDACTED]

Project Description (including occupancy type): Install 6' wide x 23' tall mixed cedar 1x4/1x6 cedar accent wall on front of multi-family buildings. Not structural, facade only.

Contractors Name: James Babcock Contact Number: [REDACTED]

Contact Person: James Babcock Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Applicants Signature

Date

10/15/19

**Project Class (check one):**

☐ Residential

☒ Commercial

☐ Mixed-Use Development

**Project Type:**

☐ New Commercial Construction

☒ Addition to Existing Commercial Building

☐ Addition to Existing Residential Structure

☐ Accessory Structure

☐ Site Plan, Grading & Landscaping

☐ New Single Family Residential Construction

☐ Other

Total Square Footage of proposed New Construction: 138 sf per bldg

Total Square Footage of existing building: 5504 sq ft per building

Estimated Cost of Construction: \$2800.00

List/Describe Building Materials on the exterior of the **existing** structure: brick and  
lap siding gable

List/Describe Building Materials **proposed** for the exterior facade of the new structure: \_\_\_\_\_

2x4 cedar unseen frame, 1x4, 1x6, 1x8 cedar accent  
boards 6' wide 23' tall

# NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

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I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I James Babcock swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



## DEPARTMENT OF PLANNING AND ZONING

### DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

\_\_\_\_ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:  
[https://library.municode.com/ga/hapeville/codes/code\\_of\\_ordinances?nodeId=PTIICOOR\\_CH81ARDEST](https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST)

\_\_\_\_ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

\_\_\_\_ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

\_\_\_\_ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

\_\_\_\_ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

\_\_\_\_ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

\_\_\_\_ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

\_\_\_\_ **Understood that builder must follow approved plan and that the Certificate of Occupancy will not be issued until a Design Inspection is performed and Architectural Design Standards are met.**

James Babcock

Signature

10/15/19  
Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.













**DEPARTMENT OF PLANNING AND ZONING  
PLANNER'S REPORT**

DATE: November 15, 2019  
TO: Tonya Hutson  
FROM: Michael Smith  
RE: **Design Review – 3450 International Boulevard Dumpster**

**Key:**

|                 |   |
|-----------------|---|
| Compliant:      | ✓ |
| Not Compliant:  | ✗ |
| Incomplete:     | ✎ |
| Not Applicable: | ⊘ |

**BACKGROUND**

The City of Hapeville has received a design review application from Nick Patel of YM Hospitality for the construction of a dumpster enclosure on the site of an existing enclosure to provide service to a new hotel being constructed at 3450 International Boulevard (Parcel ID 14 0127 LL0737). The dumpster will be located on a neighboring property, to the rear of 1001 Virginia Avenue (Parcel ID 14 0127 LL0844). The hotel's design as approved by the Design Review Committee had the dumpster enclosure within the building rather than as a separate structure. The new dumpster enclosure would be located directly adjacent to Lang Avenue to provide direct access to servicing vehicles, on the location of the existing dumpster enclosure.

The property is zoned U-V, Urban Village, and is subject to the Commercial/Mixed-Use area of the Architectural Design Standards.

**CODE**

**Sec. 81-1-6. Commercial/Mixed-Use Area**

***(d) Utility standards.***

Service areas and dumpsters:

- ✗ Shall be in the rear or side yard of the development; and
- ✓ Shall be screened from the public right-of-way to a height of eight feet with an opaque material on all sides, consistent with a primary building material. Acceptable materials for screening shall include painted wood or those found in section 93-2-5.

**Sec. 93-2-5. - Accessory uses, accessory buildings, yard requirements of accessory buildings, outbuildings and fences.**

**(3) *Materials and landscaping.***

- b. Fences in the C-R, V, and UV zoning districts must be constructed of ornamental metal, masonry, wood, or other ornamental material specifically made for fence construction.

## **FINDINGS**

While the proposed enclosure is located to the side of a parking lot belonging to 1001 Virginia Avenue, the intent is for the dumpster enclosure to serve the hotel at 3450 International Boulevard. As such, **the applicant should provide documentation showing permission from the property owner to use the dumpster enclosure.**

The proposed design and material are compliant with the code and conform in style to the building to which the dumpster enclosure is a secondary use. The hotel will be, in practice, a property with double frontage, limiting the viable locations for a dumpster enclosure. The original design for the hotel as approved by the Design Review Committee placed the dumpsters within the main structure rather than using an external enclosure. Constructing the dumpster enclosure at the proposed location along a public right-of-way will require a design exception.



**DEPARTMENT OF PLANNING AND ZONING  
PLANNER'S REPORT**

DATE: November 13, 2019  
TO: Tonya Hutson  
FROM: Michael Smith  
RE: **Design Review – 282 Birch Street**

**Key:**

|                 |   |
|-----------------|---|
| Compliant:      | ✓ |
| Not Compliant:  | ✗ |
| Incomplete:     | ✋ |
| Not Applicable: | ⊘ |

**BACKGROUND**

The City of Hapeville has received a design review application from Kevin Clark for the addition of a new 241 sq. ft. rear deck and the construction of a new 347 sq. ft. detached garage for an existing single-family dwelling at 282 Birch Street. The new deck will be made of pressure treated wood and the garage will be designed to match the existing dwelling in style.

The property is zoned R-1, One-Family Residential and is subject to the Neighborhood Conservation Area, Subarea E of the Architectural Design Standards.

**CODE**

**SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA**

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

**(a) Site development standards**

✗ Except where indicated, setbacks shall be established by zoning.

**(h) Detached one-family dwellings/ two-family dwellings.** In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

**Outbuildings.** In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement,

design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- ✓ i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
- ⊗ ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
- ⊗ iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
- 👤 iv. Outbuildings shall be of compatible material and architectural style to the principal building.
- 👤 v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- 👤 vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

### **RECOMMENDATIONS**

The applicant has not submitted all information required for a full design review. Should the Design Review Committee require any other elements of the site or structure to be brought into compliance with the Architectural Design Standards, the applicant will need to resubmit the application with all required information.

The deck complies with the setback requirements of zoning. The architectural design standards provide no other guidance for rear decks, which can be approved at the discretion of the Design Review Committee.

Upon review of the information provided by the Applicant for the garage, the following items have been found to be missing or deficient and should be addressed by the Applicant and the Design Review Committee:

1. The applicant should provide the material for the garage roof and the roof of the primary structure to ensure consistency.
2. The applicant should provide the height of the garage from grade, ensuring it is at least 14' high.
3. The applicant should ensure there are no outbuildings within 10' of the proposed structure on the adjacent lot.

Once these items are addressed to the satisfaction of staff and the Design Review Committee, the garage can be approved.

# CITY OF HAPEVILLE

## DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 10-9-19

**NOTE:** All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Kevin Clark Contact Number: [REDACTED]

Applicants Address: [REDACTED]

E-Mail Address: [REDACTED] Classification: Residential (R-1)

Address of Proposed Work: 282 Birch Street Hapeville Ga 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14-0094-0010-162-4

Property Owner: Kevin Clark LLC KKandC Investment Contact Number: [REDACTED]

Project Description (including occupancy type): Add on the deck to the rear of the House and demo shed in the rear of the house leaving only the slab and building a one car garage

Contractors Name: Gregory Wynn Contact Number: [REDACTED]

Contact Person: Kevin Clark Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[REDACTED]  
Applicants Signature

10-8-19  
Date

**Project Class (check one):**

☒ Residential      ☐ Commercial      ☐ Mixed-Use Development

**Project Type:**

☐ New Commercial Construction      ☐ Addition to Existing Commercial Building

☐ Addition to Existing Residential Structure      ☒ Accessory Structure

☐ Site Plan, Grading & Landscaping      ☐ New Single Family Residential Construction

☒ Other (DECK)

Total Square Footage of proposed New Construction: 241 sq. ft (Deck)  
17'4" x 20'-0" 347 sq. ft (Garage)

Total Square Footage of existing building: 1,614 sf

Estimated Cost of Construction: 5,000.00

List/Describe Building Materials on the exterior of the **existing** structure: Wood siding  
which will be torn down that is currently a  
shed. New garage will have same hardie  
plank as the house.

List/Describe Building Materials **proposed** for the exterior facade of the new structure: The  
Deck will be built with pressure treated  
wood the Garage will be framed with  
wood and the exterior will have the  
same hardie plank as the house currently  
does.



# NOTICE

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(Please Print & Initial)

I Kevin Clark KC swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



## DEPARTMENT OF PLANNING AND ZONING

### DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:  
[https://library.municode.com/ga/hapeville/codes/code\\_of\\_ordinances?nodeId=PTIICOOR\\_CH81ARDEST](https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST)

☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

**Understood that builder must follow approved plan and that the Certificate of Occupancy will not be issued until a Design Inspection is performed and Architectural Design Standards are met.**

Kevin Clark

Printed Name

[Redacted Signature]

Signature

10-9-19

Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

Section V - Erosion Control City of Atlanta

1. The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures prior to or concurrent with land-disturbing activities.
2. Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
3. Disturbed areas left idle 14 days shall be stabilized with temporary vegetation and mulch; disturbed areas remaining idle 30 days shall be stabilized with permanent vegetation.
4. Erosion and sediment control measures shall be inspected at least weekly, after each rain, and repaired as necessary.
5. additional erosion and sediment control measures shall be installed if determined necessary by on-site inspection
6. Silt fence shall be "Type S"; as per the Manual for Erosion and Sediment Control in Georgia and be wire reinforced (see attached detail).



BIRCH STREET ~ 40' R/W

27'± BC/BC

N88° 07' 38"E

50.53'

NO GRADED SLOPE  
SHALL EXCEED 2H:1V

RE-USE EXISTING  
UTILITIES

NO CUT, NO FILL

NO TREES REMOVED  
PROTECT ALL TREES

NO UTILITY WORK  
PROPOSED

CUT-OFF & CAP ALL  
UTILITIES FOR FUTURE USE

EXCAVATED MATERIALS TO BE  
REDISTRIBUTED ON LOT

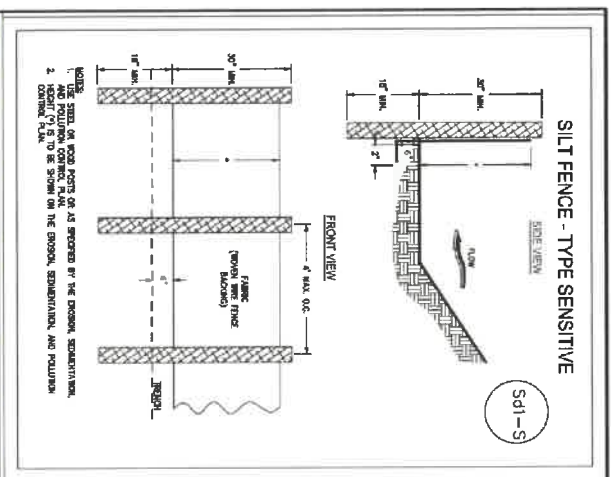
USE EXIST DW AS  
CONSTRUCTION OUTLET

419.5' ALONG R/W  
TO OLD JONESBORO  
RD R/W

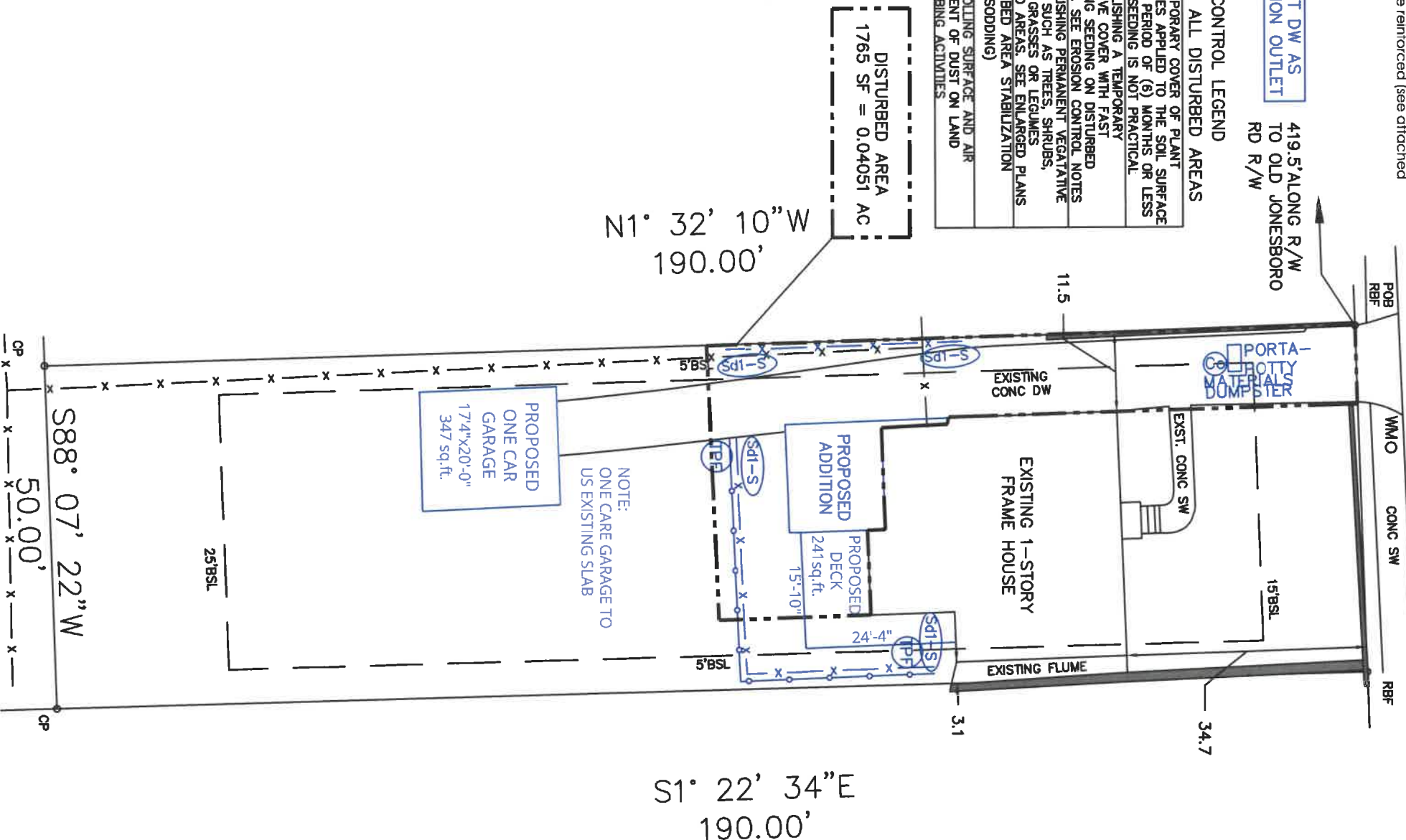
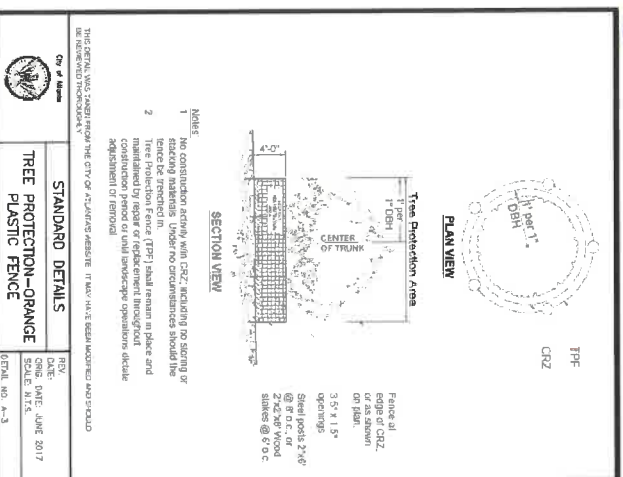
EROSION CONTROL LEGEND  
APPLY TO ALL DISTURBED AREAS

| A. TEMPORARY COVER OF PLANT<br>RESIDUES APPLIED TO THE SOIL SURFACE<br>FOR A PERIOD OF (6) MONTHS OR LESS<br>WHEN SEEDING IS NOT PRACTICAL |                                                                                                                                                                                                                                                                                        |
|--------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Ds1                                                                                                                                        | ESTABLISHING A TEMPORARY<br>NEGATIVE COVER WITH FAST<br>GROWING SEEDING ON DISTURBED<br>AREAS. SEE EROSION CONTROL NOTES<br>ESTABLISHING PERMANENT VEGETATIVE<br>COVER SUCH AS TREES, SHRUBS,<br>VINES, GRASSES OR LEGUMES<br>ON DISTURBED AREAS. SEE ENLARGED PLANS<br>(WITH SODDING) |
| Ds2                                                                                                                                        | CONTROLLING SURFACE AND AIR<br>MOVEMENT OF DUST ON LAND<br>DISTURBING ACTIVITIES                                                                                                                                                                                                       |
| Ds3                                                                                                                                        |                                                                                                                                                                                                                                                                                        |
| Ds4                                                                                                                                        |                                                                                                                                                                                                                                                                                        |

Sd1-S INDICATES SILT FENCE



TPF INDICATES TREE PROTECTION FENCE



PROPERTY ADDRESS:  
282 Birch St  
Atlanta, GA 30354

LAND AREA:  
9550 SF = 0.219 AC

IMPERVIOUS AREA:

DW:  
SW: 88 SF  
HOUSE: 1174 SF  
FLUME: 70 SF  
SHED: 345 SF  
998 SF

EXIST= 2675 SF=28.0%  
PROPOSED:  
PATIO: 119 SF  
ADDITION: 230 SF  
PROP= 3024 SF=31.6%

ZONING: R-1

0 20  
SCALE 1" = 20'

SITE PLAN PREPARED FOR:  
282 Birch St

282 Birch St

LOT 8 BLOCK G SUBDIVISION MORELAND PARK

LAND LOT 94 14th DISTRICT

FULTON COUNTY, GEORGIA

LOCATED IN HAPEVILLE

REFERENCE: PLAT BOOK 55539, PAGE 192

ALL MATTERS OF TITLE ARE  
EXCEPTED ~ NOT FOR RECORDING

SURVEY SYSTEMS & ASSOC., INC. ASSUMES NO LIABILITY OR  
RESPONSIBILITY FOR ERRORS OR OMISSIONS ON DEMO OR  
SITE PLANS. IT IS THE CLIENT'S RESPONSIBILITY TO REVIEW  
PLANS FOR COMPLETENESS AND ACCURACY. ANY REDLINES,  
COMMENTS, CORRECTIONS, ALTERATIONS, ETC. (FROM  
ANYONE EXCEPT THE CLIENT) SHALL BE DEEMED AS  
BILLABLE AND ADDITIONAL CHARGES SHALL APPLY.

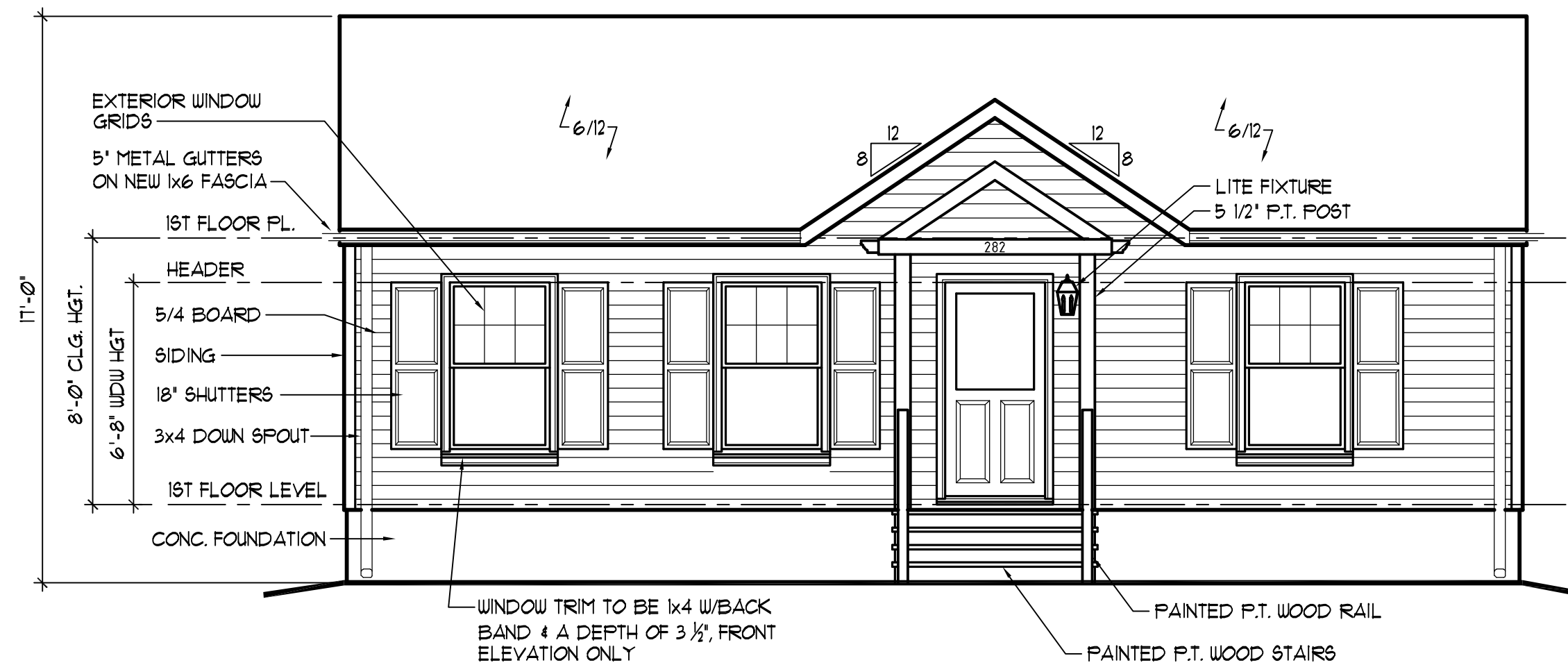
REVISIONS:

24 HR CONTACT:

Alexis Chapin  
770.853.8488  
dlexisnicotechpin@gmail.com



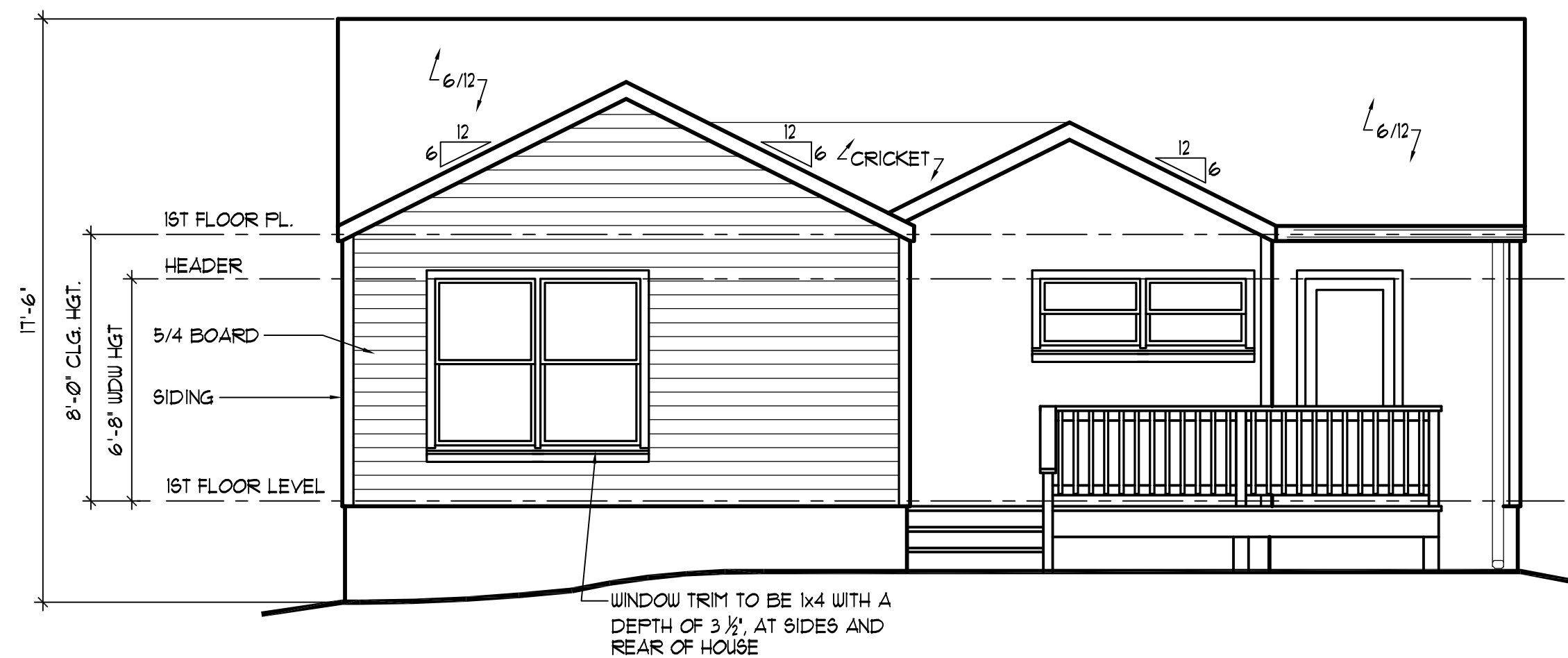
SURVEY SYSTEMS ATLANTA  
2156 W Park Ct, Ste D, Stone Mtn, GA 30087  
COA #LSF000867, info@SurveySystemsAtlanta.com  
Cell 678-591-6064 ~ Office 404-760-0010



FRONT ELEVATION

SCALE : 1/4" = 1'-0"

PROPOSED



REAR ELEVATION

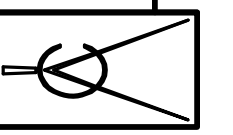
SCALE : 1/4" = 1'-0"

PROPOSED

RELEASED FOR CONSTRUCTION

179 COLONIAL DRIVE  
Woodstock, Ga. 30189  
Phone: 678-445-2632  
Fax: 678-445-0328

Cadd  
assistance



BIRCH ST.  
REMODEL

CONSTRUCTION CO. LLC.  
KEVIN CLARK  
770-853-8488

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|             |          |
|-------------|----------|
| project no. |          |
| drawn by    | B.B.     |
| checked by  | --       |
| date        | 10/04/19 |
| revised     |          |
| no.         | date     |

sheet no.

A-7





**BIRCH ST.  
REMODEL**

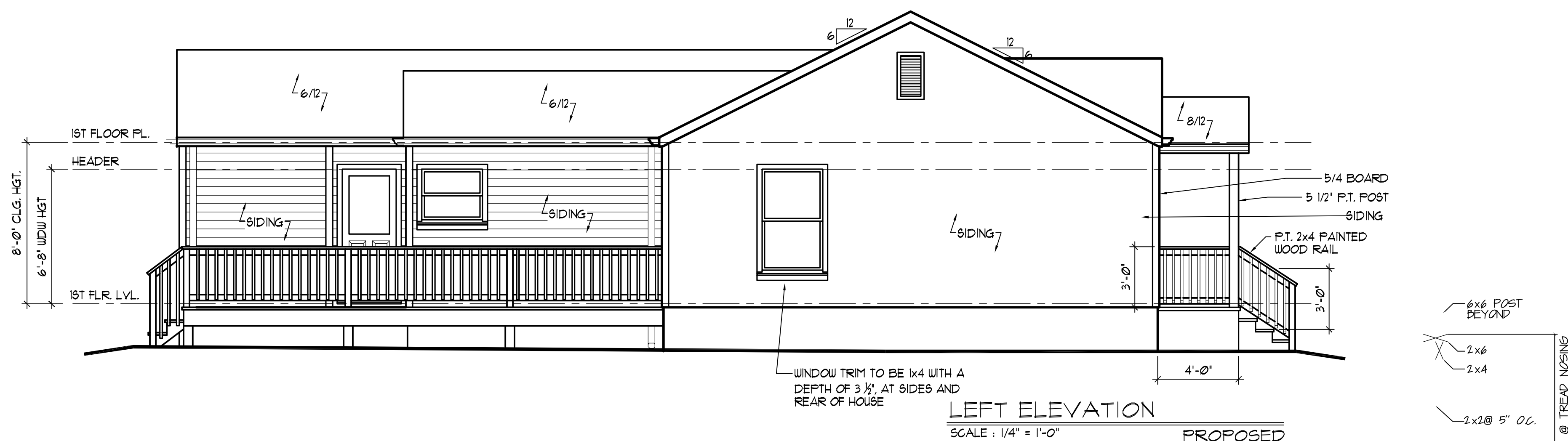
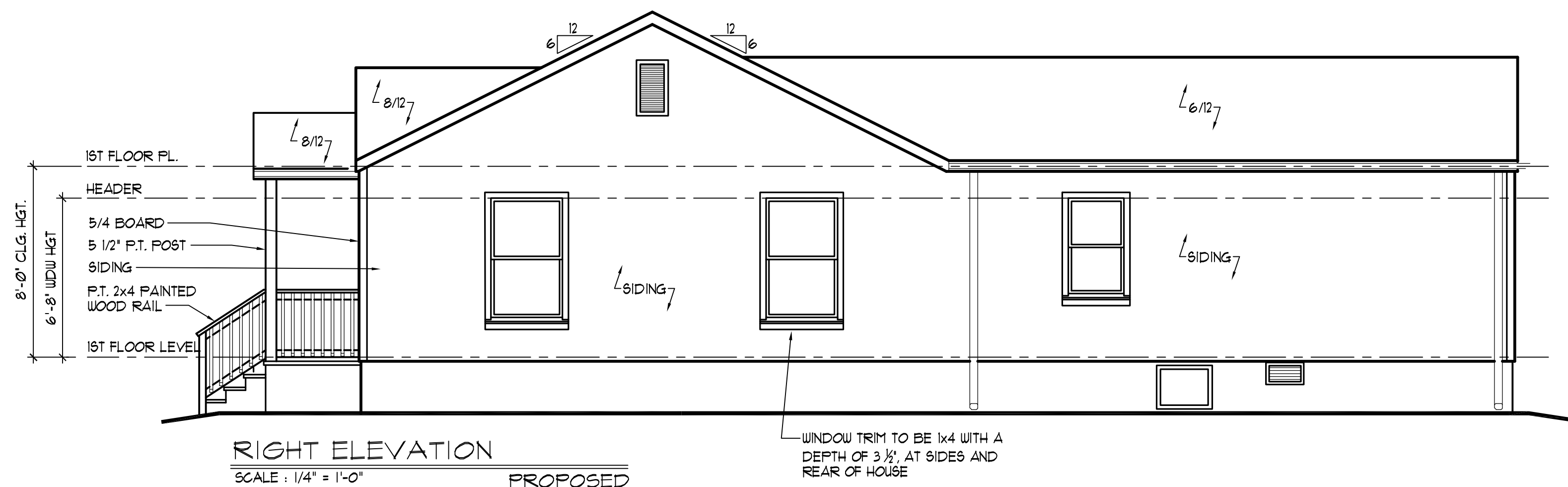
**CONSTRUCTION CO. LLC.**  
**KEVIN CLARK**  
**770-853-8488**

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|---------------|------|
| project no.   |      |
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| checked by    | --   |
| date 10/04/19 |      |
| revised       |      |
| no.           | date |

sheet no.

A-8



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STAIR GUARDRAIL DETAIL  
3/4" = 1'-0"

GENERAL NOTES:

- BUILDER TO VERIFY ALL PERTINENT INFORMATION REGARDING DIMENSIONS, CONSTRUCTIONS MAT'LS, METHODS, AND STRUCTURAL SIZING
- SIZE AND LOCATION OF RETAINING WALL(S) ARE TO BE DETERMINED BY CONTRACTOR ACCORDING TO SITE CONDITIONS
- NUMBER OF TREADS AND RISERS AT ALL EXTERIOR STAIRS TO BE DETERMINED BY CONTRACTOR ACCORDING TO SITE CONDITIONS
- ALL DIMENSIONS ARE TO STUD
- ALL ANGLED WALLS ARE TO BE 45° UNLESSSED NOTED OTHERWISE

SCOPE OF WORK

- REPLACE EXISTING ONE CAR GARAGE WITH A NEW ONE CAR GARAGE UTILIZING THE EXISTING SLAB PLAN. CURRENT STRUCTURE IS TO BE COMPLETELY REMOVE EXCEPT FOR THE SLAB



GARAGE REMODEL

282 BIRCH ST.  
Atlanta, Ga. 30354

- International Building Code, 2012 Edition, with Georgia Amendments (2014X2015)
- International Residential Code, 2012 Edition, with Georgia Amendments (2014X2015)
- International Fire Code, 2012 Edition, with Georgia Amendments (2014)
- International Plumbing Code, 2012 Edition, with Georgia Amendments (2014X2015)
- International Mechanical Code, 2012 Edition, with Georgia Amendments (2015)
- International Fuel Gas Code, 2012 Edition, with Georgia Amendments (2014X2015)
- National Electrical Code, 2017.2 Edition, with no Georgia Amendments
- International Energy Code, 2009 Edition, with Georgia Supplements and Amendments (2011X2012)
- 2012 NFPA 101 - Life Safety Code with State Amendments (2013)

DRAWING INDEX

|     |                             |     |                             |
|-----|-----------------------------|-----|-----------------------------|
| A-0 | COVER SHEET                 | A-3 | PROPOSED ELEVATIONS / PLANS |
| A-1 | EXISTING ELEVATIONS / PLANS | D-1 | DETAILS                     |

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179 COLONIAL DRIVE  
Woodstock, Ga. 30189  
Phone: 678-445-2632  
Fax: 678-445-0328

Cadd  
assistance

corporation

BIRCH ST.  
GARAGE  
REPLACEMENT

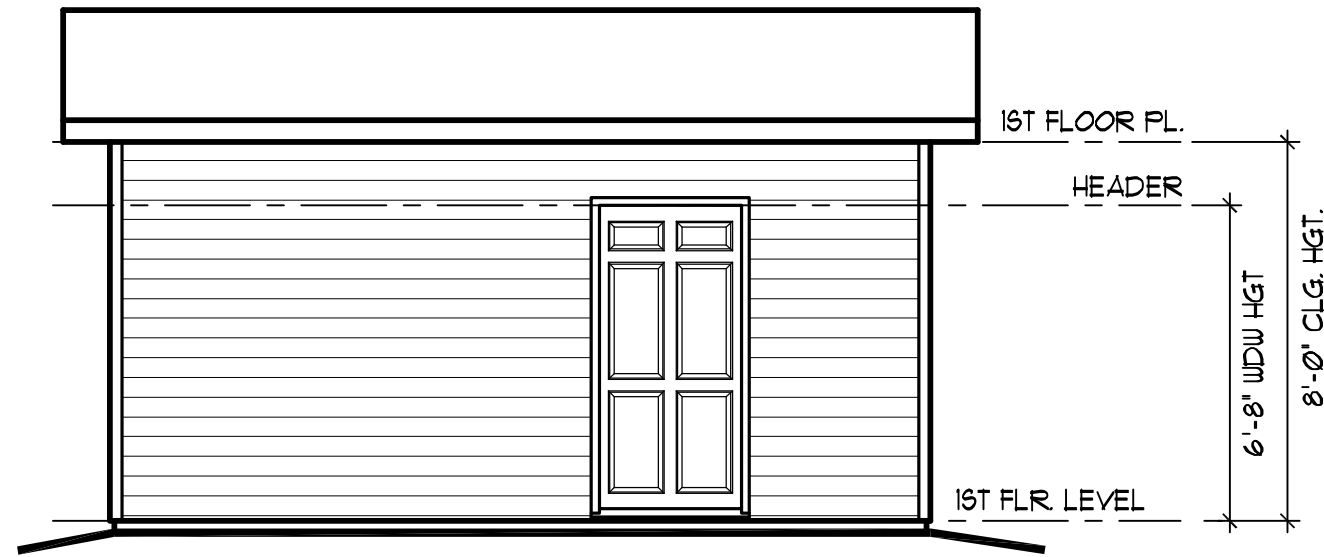
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KEVIN CLARK  
770-853-8488

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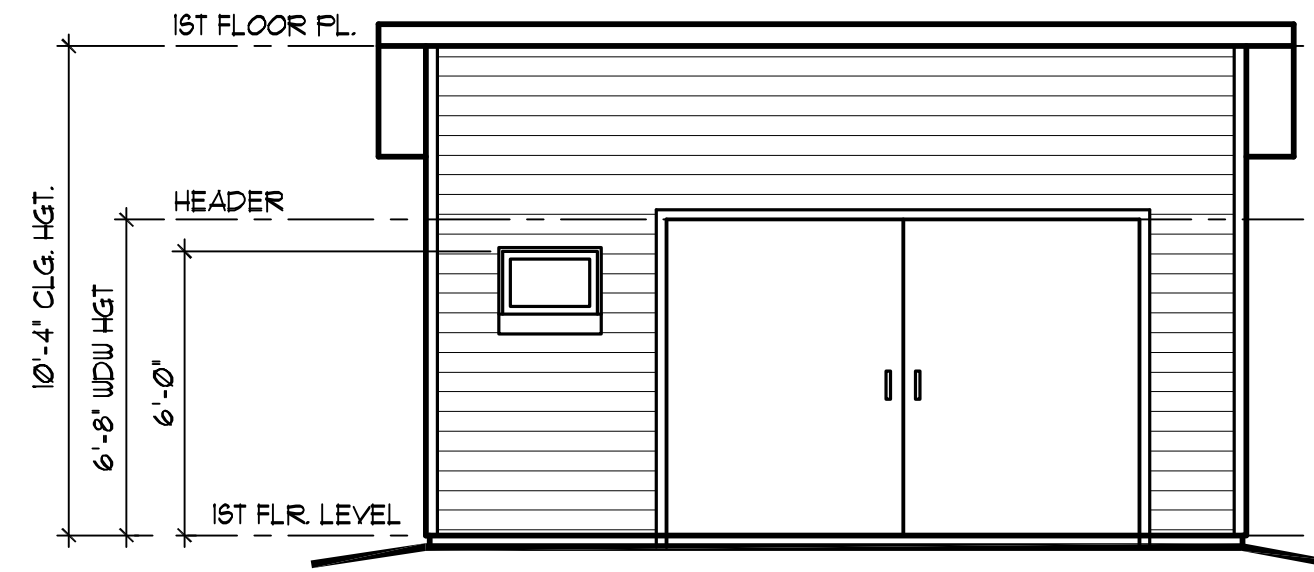
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A-0

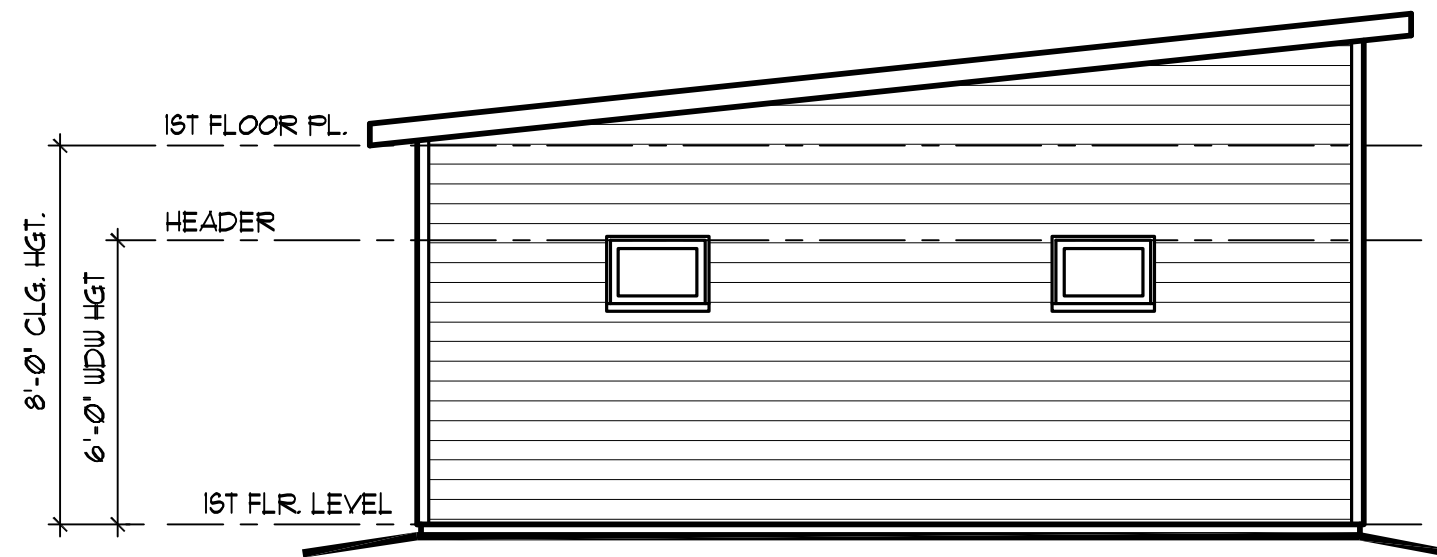




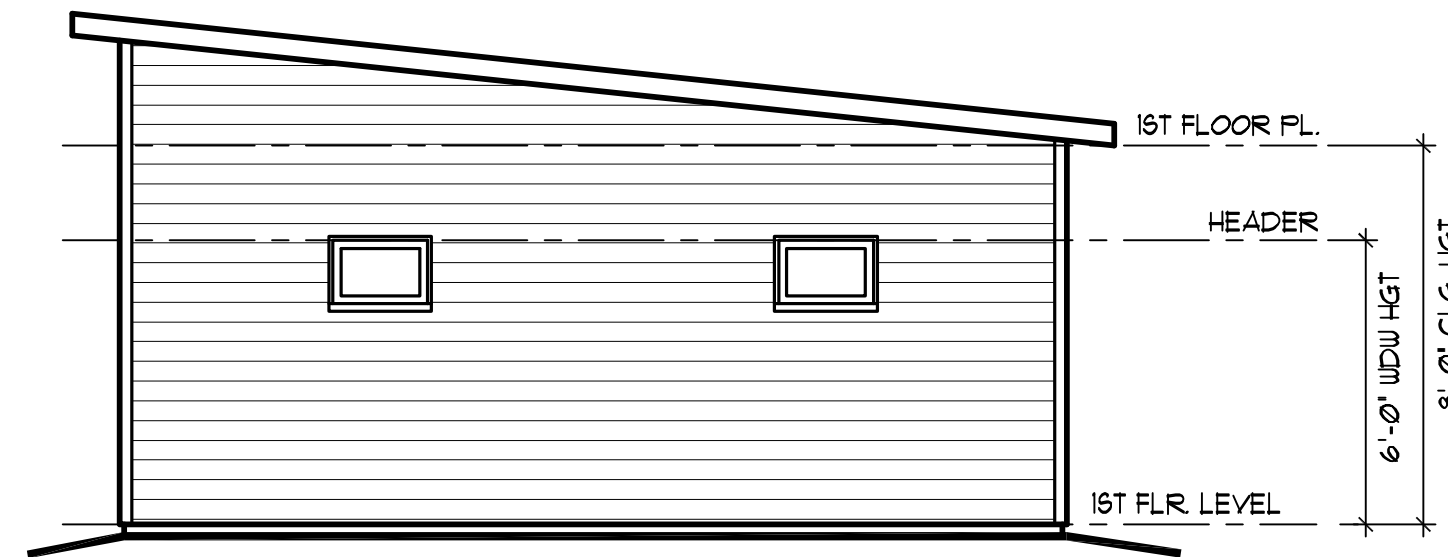
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SCALE : 1/4" = 1'-0"  
EXISTING



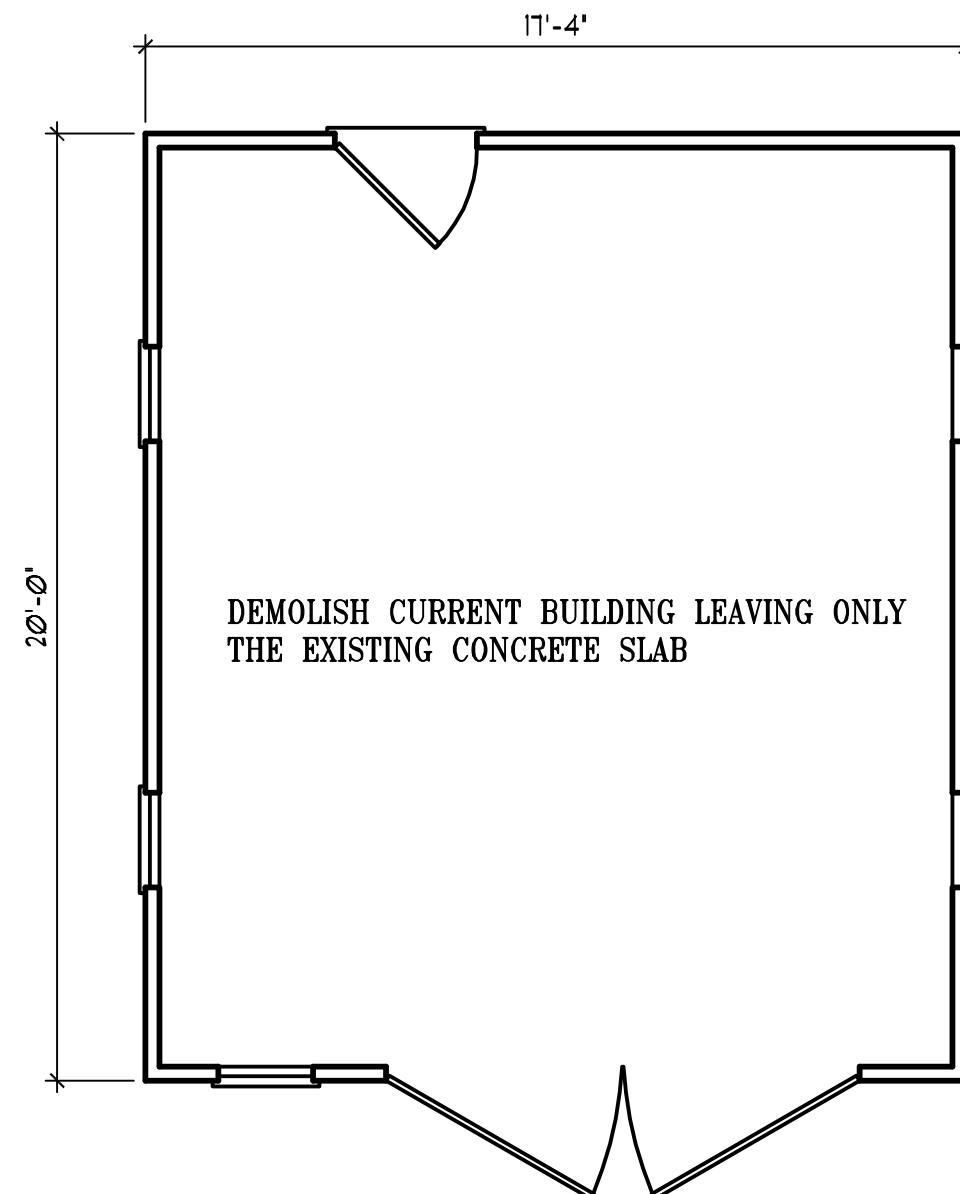
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EXISTING



LEFT ELEVATION  
SCALE : 1/4" = 1'-0"  
EXISTING



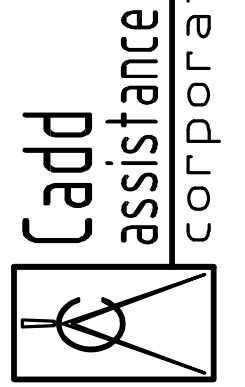
RIGHT ELEVATION  
SCALE : 1/4" = 1'-0"  
EXISTING



FLOOR PLAN  
SCALE : 1/4" = 1'-0"  
EXISTING

RELEASED FOR CONSTRUCTION

179 COLONIAL DRIVE  
Woodstock, Ga 30189  
Phone: 678-445-2632  
Fax: 678-445-0328



BIRCH ST.  
GARAGE  
REPLACEMENT

CONSTRUCTION CO. LLC.  
KEVIN CLARK  
770-853-8488

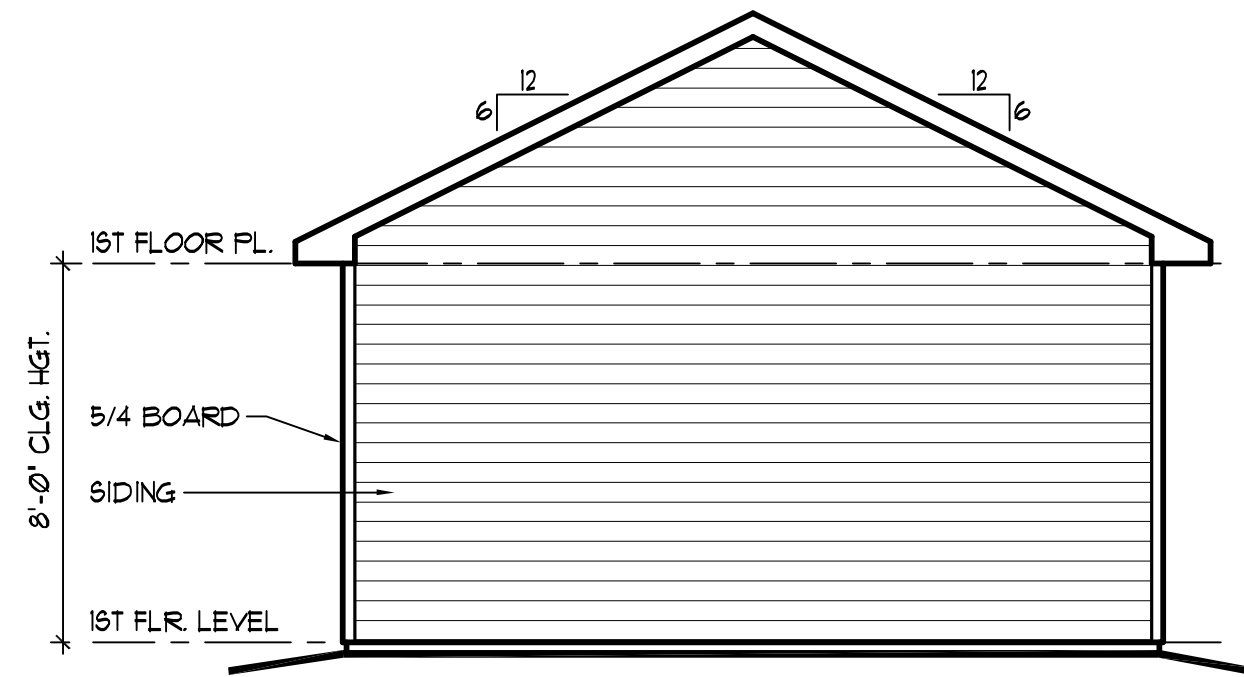
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| project no. |          |
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| revised     |          |
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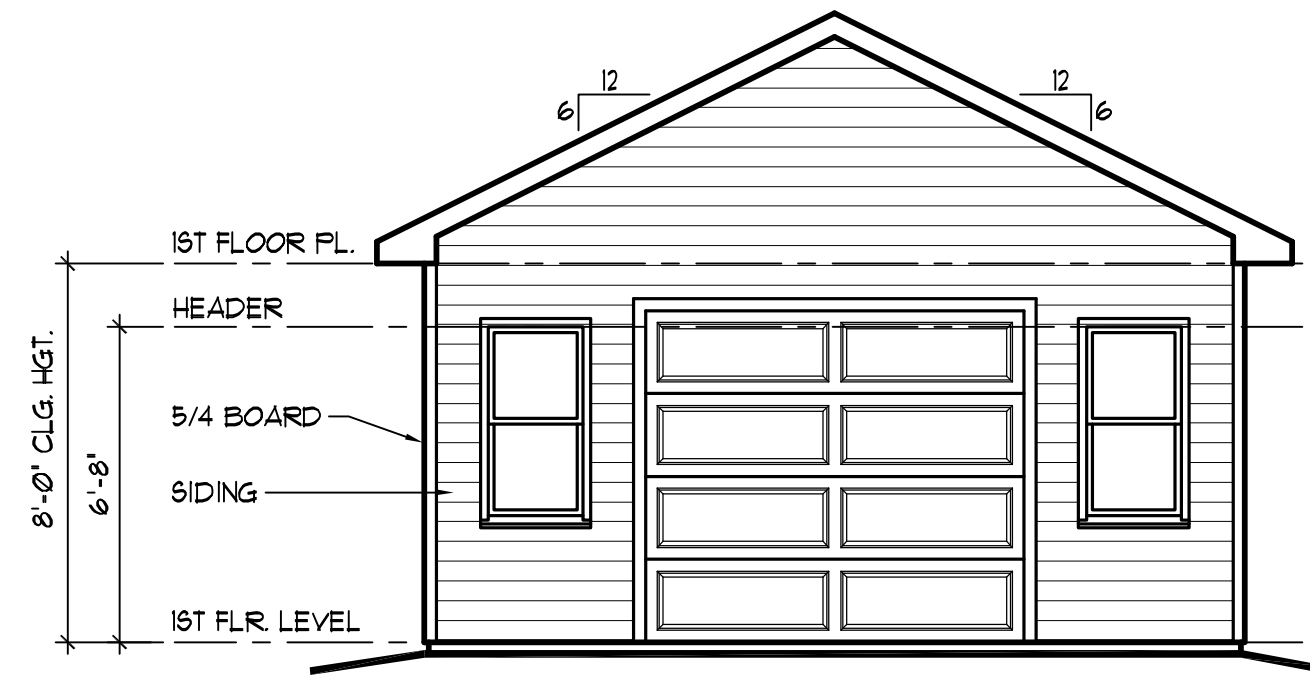
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A-1

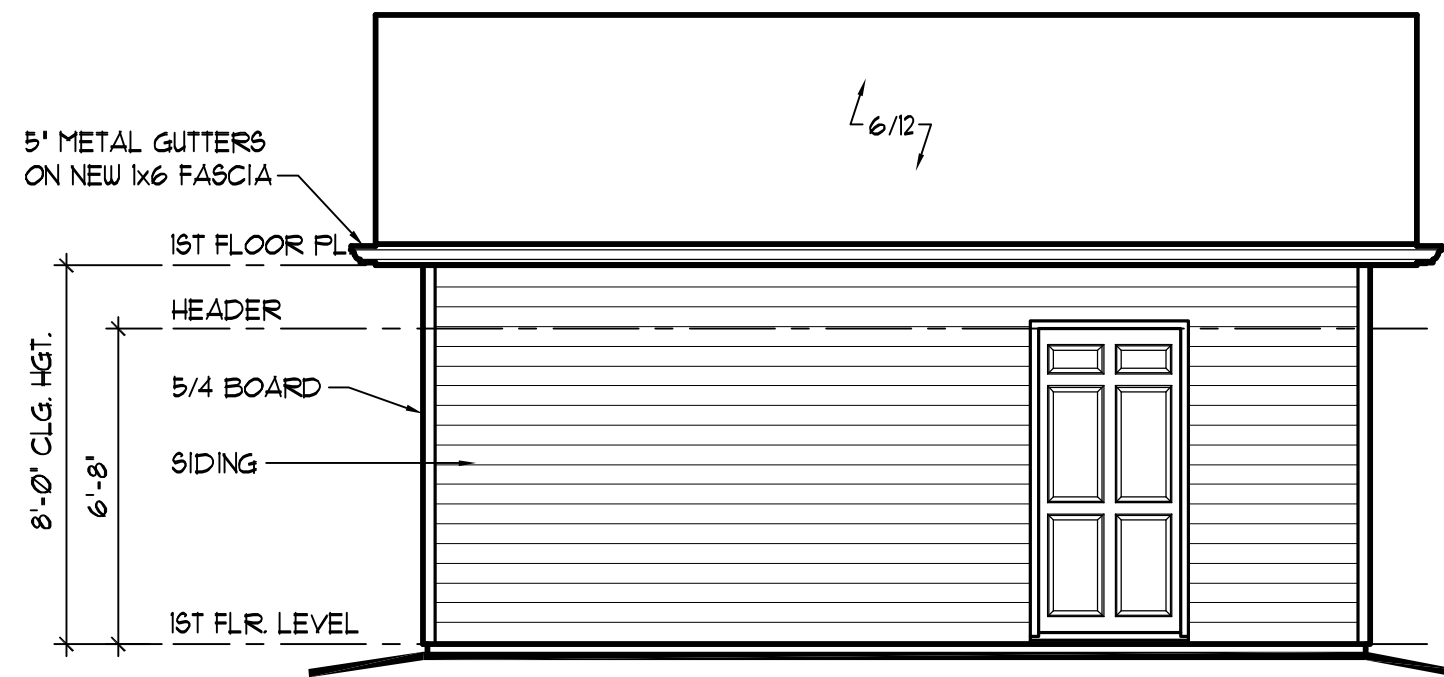




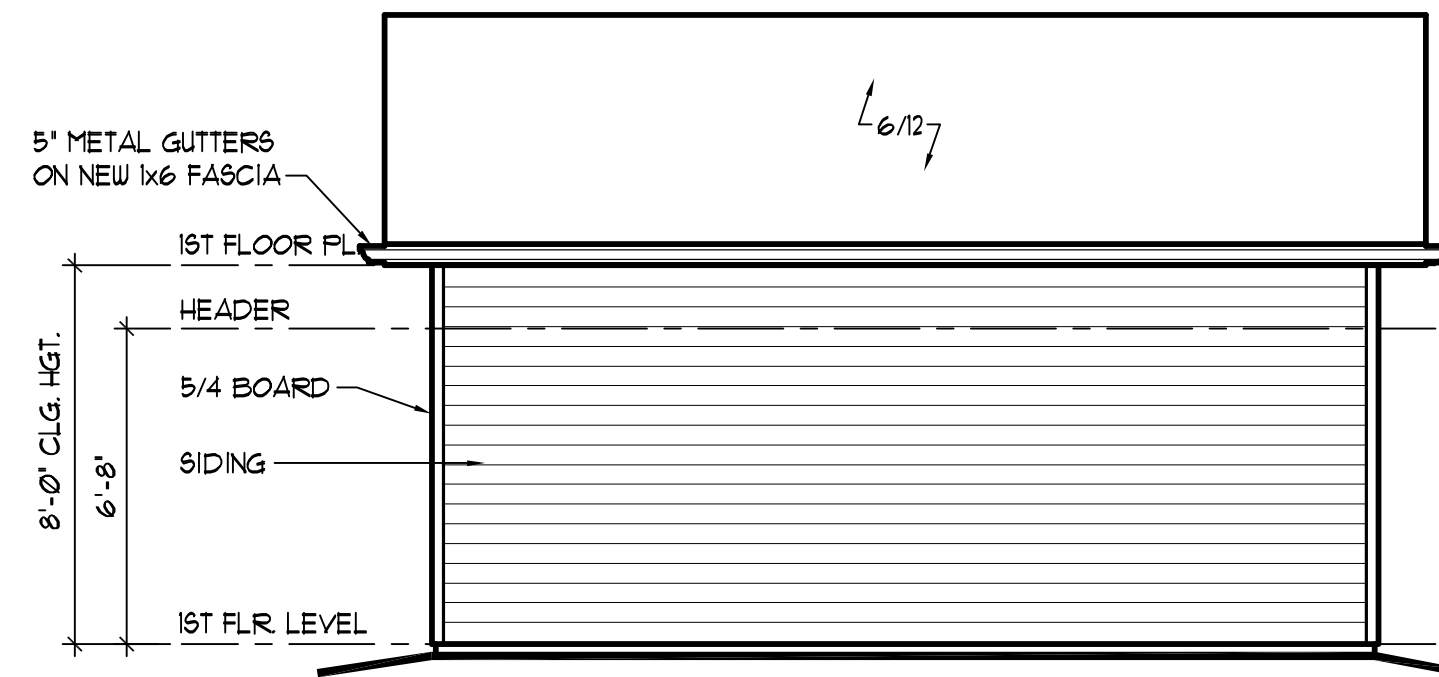
**REAR ELEVATION**  
SCALE : 1/4" = 1'-0" **PROPOSED**



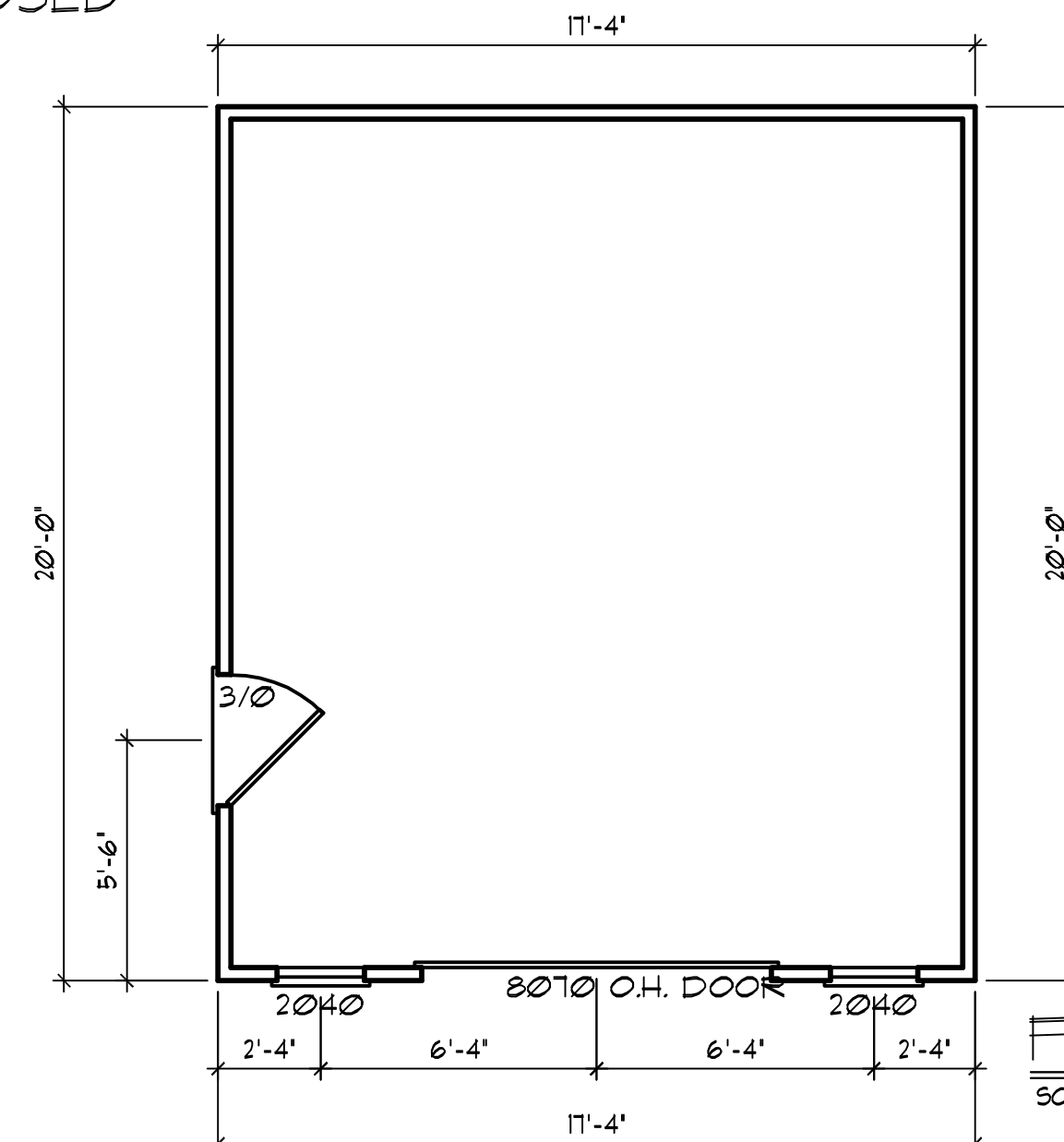
**FRONT ELEVATION**  
SCALE : 1/4" = 1'-0" **PROPOSED**



**LEFT ELEVATION**  
SCALE : 1/4" = 1'-0" **PROPOSED**



**RIGHT ELEVATION**  
SCALE : 1/4" = 1'-0" **PROPOSED**



**FLOOR PLAN**  
SCALE : 1/4" = 1'-0" **PROPOSED**

RELEASED FOR CONSTRUCTION



**DEPARTMENT OF PLANNING AND ZONING  
PLANNER'S REPORT**

DATE: November 13, 2019  
TO: Tonya Hutson  
FROM: Michael Smith  
RE: **Design Review – 3055 Oakdale Road Addition**

**Key:**

|                 |   |
|-----------------|---|
| Compliant:      | ✓ |
| Not Compliant:  | ✗ |
| Incomplete:     | ✎ |
| Not Applicable: | ⊘ |

**BACKGROUND**

The City of Hapeville has received a design review application from Shannon Short for the addition of a new master bedroom to an existing single-family dwelling at 3055 Oakdale Road. The new bedroom will be to the rear of the house and will add 364 sq. ft. to the existing 1,276 sq. ft. structure. The addition is designed to match the style of the existing dwelling.

The property is zoned R-1, One-Family Residential and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

**CODE**

**SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA**

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

**(e) *Roof and Chimney Standards***

- ✓ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✓ Roof shingles shall be slate, cedar, or asphalt.
- ⊘ Roof tiles shall be clay, terra cotta or concrete.
- ⊘ Metal roofs are:
  - Allowed on one-family and two-family detached dwellings;

Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.

- ✓ Gutters shall be copper, aluminum or galvanized steel.
- ✓ Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- ✓ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊗ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊗ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊗ Chimneys on exterior building walls shall begin at grade.
- ⊗ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

**STAFF COMMENT:**        •    **Roof to match existing.**

***(f) Street Facing Facade and Style Standards.***

- ✓ Exterior facade materials shall be limited to:
  - Full-depth brick;
  - Natural or cast stone;
  - ✓ Smooth natural-wood siding and/or cement-based siding;
  - Shake siding;
  - Painted fish-scale style shingles, but only when used in front gables;
  - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ✓ Exterior building materials shall not be:
  - Simulated brick veneer, such as Z-Brick;
  - Exterior insulation and finish systems (EIFS);
  - Exposed concrete block;
  - Metal siding or other metal exterior treatment;
  - Glass curtain walls;
  - Liquid vinyl;
  - T-1-11 siding;
  - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.
- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✓ Blank, windowless walls are prohibited along all facades. See subsection *81-1-7(g)11*.
- ✓ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.

**STAFF COMMENT:**        •    **Siding and foundation to match existing.**

**(g) Door and window standards.**

- ✗ Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- ✓ Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- 👉 Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- 👉 Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- 👉 Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

**STAFF COMMENT:**

- **Windows will be double-hung vinyl, which often have a flush top pane. The Committee typically permits vinyl windows in this configuration if the bottom pane is still recessed as necessary.**
- **The applicant should provide the following information regarding windows:**
  - **The material of the window trim.**
  - **The depth of the window trim, ensuring it is at least ¼"**
  - **The material of the windowsills.**

**(h) Detached one-family dwellings/ two-family dwellings.** In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

- 👉 **First Stories.** First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
- 🕒 **Window Sills.** Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
- 🕒 **Wheelchair access.** Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.
- 👉 **Architectural style.** Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

**STAFF COMMENT:**

- **The applicant has not provided the height of the finished first floor elevation above grade for the existing or new structure. The addition will match the existing dwelling in first floor elevation height.**
- **The existing dwelling is a ranch house. The addition matches the general style of the existing house but does not conform to the typical ranch footprint.**

## **RECOMMENDATIONS**

The applicant has not submitted all information required for a full design review. Should the Design Review Committee require any other elements of the site or structure to be brought into compliance with the Architectural Design Standards, the applicant will need to resubmit the application with all required information.

Upon review of the submitted materials relevant to the proposed addition, staff has determined the application has multiple deficiencies which must be addressed prior to approval:

1. The applicant should provide the following information regarding windows:
  - a. The material of the window trim.
  - b. The depth of the window trim, ensuring it is at least ¼"
  - c. The material of the windowsills.
2. The applicant has not provided the height of the finished first floor elevation above grade for the existing or new structure. The addition will match the existing dwelling in first floor elevation height.
3. The existing dwelling is a ranch house. The addition matches the general style of the existing house but does not conform to the typical ranch footprint.

Once these items are addressed to the satisfaction of Staff and/or the Design Review Committee, the application can be approved.

# CITY OF HAPEVILLE

## DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 10-16-19

**NOTE:** All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Shannon Short Contact Number: [REDACTED]

Applicants Address: [REDACTED]

E-Mail Address: [REDACTED] Licensing Classification: \_\_\_\_\_

Address of Proposed Work: 3055 Oakdale Rd

Parcel ID# (INFORMATION MUST BE PROVIDED): 14 0099000211/65

Property Owner: Mary Scott John Contact Number: [REDACTED]

Project Description (including occupancy type): Add master suite onto back of home for single family residence.

Contractors Name: Short Construction, Inc. Contact Number: [REDACTED]

Contact Person: Shannon Short Contact Number: 11

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

[REDACTED]  
Applicants Signature

10-16-19  
Date

**Project Class (check one):**

☒ Residential      ☐ Commercial      ☐ Mixed-Use Development

**Project Type:**

☐ New Commercial Construction      ☐ Addition to Existing Commercial Building  
☒ Addition to Existing Residential Structure      ☐ Accessory Structure  
☐ Site Plan, Grading & Landscaping      ☐ New Single Family Residential Construction  
☐ Other

Total Square Footage of proposed New Construction: 364

Total Square Footage of existing building: 1276

Estimated Cost of Construction: 36,400

List/Describe Building Materials on the exterior of the **existing** structure: Brick facade  
with vinyl windows and trim. Screened in porch on  
left side with brick "water table", wood trim and  
mesh screen. Aluminum gutter system. 30 year warranty  
architectural style shingles.

List/Describe Building Materials **proposed** for the exterior facade of the new structure: wood  
framing with brick water table to match porch as close  
as possible with fiber cement lap siding, fiber cement soffit &  
parade, Aluminum gutter system similar to existing. white  
vinyl 1 over 1 light windows "lifetime" warranty  
architectural style shingles to match existing as close  
as possible.



# NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

---

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I Shannon Sherd



swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



## DEPARTMENT OF PLANNING AND ZONING

### DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

SSS Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:  
[https://library.municode.com/ga/hapeville/codes/code\\_of\\_ordinances?nodeId=PTIICOOR\\_CH81ARDEST](https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST)

SSS Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

SSS Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

SSS Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

SSS Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

SSS Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

SSS Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

SSS **Understood that builder must follow approved plan and that the Certificate of Occupancy will not be issued until a Design Inspection is performed and Architectural Design Standards are met.**

Shannon Short

Printed Name

[Redacted Signature]

Signature

10-15-19

Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.



**718 CAMPBELL CIRCLE**

**HAPEVILLE, GEORGIA 30354**

**678-776-3276**

**Deficiency List:**

- 1. Fiber cement siding instead of full brick.**

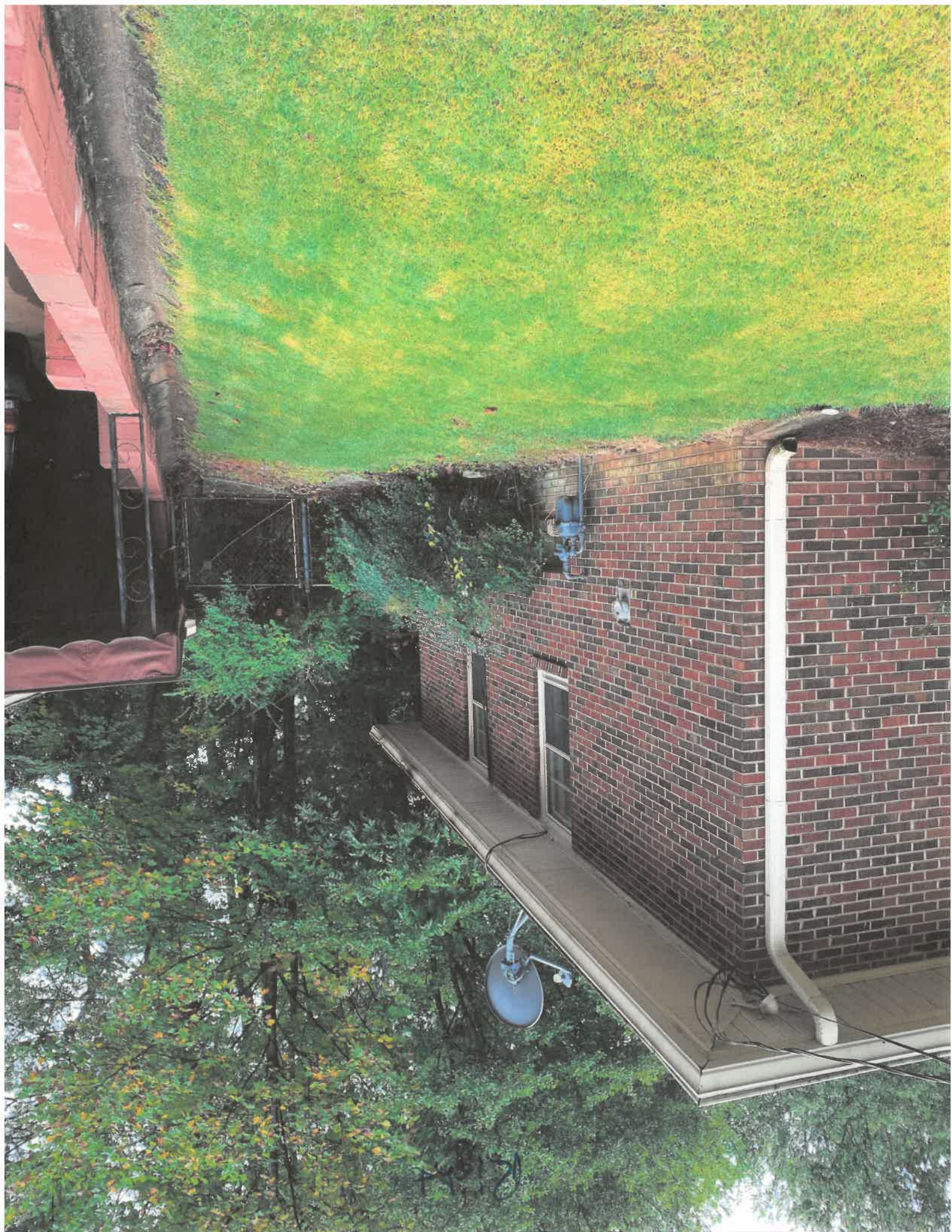
**We are matching the brick water table that is on the screened porch for a similar look and the addition will not be easily seen from the road. The owners wanted to do as little brick as possible to cut down on costs.**



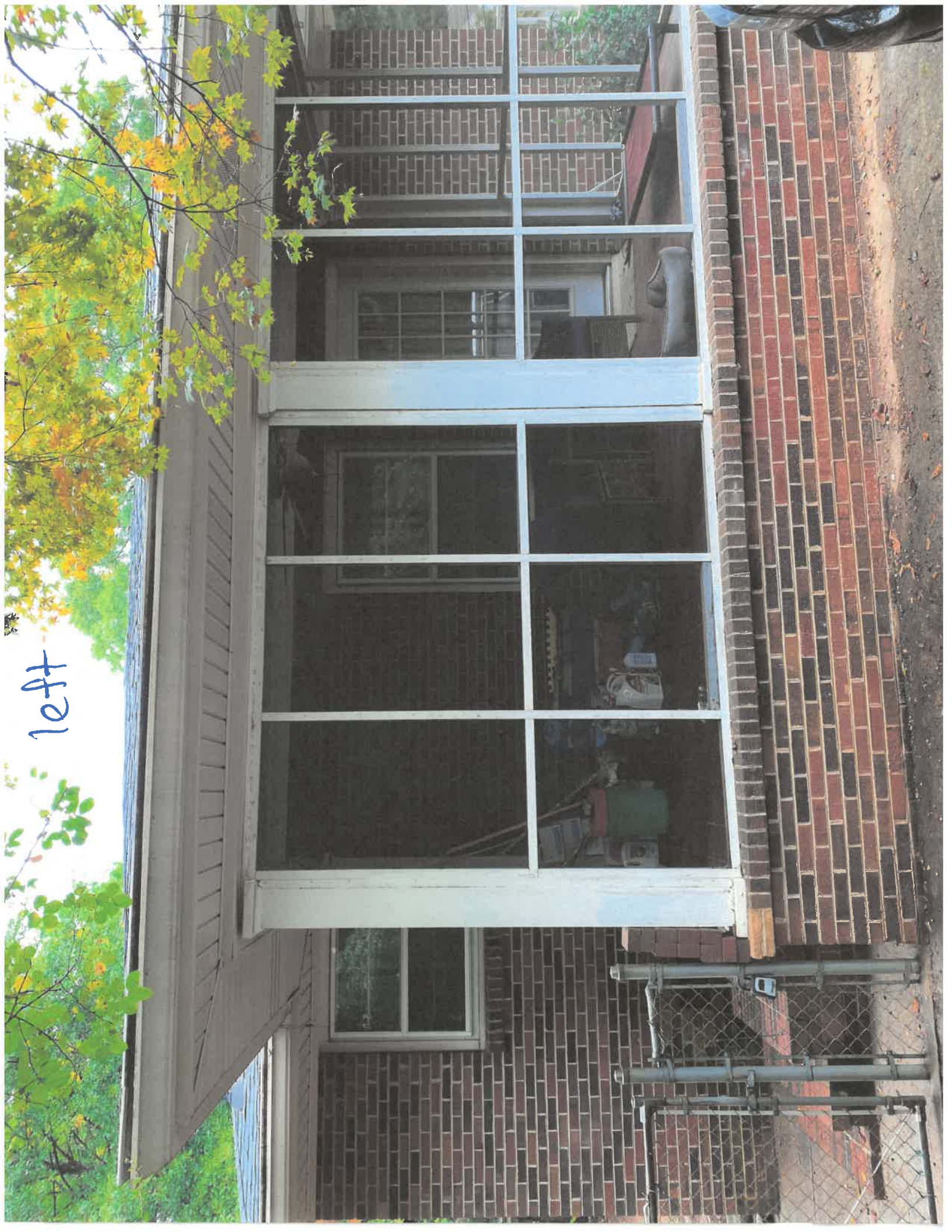
Front







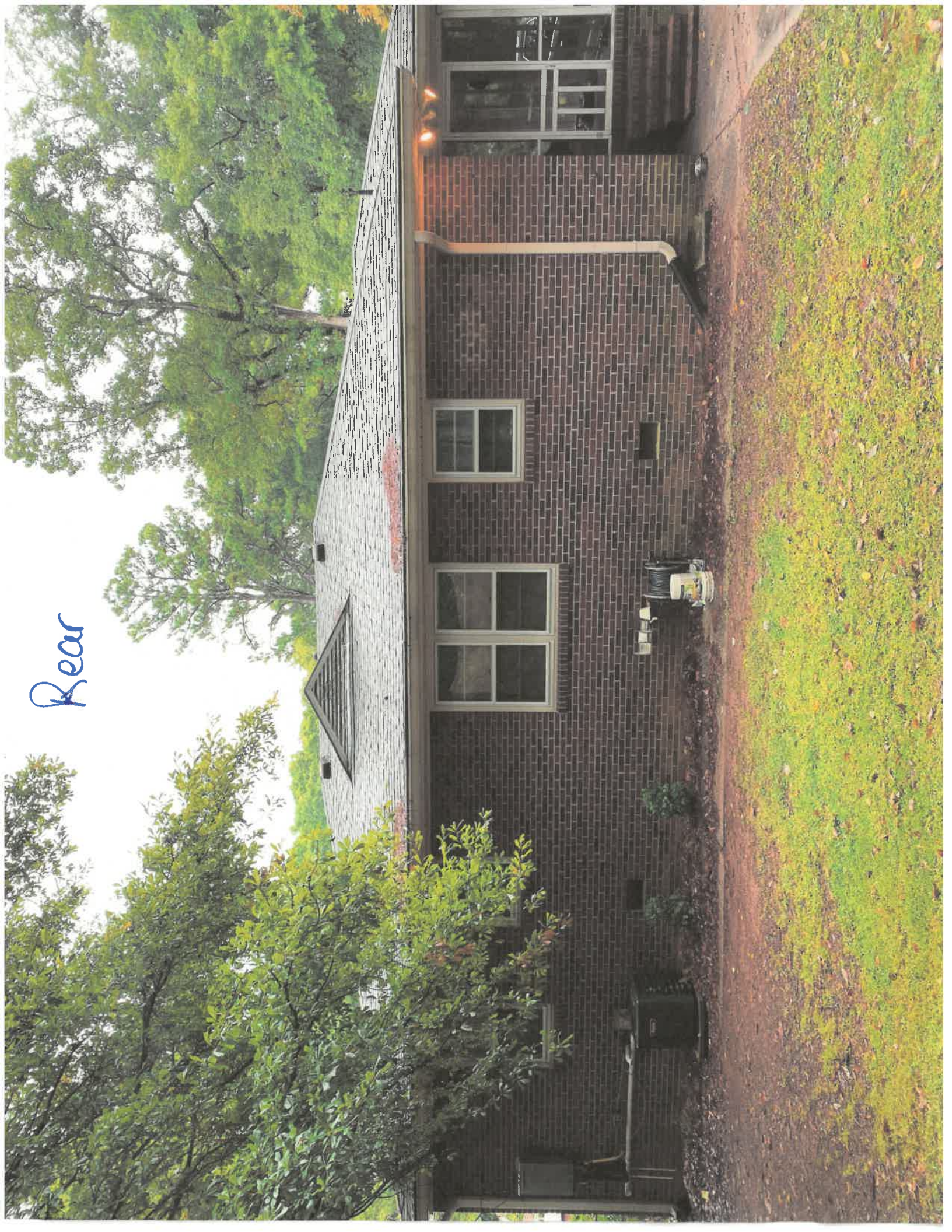




left



Rear





PROJECT GENERAL NOTES:

1. Construction drawings are to show conformity to building codes and for architectural design information only. General Contractor is responsible for all final material selections and for coordination and oversight of construction process.
2. Construction shall meet the requirements of all applicable building codes including any product, drawings, or specifications not provided within the scope of this drawing set.
3. Construction and installation shall follow all manufacturer guidelines and recommendations, including those needed for warranties.
4. All existing conditions and dimensions shall be field verified prior to commencement of construction. Discrepancies shall be brought to the Architect's attention so that design modifications can be made if necessary.
5. Dimensions noted on drawings shall take precedence over scaled dimensions.
6. General Contractor is responsible for verifying engineering issues meet all applicable codes, including structural, electrical, HVAC, and plumbing work. Discrepancies shall be brought to the Architect's attention so that design modifications can be made if necessary.

APPLICABLE CODES

INTERNATIONAL BUILDING CODE (ICC) -  
2012 EDITION W/ GEORGIA STATE AMENDMENTS (2014) (2015)

INTERNATIONAL MECHANICAL CODE (ICC) -  
2012 EDITION W/ GEORGIA STATE AMENDMENTS (2014) (2015)

INTERNATIONAL FUEL GAS CODE (ICC) -  
2012 EDITION W/ GEORGIA STATE AMENDMENTS (2014) (2015)

INTERNATIONAL PLUMBING CODE (ICC) -  
2012 EDITION W/ GEORGIA STATE AMENDMENTS (2014) (2015)

NATIONAL ELECTRICAL CODE -  
2014 EDITION WITH NO GEORGIA STATE AMENDMENTS

INTERNATIONAL ENERGY CONSERVATION CODE - 2009 EDITION  
W/ 2011 & 2012 GEORGIA STATE SUPPLEMENTS & AMENDMENTS

INTERNATIONAL RESIDENTIAL CODE FOR ONE- & TWO-FAMILY  
DWELLINGS - 2012 EDITION WITH GEORGIA STATE AMENDMENTS  
(2014) (2015)

ENERGY CODE COMPLIANCE

| TYPE:     | LOCATION:          |
|-----------|--------------------|
| R-13 BATT | EXTERIOR OPEN WALL |
| R-19 BATT | FLOORS             |
| R-30 BATT | CEILING            |

SQUARE FOOTAGE ANALYSIS

|                    | EXISTING   | PROPOSED   |
|--------------------|------------|------------|
| TOTAL HOUSE GROSS: | 1,276 S.F. | 1,640 S.F. |

PROJECT DESCRIPTION:

ADDITION OF NEW MASTER SUITE TO  
BACK OF EXISTING ONE STORY HOME.

CODE INFORMATION:

Proj. Address: 3055 Oakdale Road  
Hapeville, GA 33054

Occupancy: R-3, Single-Family Res.

DRAWING INDEX:

T1 Title Sheet Drawing Index

D1 Demolition Plan

A1.1 Construction Plan

A1.2 Foundation Plan

A1.3 Roof Plan

A2.1 Exterior Elevation

A2.2 Exterior Elevation

A2.3 Exterior Elevation

A3 Building Section

See Separate Site Plan

PROJECT CONTACTS:

OWNER :  
Jonathan Scott  
3055 Oakdale Road  
Hapeville, GA 33054

GENERAL CONTRACTOR:  
SCI Construction  
Shannon Short  
678.776.3276

DRAFTING:  
GMID, LLC  
gregorydmorgan@gmail.com

GMID

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gregorydmorgan@gmail.com

30 AUG 2019 FOR PERMIT

SCOTT  
RESIDENCE

MASTER SUITE  
3055 OAKDALE DR  
HAPEVILLE, GA.

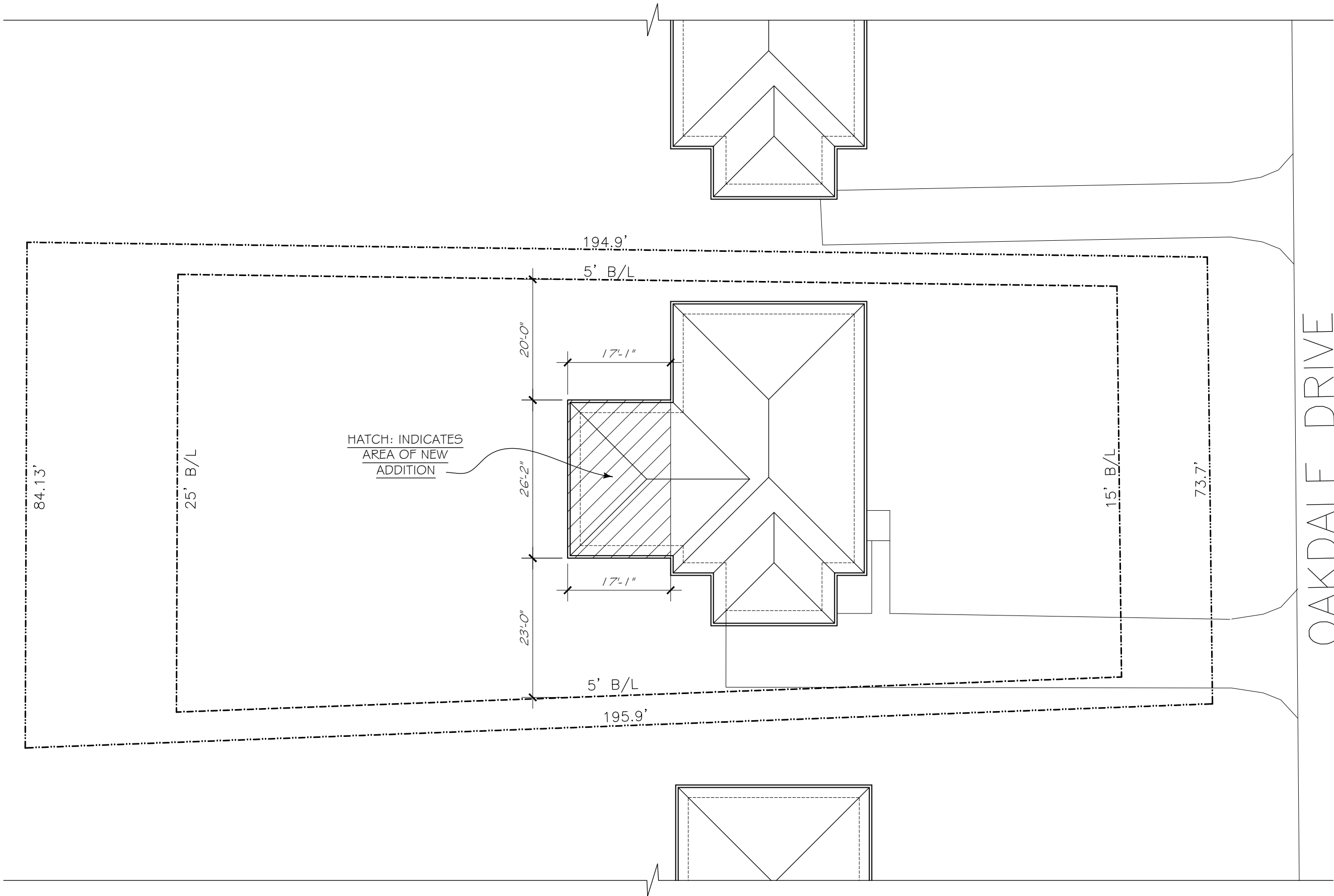
TITLE  
INDEX

T1

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18 OCT 2019 PERMIT

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RESIDENCE

MASTER SUITE  
3055 OAKDALE DR  
HAPEVILLE, GA.

GENERAL SITE  
PLAN

A-SITE

1 GENERAL SITE PLAN  
SCALE: 1/16" = 1'-0"

## DEMOLITION GENERAL NOTES

1. EXISTING CONSTRUCTION TO REMAIN UNLESS NOTED OTHERWISE
2. BRACE STRUCTURE AS REQUIRED DURING DEMOLITION PROCESS.
3. PATCH & REPAIR ADJACENT CONSTRUCTION & FINISHES TO REMAIN.
4. REMOVE EXISTING ELECTRICAL, PLUMBING & GAS PIPING IN DEMO'D WALLS - DISCONNECT & CAP PRIOR TO REMOVAL.

## DEMO KEYNOTES

- ① REMOVE EXISTING STUD WALL FOR NEW MASTER SUITE ENTRY AS INDICATED BY DASHED LINE.
- ② REMOVE EXISTING WINDOWS AS INDICATED WITH DASHED LINE.
- ③ REMOVE PORTION OF EXISTING BRICK VENEER AS INDICATED BY DASHED LINE.
- ④ PREPARE AND GRADE SOIL AS REQUIRED IN AREA INDICATED BY DASHED LINE: FOR NEW FOUNDATION WALL, FOOTINGS CONSTRUCTION AND NEW CRAWL SPACE

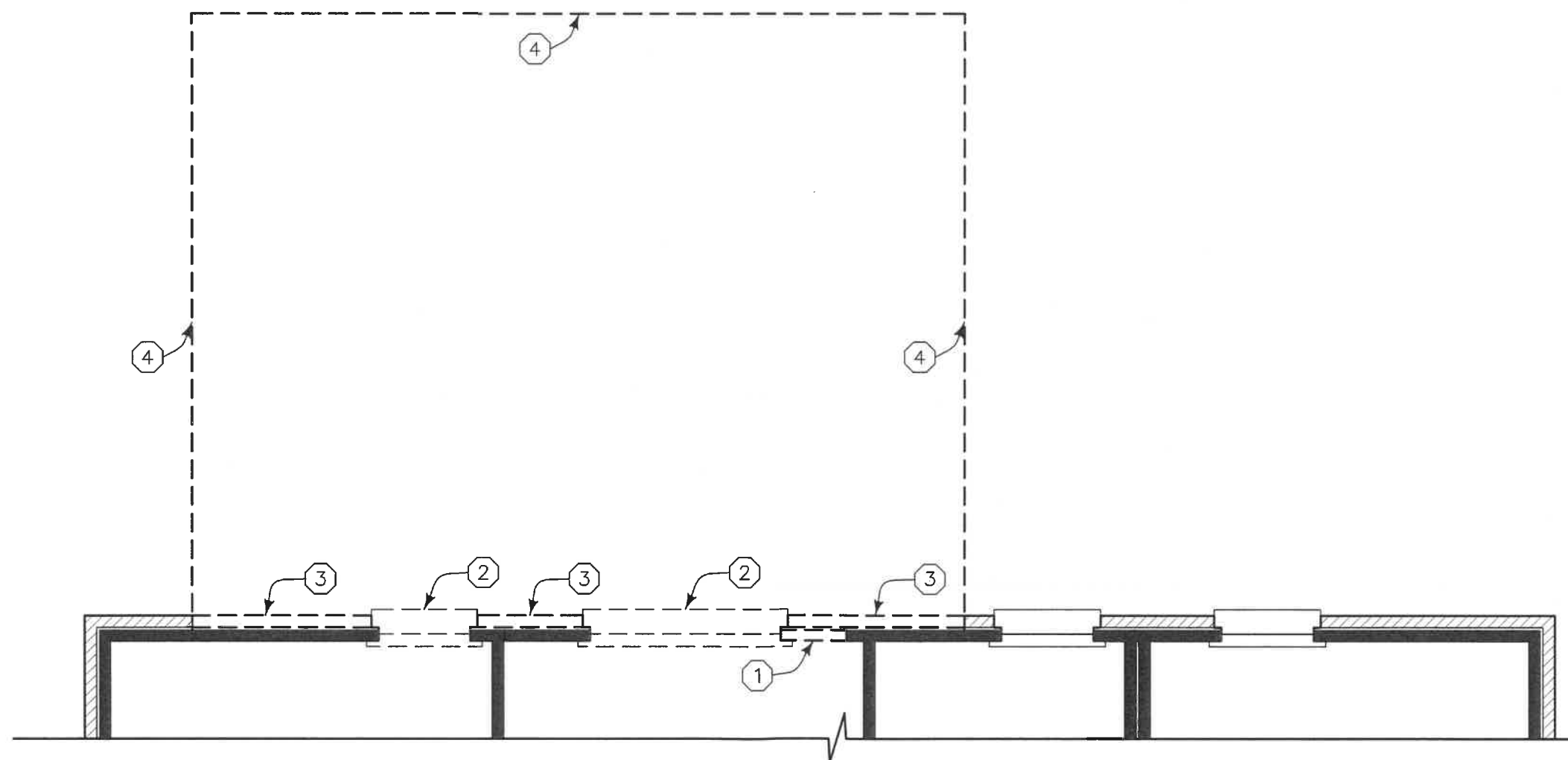
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**1** **DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"

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**SCOTT  
RESIDENCE**

MASTER SUITE  
3055 OAKDALE DR  
HAPEVILLE, GA.

**DEMOLITION  
PLAN**

**D-1**

SQUARE FOOTAGE ANALYSIS

|                    | EXISTING   | PROPOSED   |
|--------------------|------------|------------|
| TOTAL HOUSE GROSS: | 1,276 S.F. | 1,640 S.F. |

| ENERGY CODE COMPLIANCE |                    |
|------------------------|--------------------|
| TYPE:                  | LOCATION:          |
| R-13 BATT              | EXTERIOR OPEN WALL |
| R-19 BATT              | FLOORS             |
| R-30 BATT              | CEILING            |

LEGEND

NEW WALL

- CONSTRUCTION GENERAL NOTES
1.

CONSTRUCTION IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
2.

SMOKE DETECTOR REQUIRED IN ALL BEDROOMS AND CARBON MONOXIDE DETECTOR REQUIRED IN HALL DIRECTLY OUTSIDE BEDROOMS (1) PER LEVEL.
3.

ADD LIGHTING AT OWNER'S DIRECTION.
4.

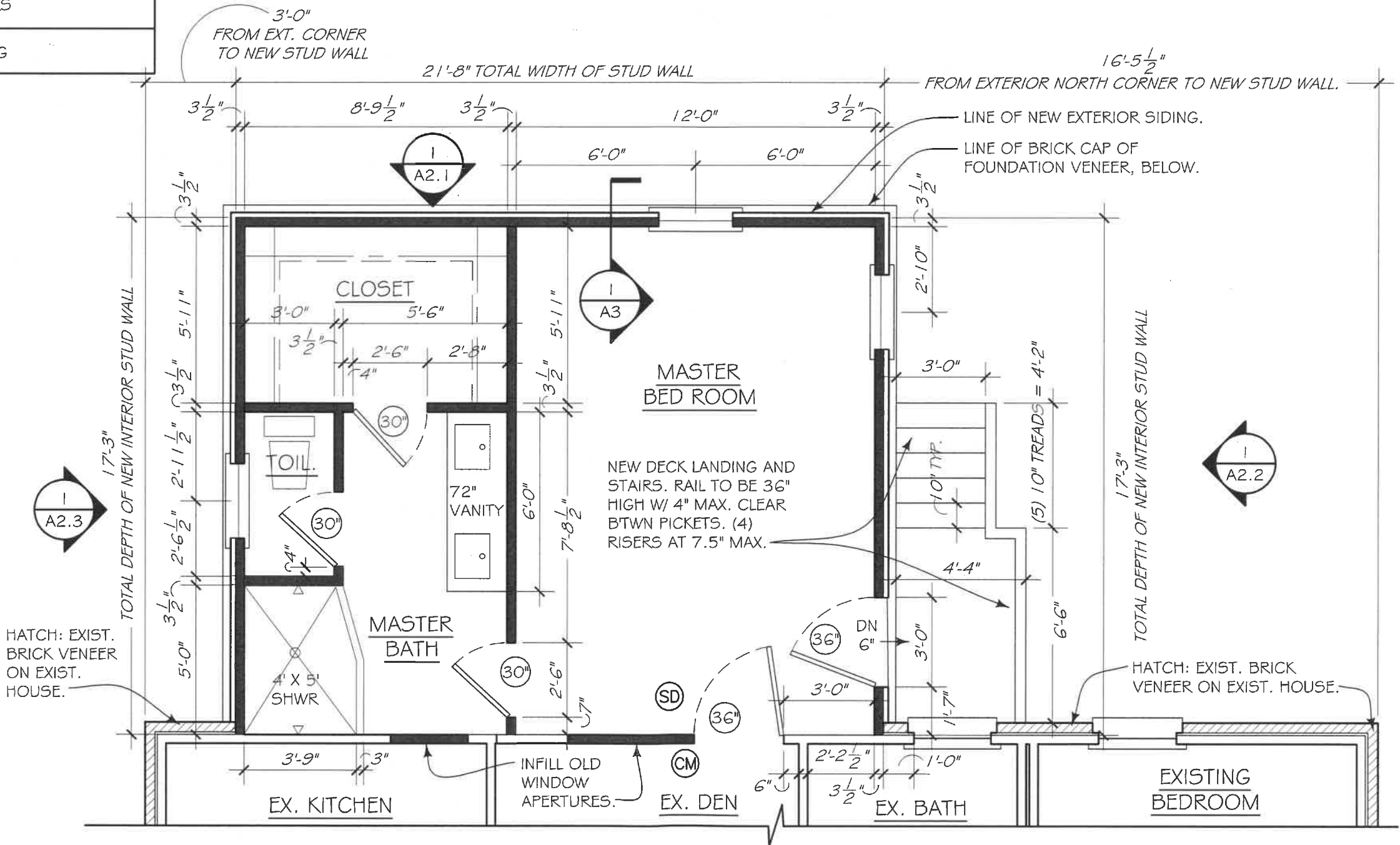
ADD NEW ELECTRICAL RECEPTACLES AND SWITCHING AT NEW CONSTRUCTION PER CODE; CONFER WITH OWNER ON LOCATIONS.
5.

GC IS RESPONSIBLE FOR CONFIRMING ALL STRUCTURAL INFO. & FOR OBTAINING STRUCTURAL ENGINEERING IF NECESSARY.

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FLOOR PLAN

SCALE: 1/4" = 1'-0"

30 AUG 2019 FOR PERMIT  
15 JUL 2019 4TH REVIEW  
12 JUL 2019 3RD REVIEW  
10 JUL 2019 2nd CLIENT REVIEW  
02 MAY 2019 CLIENT REVIEW

SCOTT RESIDENCE

MASTER SUITE  
3055 OAKDALE DR  
HAPEVILLE, GA.

CONSTRUCTION FLOOR PLAN

A-1.1

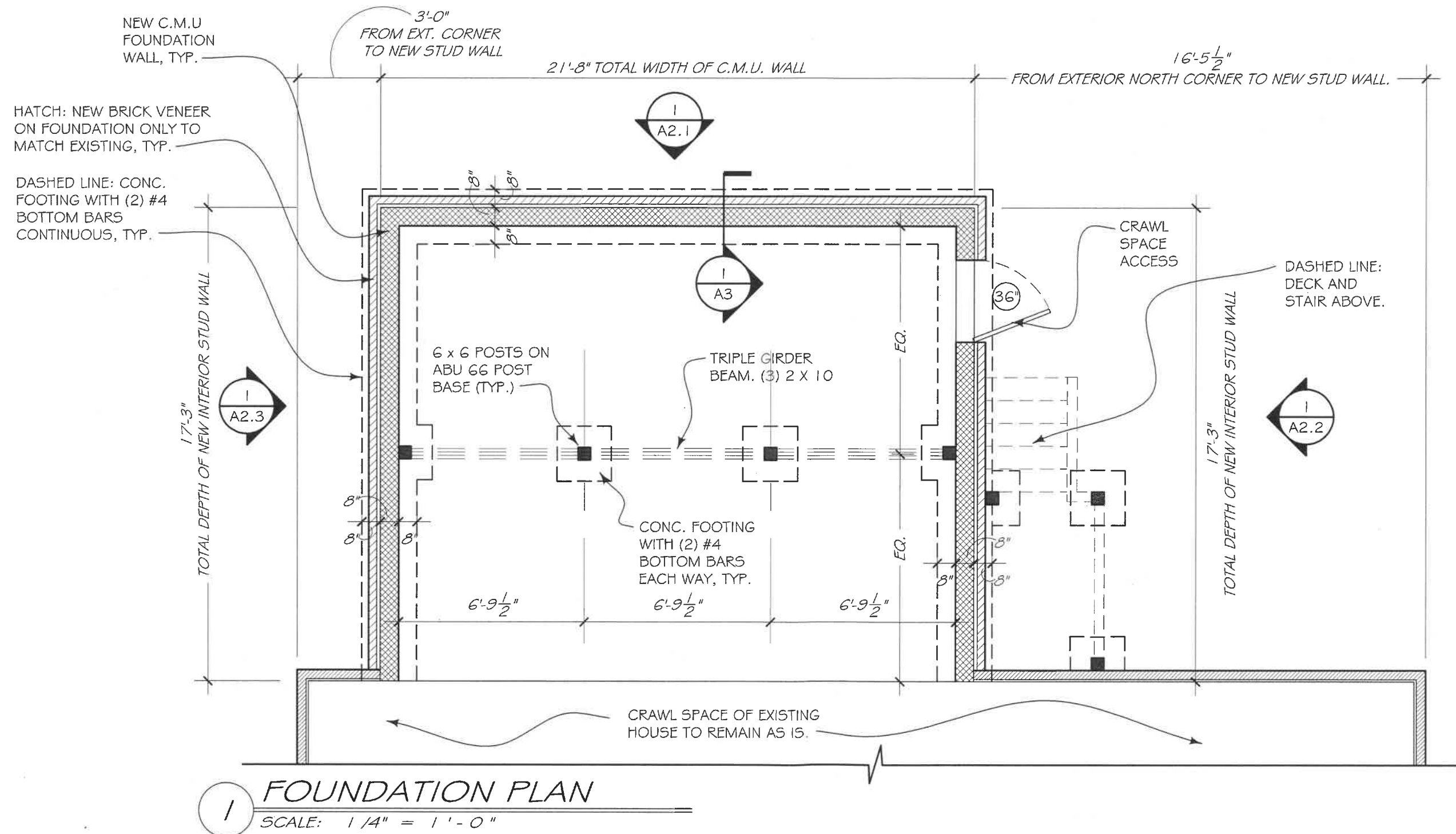


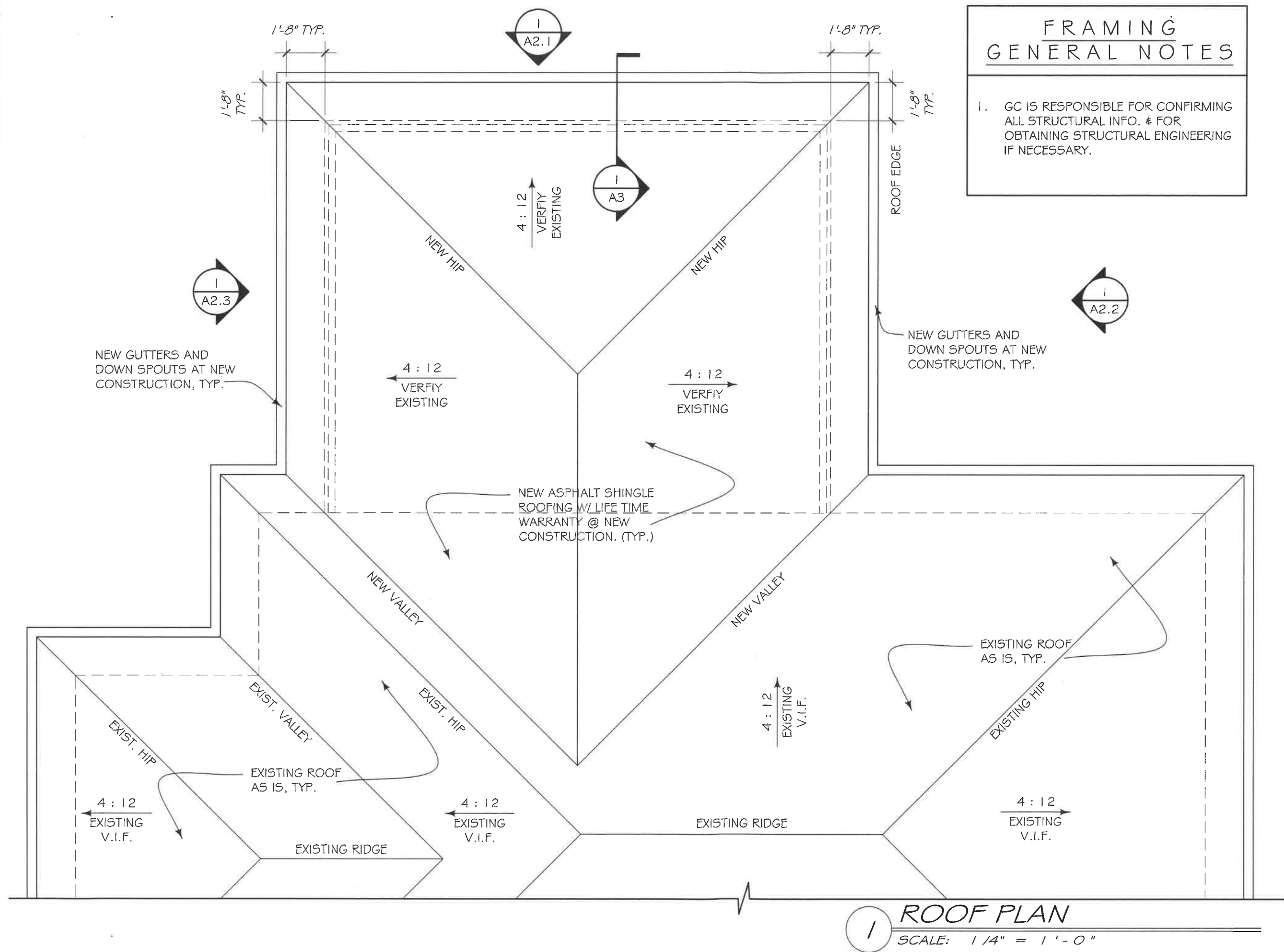
# LEGEND

|                                                                                   |                   |
|-----------------------------------------------------------------------------------|-------------------|
|  | NEW WOOD<br>POSTS |
|  | NEW C.M.U. WALL   |
|  | NEW BRICK VENEER  |
|  | EXISTING BRICK    |

- ## CONSTRUCTION GENERAL NOTES
1. CONSTRUCTION IS EXISTING TO REMAIN UNLESS NOTED OTHERWISE.
  2. REFER TO EXTERIOR ELEVATIONS FOR FINISH INFORMATION.
  3. GC IS RESPONSIBLE FOR CONFIRMING ALL STRUCTURAL INFO. & FOR OBTAINING STRUCTURAL ENGINEERING IF NECESSARY.

## A-1.2





**FRAMING  
GENERAL NOTES**

1. GC IS RESPONSIBLE FOR CONFIRMING ALL STRUCTURAL INFO. & FOR OBTAINING STRUCTURAL ENGINEERING IF NECESSARY.

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SCOTT  
RESIDENCE

MASTER SUITE  
3055 OAKDALE DR  
HAPEVILLE, GA.

ROOF  
PLAN

A-1.3

**1 ROOF PLAN**  
SCALE: 1/4" = 1'-0"

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NEW ASPHALT ROOF  
SHINGLES W/ LIFE TIME  
WARRANTY (TYP. AT NEW  
CONSTRUCTION.)

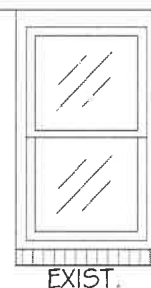
12  
4 (EX. V.I.F.)

12  
4  
MATCH EXIST.

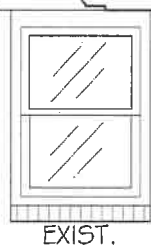
12  
4 (EX. V.I.F.)

12  
4 - MATCH EXIST.

12  
4 (EX. V.I.F.)

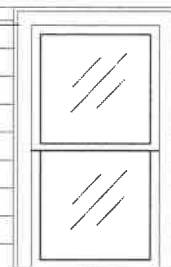


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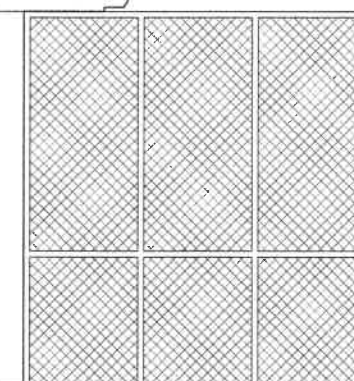


EXIST.

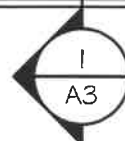
7'-0" TYP.  
U.N.O.



2'-6" x 5'-0"  
DBLE HUNG



NEW BRICK VENEER AT  
FOUNDATION TO MATCH  
EXISTING BRICK OF HOUSE.  
(TYP. AT NEW CONSTRUCTION.)



NEW ADDITION

PAINTED FIBER CEMENT SIDING  
W/ 7" EXPOSURE  
(TYP. @ NEW CONSTRUCTION.)

30 AUG 2019 FOR PERMIT

SCOTT  
RESIDENCE

MASTER SUITE  
3055 OAKDALE DR  
HAPEVILLE, GA.

EXTERIOR  
ELEVATION

A2.1

ELEVATION  
SCALE: 1/4" = 1'-0"

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4 (EX. V.I.F.) 12 12 4 (EX. V.I.F.)

12 4  
MATCH EXIST.

NEW ASPHALT ROOF SHINGLES W/  
LIFE TIME WARRANTY (TYP. AT NEW  
CONSTRUCTION.)

EXIST.

EXIST.

DASHED LINE: NEW DECK  
LANDING AND STAIRS.  
RAIL TO BE 36" HIGH W/  
4" MAX. CLEAR BTWN  
PICKETS. (4) RISERS AT  
7.5" MAX.

7'-0" TYP.  
U.N.O.

2'-6" x 5'-0"  
DBLE HUNG

PAINTED FIBER  
CEMENT SIDING  
W/ 7" EXPOSURE  
(TYP. @ NEW  
CONSTRUCTION.)

NEW BRICK  
VENEER AT  
FOUNDATION  
TO MATCH EXISTING  
BRICK OF HOUSE.  
(TYP. AT NEW  
CONSTRUCTION.)

EXISTING HOUSE  
AS IS

NEW ADDITION



ELEVATION

SCALE: 1/4" = 1'-0"

30 AUG 2019 FOR PERMIT

SCOTT  
RESIDENCE

MASTER SUITE  
3055 OAKDALE DR  
HAPEVILLE, GA.

EXTERIOR  
ELEVATION

A2.2



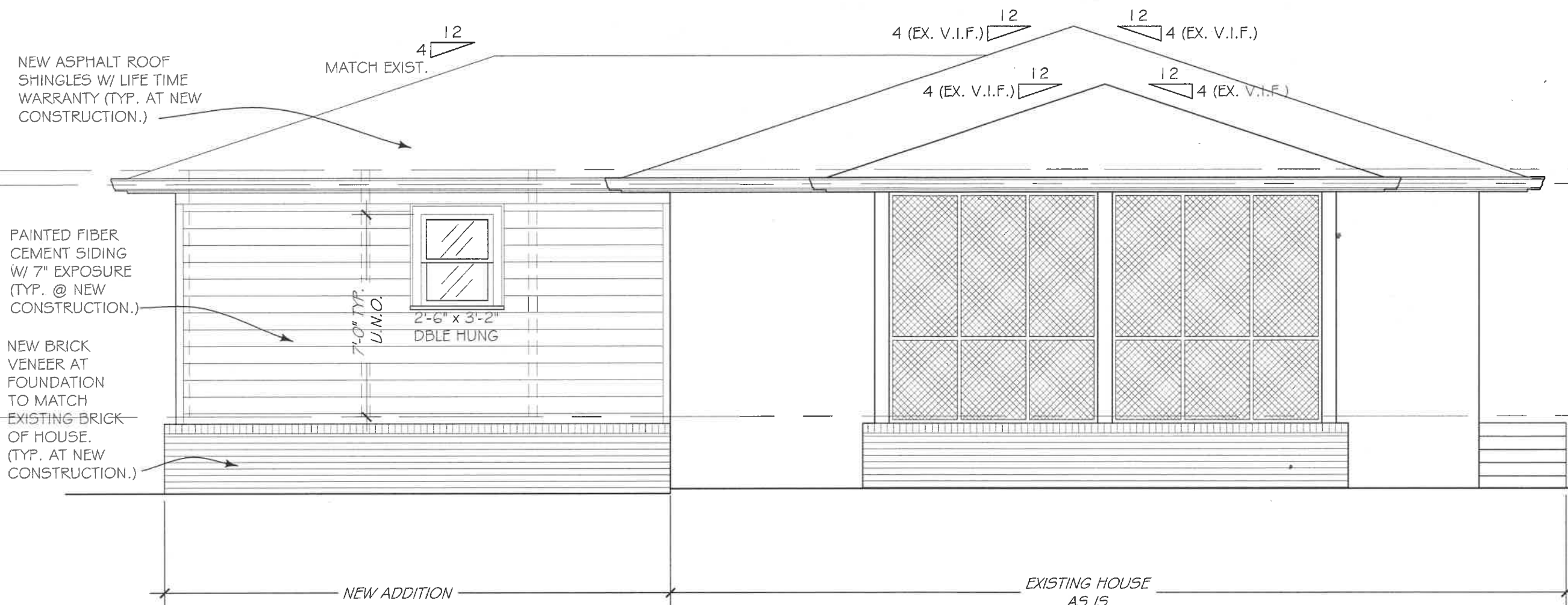
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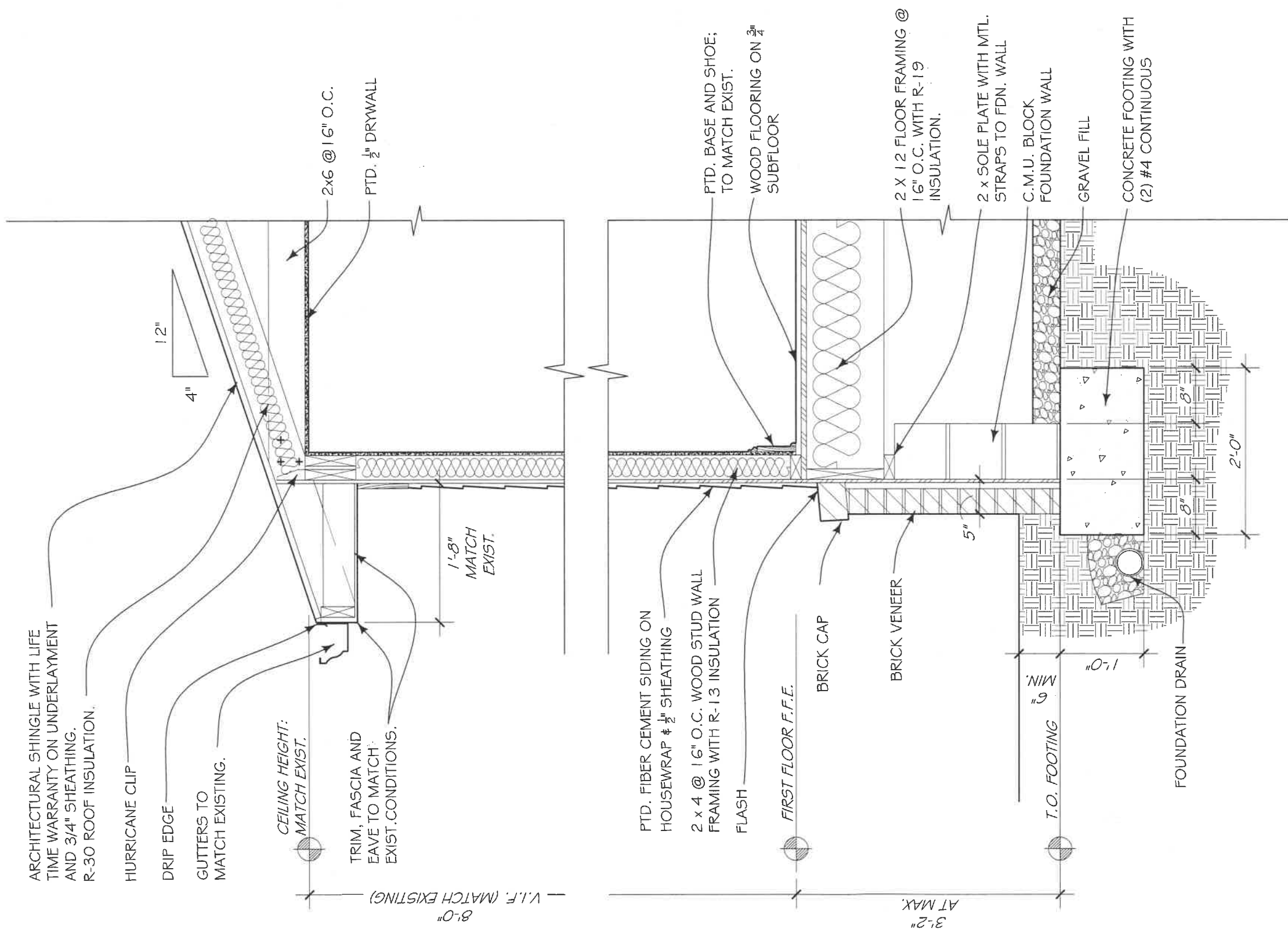
1 ELEVATION  
SCALE: 1/4" = 1'-0"

SCOTT  
RESIDENCE

MASTER SUITE  
3055 OAKDALE DR  
HAPEVILLE, GA.

EXTERIOR  
ELEVATION

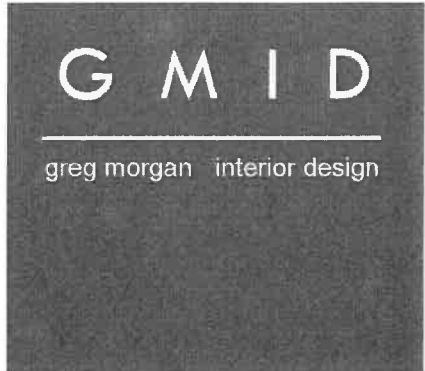
A2.3



**GENERAL NOTES**

1. GC IS RESPONSIBLE FOR CONFIRMING ALL STRUCTURAL INFO. & FOR OBTAINING STRUCTURAL ENGINEERING IF NECESSARY.

**SECTION 1**  
SCALE: 3/4" = 1'-0"



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30 AUG 2019 FOR PERMIT

SCOTT  
RESIDENCE  
MASTER SUITE  
3055 OAKDALE DR  
HAPEVILLE, GA.

SECTION

A3



**DEPARTMENT OF PLANNING AND ZONING  
PLANNER'S REPORT**

DATE: November 13, 2019  
TO: Tonya Hutson  
FROM: Michael Smith  
RE: **Design Review – 218 Maple Street**

**Key:**

|                 |   |
|-----------------|---|
| Compliant:      | ✓ |
| Not Compliant:  | ✗ |
| Incomplete:     | ✋ |
| Not Applicable: | ⊘ |

**BACKGROUND**

The City of Hapeville has received a design review application from Anthony Uwechue for the renovation of an existing one-story single-family dwelling located at 218 Maple Street. The existing structure appears to be damaged throughout and will require extensive repair. The project will include replacement siding, the removal of windows, repair of the roof including slight alteration of the existing roofline, a new porch, and the addition of a new rear bedroom. The final structure will have 1,300 sq. ft. of heated floor area with a 160 sq. ft. porch.

The property is zoned R-1 - One-Family Detached, and is subject to the Neighborhood Conservation Area, Subarea E of the Architectural Design Standards.

The footprint of the existing structure extends into the west side setback by 0.4 feet, which makes the property non-conforming. The applicant has applied for a Variance to reduce the west side setback to bring the property into compliance, which will be considered at the November 13, 2019 meeting of the Board of Appeals.

**CODE**

**SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA**

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

***(a) Site development standards***

- ✗ Except where indicated, setbacks shall be established by zoning.
- ⊘ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.

- ⊖ Minimum building heights shall be established by zoning.
- ✗ Within subareas D and E maximum building heights shall be as established by zoning, except that:
  - Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.
  - Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.
  - ✗ Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.
  - ✓ Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.
- ⊖ Outside of subareas D and E maximum building heights shall be as established by zoning.
- ✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.
- ✓ Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
  - Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.
  - ✗ Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.
  - The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

**STAFF COMMENT:**

- The side setbacks in the R-1 zone are 5'. The existing dwelling is 4.6' away from the western property line, which is not compliant. The applicant has applied for a Variance from the board of appeals to reduce the side setback.
- Within subarea E, the maximum height for the portion of a building closer than 5' to the property line is 16'. Both the existing and proposed structures have a uniform east-west height of 19' 2 1/2", which is not compliant. The renovation is repairing/replacing the roof and altering the roofline but is not changing the overall height of the structure.
- The existing sidewalk does not have a landscape area.

**(b) Supplemental Area and Fence Standards**

- ✓ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.
- ⊖ Chain link fencing is not permitted in areas visible from a public right-of-way.
- ⊖ On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- ⊖ Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
- ⊖ Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- ⊖ All street-facing walls shall be faced with stone, brick, or smooth stucco.
- ⊖ Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

**STAFF COMMENT:**



**(c) Utility Standards**

-  Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- ⊖ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- ⊖ Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
- ✗ All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- ⊖ Trees shall not be planted directly above storm drains.

**STAFF COMMENT:**

- **The plans do not indicate the location of mechanical features or screening. The scope of construction does not include changes to the utilities.**
- **The applicant has indicated there will be a light at the front door. The plans should be revised to show the light.**

**(d) Parking and Traffic Standards**

-  One-family detached dwellings and two-family dwellings shall meet the following requirements:
  - Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.
  - Circular drives are permitted.
  - A grass strip in the middle of driveways is encouraged.
- ⊖ All other buildings shall meet the following requirements:
  - Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
  - Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
  - Two curb cuts serving two one-way driveways shall be counted as one curb cut.
  - Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
  - New public streets shall not count as curb cuts.
  - Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ⊖ Carports are only permitted subject to the following requirements:
  - Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
  - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
  - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- ✓ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.
- ⊖ Garage access on single-family lots shall be prohibited in the front yard of the home.

**STAFF COMMENT:**

- The location and width of the driveway is not provided on the site plan. The scope of construction does not include changes to off-street parking.

**(e) Roof and Chimney Standards**

- ✓ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✓ Roof shingles shall be slate, cedar, or asphalt.
- ⊗ Roof tiles shall be clay, terra cotta or concrete.
- ⊗ Metal roofs are:
  - Allowed on one-family and two-family detached dwellings;
  - Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- ✓ Gutters shall be copper, aluminum or galvanized steel.
- ✓ Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- ✓ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊗ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊗ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊗ Chimneys on exterior building walls shall begin at grade.
- ⊗ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

**STAFF COMMENT:**

**(f) Street Facing Facade and Style Standards.**

- ✓ Exterior facade materials shall be limited to:
  - Full-depth brick;
  - Natural or cast stone;
  - ✓ Smooth natural-wood siding and/or cement-based siding;
  - Shake siding;
  - Painted fish-scale style shingles, but only when used in front gables;
  - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ✓ Exterior building materials shall not be:
  - Simulated brick veneer, such as Z-Brick;
  - Exterior insulation and finish systems (EIFS);
  - Exposed concrete block;
  - Metal siding or other metal exterior treatment;
  - Glass curtain walls;
  - Liquid vinyl;

T-1-11 siding;

Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.

- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✓ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- ✗ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ✓ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- 👉 Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✓ Porch and stoop foundations shall be enclosed.
- ✓ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊖ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ✓ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊖ Stoops shall provide a minimum top landing of four feet by four feet.
- ⊖ Stoop stairs and landings shall be of similar width.
- ⊖ Stoops may be covered or uncovered.
- ✓ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ✓ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊖ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Enfronting porches may have multistory verandas, living space, or balconies above.
- ✓ Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- ⊖ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊖ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊖ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Balconies may be covered or uncovered.

**STAFF COMMENT:**

- Foundations shall be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone. The existing foundation is painted concrete block.
- The handrail and post detail should be revised to reflect the following requirements of the standards:
  - The top railing shall consist of two elements. The upper element shall measure 2" x 6" and the lower element shall measure 2" x 4".
  - The bottom railing shall measure 2" x 4".

**(g) Door and window standards.**

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✓ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ✗ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊖ Doors that operate as sliders are prohibited along enfronting facades.
- 👉 Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- ✓ Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- 👉 Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ⊖ Where used, window shutters shall match one-half the width of the window opening.
- ⊖ Painted window or door glass is prohibited.
- ⊖ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ✓ Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ✓ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- 👉 Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- 👉 Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

**STAFF COMMENT:**

- The applicant should ensure the new porch landing is still connected to the sidewalk via a pedestrian walkway. The applicant should consider the welfare of the existing front yard trees if a new walkway is to be poured.
- The applicant should ensure the new porch or façade has building numbers displayed.
- It is unclear how many windows are being added or changed. ALL required information in the *Door and window standards* section of the Standards should be provided for any new windows. A design exception will be required to allow new windows to match existing windows in style if the existing windows are not compliant with the Standards.



**(h) Detached one-family dwellings/ two-family dwellings.** In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

- ✓ *First Stories.* First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
- ✓ *Window Sills.* Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
- ⊙ *Wheelchair access.* Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.
- ⊙ *Architectural style.* Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

New homes in the neighborhood conservation area should be designed to reflect the principal traditional styles found in the community. These include national folk, Queen Anne, ranch, Tudor revival, craftsman, and minimal traditional styles.

These styles, however, do not reflect the only styles historically found in Hapeville, which also includes a few occurrences of neocolonial revival. Where an applicant desires to utilize a style historically found in Hapeville, but not reflected in the six principal styles identified in subsections (4)a. through (4)e., they shall provide the Design Review Committee with photo documentation of the relevant style in Hapeville, a description of the key features of such style, and written justification of such style's appropriateness for the community.

#### **STAFF COMMENT:**

#### **RECOMMENDATION**

Upon review of the information provided by the Applicant for the garage, the following items have been found to be missing or deficient and should be addressed by the Applicant and the Design Review Committee:

1. The side setbacks in the R-1 zone are 5'. The existing dwelling is 4.6' away from the western property line, which is not compliant. The applicant has applied for a Variance from the board of appeals to reduce the side setback.
2. Within subarea E, the maximum height for the portion of a building closer than 5' to the property line is 16'. Both the existing and proposed structures have a uniform east-west height of 19' 2 1/2", which is not compliant. The renovation is repairing/replacing the roof and altering the roofline but is not changing the overall height of the structure.
3. The existing sidewalk does not have a landscape area.
4. The plans do not indicate the location of mechanical features or screening. The scope of construction does not include changes to the utilities.
5. The applicant has indicated there will be a light at the front door. The plans should be revised to show the light.
6. The location and width of the driveway is not provided on the site plan. The scope of construction does not include changes to off-street parking.
7. Foundations shall be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone. The existing foundation is painted concrete block.
8. The handrail and post detail should be revised to reflect the following requirements of the standards:

- a. The top railing shall consist of two elements. The upper element shall measure 2" x 6" and the lower element shall measure 2" x 4".
  - b. The bottom railing shall measure 2" x 4".
9. The applicant should ensure the new porch landing is still connected to the sidewalk via a pedestrian walkway. The applicant should consider the welfare of the existing front yard trees if a new walkway is to be poured.
10. The applicant should ensure the new porch or façade has building numbers displayed.
11. It is unclear how many windows are being added or changed. ALL required information in the *Door and window standards* section of the Standards should be provided for any new windows. A design exception will be required to allow new windows to match existing windows in style if the existing windows are not compliant with the Standards.

Once these items are addressed to the satisfaction of staff and the Design Review Committee, the plans can be approved.

# CITY OF HAPEVILLE

## DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 10/21/2019

**NOTE:** All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: ANTHONY UWECHUE Contact Number: [REDACTED]

Applicants Address: 218 MAPLE ST. HAPEVILLE, GA 30354

E-Mail Address: [REDACTED] Zoning Classification: R1

Address of Proposed Work: 218 MAPLE ST. HAPEVILLE, GA 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14 009400090959

Property Owner: ANTHONY UWECHUE Contact Number: [REDACTED]

Project Description (including occupancy type): REMODEL / ADDITION TO  
A SINGLE FAMILY RESIDENTIAL BUILDING  
Porch addition to front / Bedroom addition to rear

Contractors Name: ANTHONY UWECHUE Contact Number: [REDACTED]

Contact Person: ANTHONY UWECHUE Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

ANTHONY UWECHUE  
Applicants Signature

10/21/2019  
Date

**Project Class (check one):**

☒ Residential      ☐ Commercial      ☐ Mixed-Use Development

**Project Type:**

☐ New Commercial Construction      ☐ Addition to Existing Commercial Building  
☒ Addition to Existing Residential Structure      ☐ Accessory Structure  
☐ Site Plan, Grading & Landscaping      ☐ New Single Family Residential Construction  
☐ Other

Total Square Footage of proposed New Construction: 160 SQ. FT. (porch)

Total Square Footage of existing building: 1593 SQ. FT.

Estimated Cost of Construction: \$17,000.00

List/Describe Building Materials on the exterior of the **existing** structure: \_\_\_\_\_

Wood with concrete foundation

List/Describe Building Materials **proposed** for the exterior facade of the new structure: \_\_\_\_\_

Wood, concrete and hardi-plank siding

# NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

---

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I ANTHONY WICKS AW swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.





## DEPARTMENT OF PLANNING AND ZONING

### DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:  
[https://library.municode.com/ga/hapeville/codes/code\\_of\\_ordinances?nodeId=PTIICOOR\\_CH81ARDEST](https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST)

☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

☒ **Understood that builder must follow approved plan and that the Certificate of Occupancy will not be issued until a Design Inspection is performed and Architectural Design Standards are met.**

ANTHONY LWECHUE

Printed Name

AU

Signature

10/21/2019

Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

SURVEY NOTES

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.

2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.

3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.

5. SURVEY LAND EXPRESS, INC IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.

6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

\* L E G E N D \*

|        |                       |     |                         |
|--------|-----------------------|-----|-------------------------|
| APD    | AS PER DEED           | IR  | IRON ROD FOUND          |
| AE     | ACCESS EASEMENT       | IV  | RRIGATION VALVE         |
| APF    | AS PER FIELD          | JB  | JUNCTION BOX            |
| AI     | ANGLE IRON FOUND      | LLL | LAND LOT LINE           |
| APP    | AS PER PLAT           | MAG | MAGNETIC READING IP     |
| APR    | AS PER RECORD         | MGH | MAGNOLIA TREE           |
| BC     | BACK OF CURB          | MH  | MAN HOLE                |
| BLK    | BLOCK                 | MTF | METAL FENCE             |
| BLS    | BUILDING LINE SETBACK | N   | N'BORES                 |
| BRK    | BRICK                 | NH  | OVERHANG                |
| BSMT   | BASEMENT              | OTP | OPEN TOP PIPE FOUND     |
| CBX    | CABLE BOX             | OU  | OWNERSHIP UNCLEAR       |
| C      | CONCRETE              | P   | PORCH                   |
| CB     | CATCH BASIN           | PC  | PROPERTY CORNER         |
| CL     | CENTER LINE           | PL  | PROPERTY LINE           |
| CLF    | CHAIN LINK FENCE      | PN  | PINE TREE               |
| CMP    | CORRUGATED METAL PIPE | PB  | POINT OF BEGINNING      |
| C.O.A. | CITY OF ATLANTA       | PP  | POWER POLE              |
| CO     | SAN SEWER CLEANOUT    | PW  | POWER LINE              |
| CRWL   | CRAWL SPACE           | P   | PORCH                   |
| CP     | CALCULATED POINT      | (P) | PLAT                    |
| CPT    | CARPOT                | R   | RECORD                  |
| CTP    | CRIMP TOP PIPE FOUND  | RBF | REINFORCING BAR FOUND   |
| DE     | DRAINAGE EASEMENT     | RBS | REINFORCING BAR SET     |
| DI     | DRAINAGE INLET        | RCP | REINFORCED CONC. PIPE   |
| EB     | ELECTRIC POWER BOX    | R/W | RIGHT-OF-WAY            |
| EM     | ELECTRIC METER        | SN  | SIGN                    |
| EP     | EDGE OF PAVEMENT      | SSL | SANITARY SEWER LINE     |
| FP     | FENCE POST            | SSE | SANITARY SEWER EASEMENT |
| FC     | FENCE CORNER          | SP  | SORENED PORCH           |
| FH     | FIRE HYDRANT          | SW  | SIDEWALK                |
| FR     | FRAME                 | TB  | TOP OF BANK             |
| GL     | GAS LINE              | UE  | UTILITY EASEMENT        |
| GM     | GAS METER             | WD  | WOOD                    |
| GV     | GAS VALVE             | WDF | WOOD FENCE              |
| GW     | GUY WIRE              | WDK | WOOD DECK               |
| HDW    | HEAD WALL             | WL  | WATER LINE              |
| HW     | HARDWOOD TREE         | WM  | WATER METER             |
| IPF    | IRON PIN FOUND        | WRF | WIRE FENCE              |
| IPS    | IRON PIN SET          | WV  | WATER VALVE             |
|        |                       | WW  | WET WEATHER             |
|        |                       | W   | WITH                    |
|        |                       | YI  | YARD INLET              |

INDICATES STAIRS

INDICATES WALLS

THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. CAN NOT BE SCANNED AND ALTERED, CROPPED OUT COPY/PASTE OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE. THIS SURVEY PLAT CAN BE ONLY ATTACHED AS A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND SITEPLANS AND CAN NOT BE INSERTED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS PREPARED BY ANY OTHER PARTY WITHOUT WRITTEN APPROVAL AND ORIGINAL BLUE INK SIGNATURE OF THE SURVEYOR OF RECORD.



TOTAL LAND AREA

7472.46 SF / 0.172 AC

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |  |                                                                                                                                                                  |  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| LOT                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |  | BOUNDARY PREPARED FOR: SHEET 1 OF 1                                                                                                                              |  |
| SUBDIVISION                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |  | GRAND ACE PROPERTIES                                                                                                                                             |  |
| LAND LOT 94                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |  | 14TH DISTRICT                                                                                                                                                    |  |
| FULTON COUNTY, GEORGIA                                                                                                                                                                                                                                                                                                                                                                                                                                                             |  | DB.60170/PG.541                                                                                                                                                  |  |
| FIELD WORK DATE OCT 08, 2019                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  | PRINTED/SIGNED OCT 10, 2019                                                                                                                                      |  |
| ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED                                                                                                                                                                                                                                                                                                                                                                                                                                       |  | PAPER SIZE: 17" x 22"                                                                                                                                            |  |
| THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE OF 1 FOOT IN 30,000+ FEET, AN ANGULAR ERROR OF 05 SECONDS PER ANGLE POINT AND WAS ADJUSTED USING THE LEAST SQUARES METHOD. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND FOUND TO BE ACCURATE TO 1 FOOT IN 100,000+ FEET, AN ELECTRONIC TOTAL STATION AND A 100' CHAIN WERE USED TO GATHER THE INFORMATION USED IN THE PREPARATION OF THIS PLAT. NO STATE PLANE COORDINATE MONUMENT FOUND WITHIN 500' OF THIS PROPERTY. |  |                                                                                                                                                                  |  |
| OB                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |  | 24 LENOX POINTE                                                                                                                                                  |  |
| COORD #20192120                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |  | ATLANTA, GA 30324                                                                                                                                                |  |
| DWG #20192120                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |  | FAX 404-601-0941                                                                                                                                                 |  |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |  | TEL 404-252-5747                                                                                                                                                 |  |
| SURVEY LAND EXPRESS, INC                                                                                                                                                                                                                                                                                                                                                                                                                                                           |  | INFO@SURVEYLANDEXPRESS.COM                                                                                                                                       |  |
| LAND SURVEYING SERVICES                                                                                                                                                                                                                                                                                                                                                                                                                                                            |  | IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW. |  |

SURVEY LAND EXPRESS, INC



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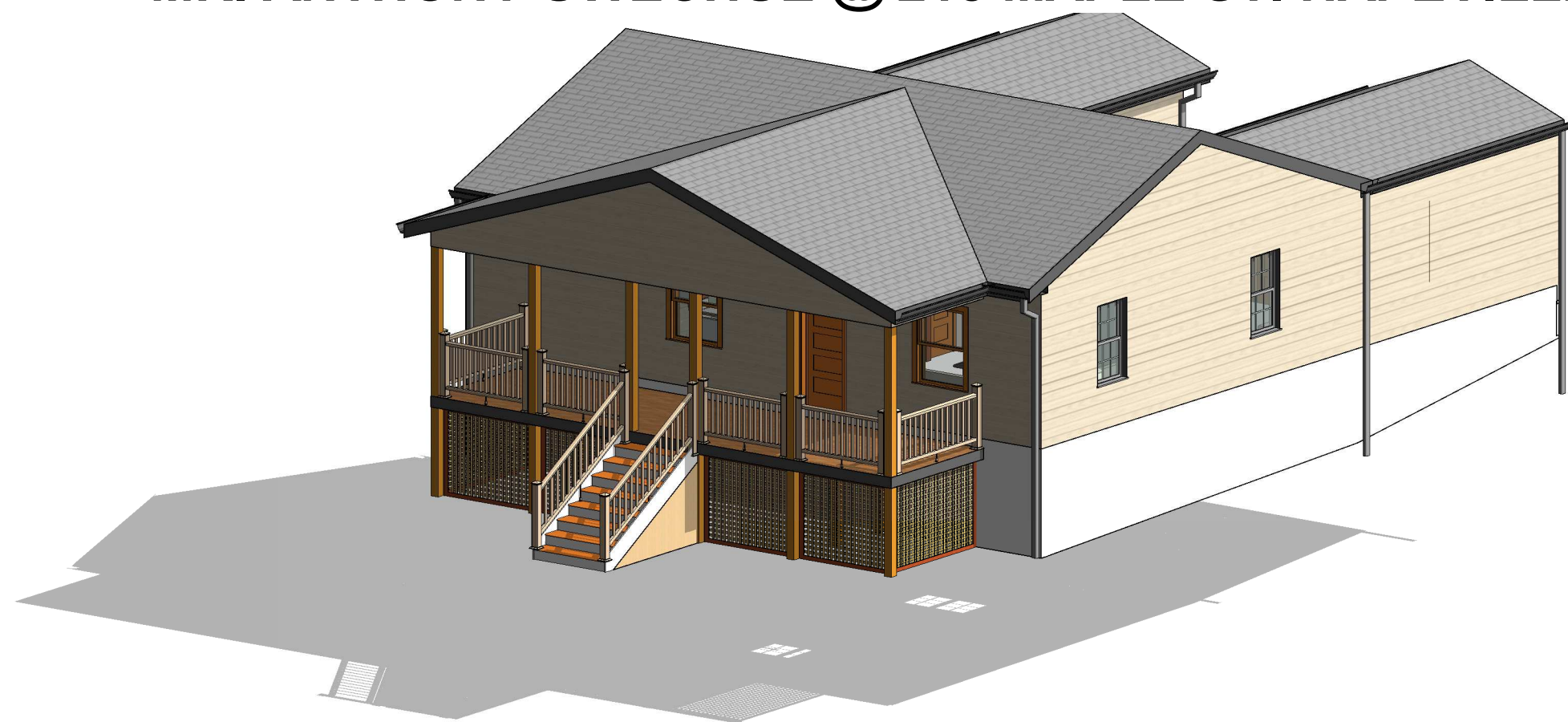
SCALE 1" = 30'







PROPOSED SINGLE FAMILY RESIDENCE REMODEL/ADDITION  
FOR  
MR. ANTHONY UWECHUE @ 218 MAPLE ST. HAPEVILLE, GA 30354



1 3D RENDERING OF PROPOSED HOME REMODEL



(678) 697-4054

Project Name:  
PROPOSED SINGLE FAMILY  
RESIDENCE REMODEL DESIGN

Project Address:  
218 MAPLE ST.  
HAPEVILLE, GA 30354

Owner:  
ANTHONY UWECHUE

APPLICABLE CODES:

INTERNATIONAL BUILDING CODE, 2012 EDITION W/2014 & 2015 GEORGIA STATE AMENDMENTS  
INTERNATIONAL MECHANICAL, 2012 EDITION W/2014 & 2015 GEORGIA STATE AMENDMENTS  
INTERNATIONAL PLUMBING CODE, 2012 EDITION W/2014 & 2015 GEORGIA STATE AMENDMENTS, AND IPC APPENDIX F  
INTERNATIONAL FUEL GAS CODE CODE, 2012 EDITION W/2014 & 2015 GEORGIA STATE AMENDMENTS  
NFPA NATIONAL ELECTRIC CODE, 2017 EDITION W/ NO GEORGIA STATE AMENDMENTS  
INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION W/2011 & 2012 GEORGIA STATE AMENDMENTS  
INTERNATIONAL EXISTING BUILDING CODE, 2012 EDITION W/2015 GEORGIA STATE AMENDMENTS  
INTERNATIONAL RESIDENTIAL CODE FOR ONE & TWO-FAMILY DWELLINGS  
2012 EDITION W/2014 & 2015 GEORGIA STATE AMENDMENTS, AND IRC APPENDIX F.

SCOPE OF WORK

THE PROJECT CONSISTS OF A REMODEL OF A 2-BEDROOM SINGLE FAMILY RESIDENTIAL BUILDING TO INCLUDE AN ADDITIONAL BEDROOM WITH CLOSET AT THE REAR, AND A COVERED PORCH AT THE FRONT. THE MASTER BEDROOM SHALL BE REMODELED TO INCLUDE A WALK-IN-CLOSET AND A MASTER BATHROOM.

PROJECT INFORMATION

NUMBER OF STORIES: 1  
BUILDING HEIGHT: 19'-2 1/2"  
HEATED FLOOR AREA: 1300 SQ. FT.  
TOTAL FIRST FLOOR AREA: 1737.50 SQ. FT.

DESIGN:

MICHAEL ASUQUO  
MIKE'S CAD & MODELING SERVICES LLC  
1813 CHASEWOOD PARK DR.  
MARIETTA, GA 30066  
MIKESCADSERVICES@GMAIL.COM  
(678) 697-4054

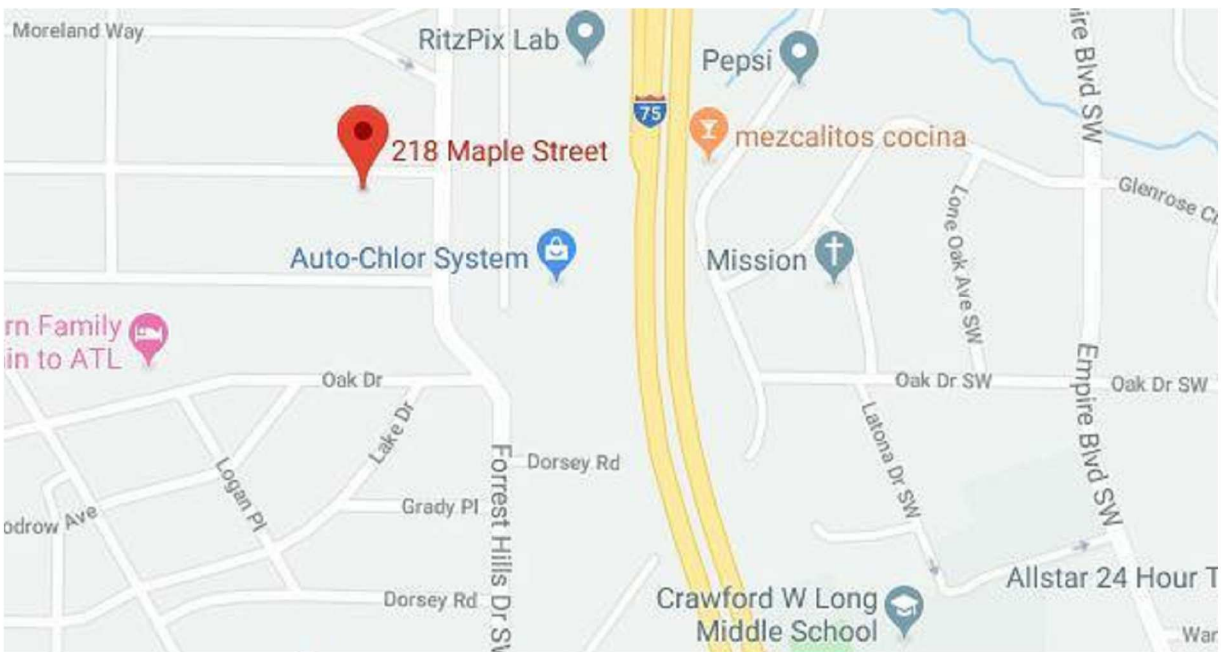
OWNER/CONTRACTOR:

ANTHONY UWECHUE  
218 MAPLE ST.  
HAPEVILLE, GA 30354

SHEET INDEX

| SHEET NUMBER | SHEET NAME                |
|--------------|---------------------------|
| G100         | COVER PAGE/INDEX          |
| AS101        | ARCHITECTURAL SITE PLAN   |
| A101         | EXISTING FLOOR/ROOF PLANS |
| A102         | DEMOLITION PLANS          |
| A103         | PROPOSED FIRST FLOOR PLAN |
| A104         | PROPOSED ROOF PLAN        |
| A201         | EXISTING ELEVATIONS       |
| A202         | PROPOSED ELEVATIONS       |
| A301         | BUILDING/WALL SECTIONS    |
| A401         | DECK DETAILS              |
| A501         | GENERAL FRAMING DETAILS   |

LOCATION MAP:



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COVER PAGE/INDEX

RELEASED FOR CONSTRUCTION

Project number 019-09-02  
Date 21 OCT. 2019  
Drawn by MEA  
Checked by Checker

G100

Scale



(678) 697-4054

Project Name:  
PROPOSED SINGLE FAMILY  
RESIDENCE REMODEL DESIGN

Project Address:  
218 MAPLE ST.  
HAPEVILLE, GA 30354

Owner:  
ANTHONY UWECHUE

THE DRAWINGS, ARRANGEMENTS, ANNOTATIONS AND GRAPHICAL PRESENTATIONS ON THIS DOCUMENT ARE THE PROPERTY OF MIKE'S CAD & MODELING SERVICES, WHO RETAINS OWNERSHIP AND AUTHORSHIP OF THIS DOCUMENT IN ITS ENTIRETY.

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ARCHITECTURAL SITE PLAN

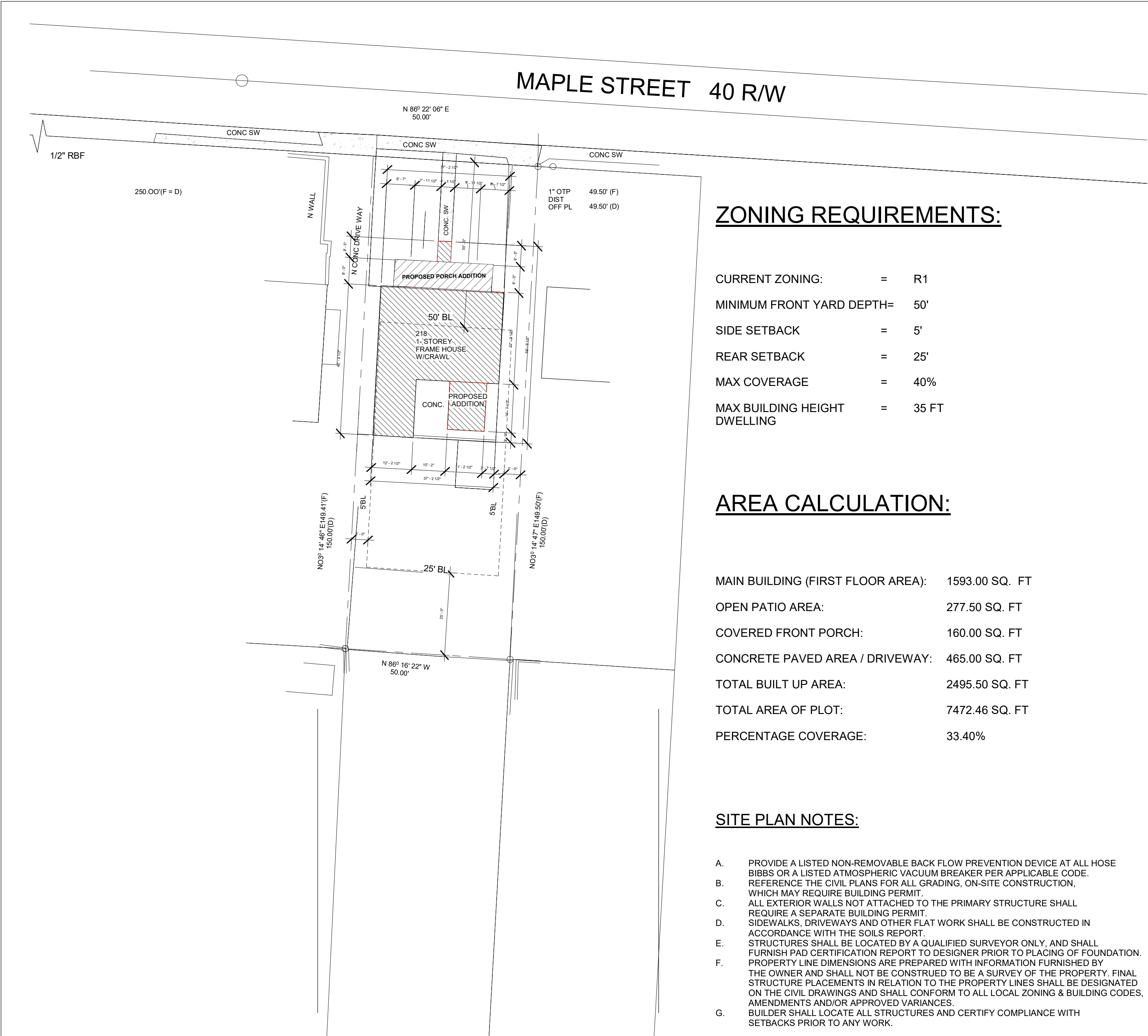
RELEASED FOR CONSTRUCTION

|                |              |
|----------------|--------------|
| Project number | 019-09-02    |
| Date           | 21 OCT. 2019 |
| Drawn by       | MEA          |
| Checked by     | Checker      |

AS101

|       |             |
|-------|-------------|
| Scale | 1" = 20'-0" |
|-------|-------------|

10/21/2019 10:04:17 AM



ZONING REQUIREMENTS:

|                              |   |       |
|------------------------------|---|-------|
| CURRENT ZONING:              | = | R1    |
| MINIMUM FRONT YARD DEPTH=    |   | 50'   |
| SIDE SETBACK                 | = | 5'    |
| REAR SETBACK                 | = | 25'   |
| MAX COVERAGE                 | = | 40%   |
| MAX BUILDING HEIGHT DWELLING | = | 35 FT |

AREA CALCULATION:

|                                   |                |
|-----------------------------------|----------------|
| MAIN BUILDING (FIRST FLOOR AREA): | 1593.00 SQ. FT |
| OPEN PATIO AREA:                  | 277.50 SQ. FT  |
| COVERED FRONT PORCH:              | 160.00 SQ. FT  |
| CONCRETE PAVED AREA / DRIVEWAY:   | 465.00 SQ. FT  |
| TOTAL BUILT UP AREA:              | 2495.50 SQ. FT |
| TOTAL AREA OF PLOT:               | 7472.46 SQ. FT |
| PERCENTAGE COVERAGE:              | 33.40%         |

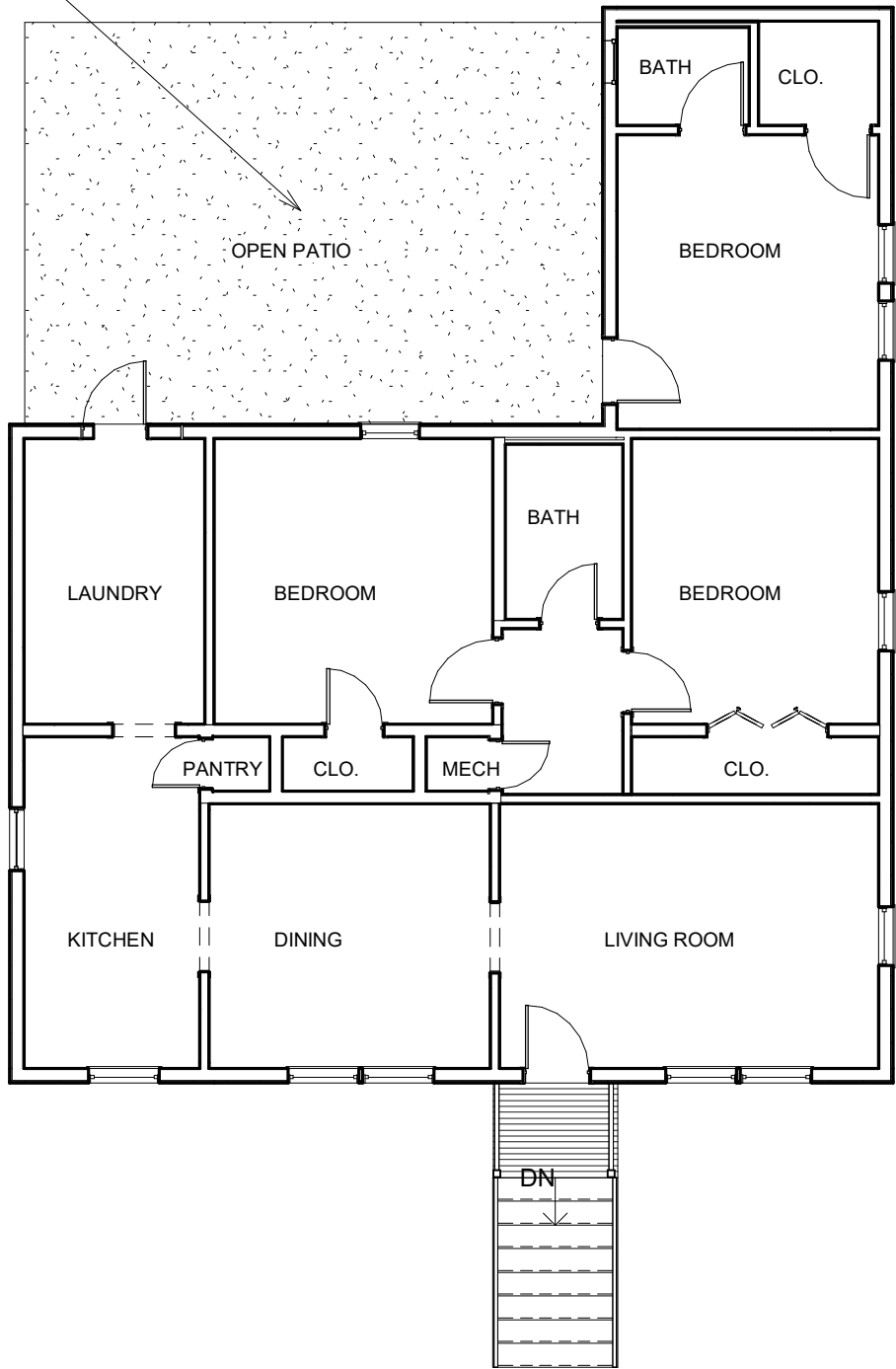
SITE PLAN NOTES:

- PROVIDE A LISTED NON-REMOVABLE BACK FLOW PREVENTION DEVICE AT ALL HOSE BIBBS OR A LISTED ATMOSPHERIC VACUUM BREAKER PER APPLICABLE CODE.
- REFERENCE THE CIVIL PLANS FOR ALL GRADING, ON-SITE CONSTRUCTION, WHICH MAY REQUIRE BUILDING PERMIT.
- ALL EXTERIOR WALLS NOT ATTACHED TO THE PRIMARY STRUCTURE SHALL REQUIRE A SEPARATE BUILDING PERMIT.
- SIDEWALKS, DRIVEWAYS AND OTHER FLAT WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT.
- STRUCTURES SHALL BE LOCATED BY A QUALIFIED SURVEYOR ONLY, AND SHALL FURNISH PAD CERTIFICATION REPORT TO DESIGNER PRIOR TO PLACING OF FOUNDATION.
- PROPERTY LINE DIMENSIONS ARE PREPARED WITH INFORMATION FURNISHED BY THE OWNER AND SHALL NOT BE CONSTRUED TO BE A SURVEY OF THE PROPERTY. FINAL STRUCTURE PLACEMENTS IN RELATION TO THE PROPERTY LINES SHALL BE DESIGNATED ON THE CIVIL DRAWINGS AND SHALL CONFORM TO ALL LOCAL ZONING & BUILDING CODES, AMENDMENTS AND/OR APPROVED VARIANCES.
- BUILDER SHALL LOCATE ALL STRUCTURES AND CERTIFY COMPLIANCE WITH SETBACKS PRIOR TO ANY WORK.

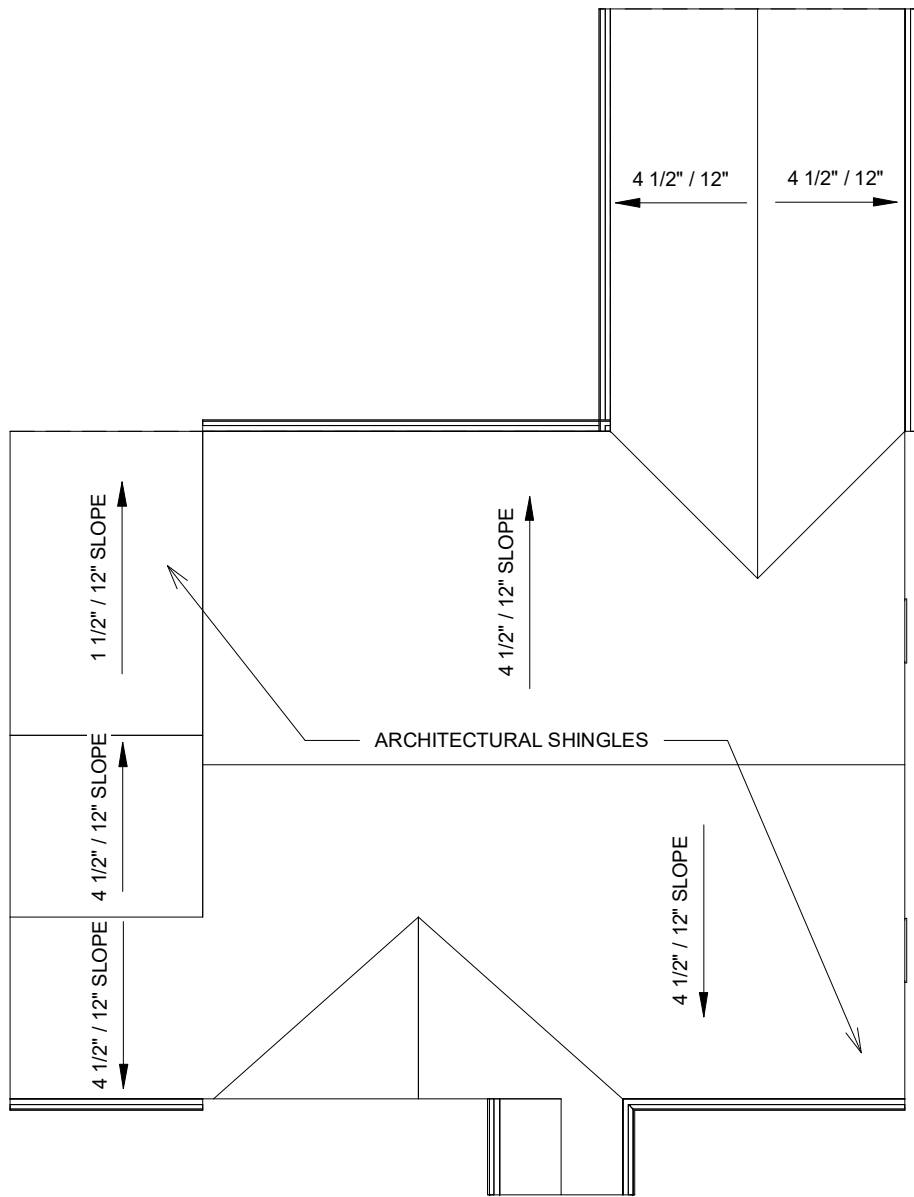
1) ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES. 2) IT IS THE RESPONSIBILITY OF THE CONSTRUCTOR/BUILDER/OWNER TO CHECK FOR ANY ERROR OR OMISSIONS TO THE PLANS. 3) WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. 4) VERIFY LOCATION OF ALL ELECTRICAL FIXTURES AND OUTLETS. 5) VERIFY ALL BEAM SIZES AND LOCATIONS. 6) VERIFY GIRDER TRUSS LOCATION AND POINT LOADS. 7) VERIFY ALL FOOTING PAD LOCATIONS AND SIZES. 8) IN ORDER TO PRINT TO SCALE, USE ARCH C (18" X 24") PAPER.



EXISTING SLAB IS 6" LOWER



1 EXISTING FIRST FLOOR PLAN  
1/8" = 1'-0"



2 EXISTING ROOF PLAN  
1/8" = 1'-0"



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(678) 697-4054

Project Name:  
PROPOSED SINGLE FAMILY  
RESIDENCE REMODEL DESIGN

Project Address:  
218 MAPLE ST.  
HAPEVILLE, GA 30354

Owner:  
ANTHONY UWECHUE

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EXISTING FLOOR/ROOF PLANS

RELEASED FOR CONSTRUCTION

|                |              |
|----------------|--------------|
| Project number | 019-09-02    |
| Date           | 21 OCT. 2019 |
| Drawn by       | MEA          |
| Checked by     | Checker      |

A101

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| Scale | 1/8" = 1'-0" |
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Project Name:  
PROPOSED SINGLE FAMILY  
RESIDENCE REMODEL DESIGN

Project Address:  
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HAPEVILLE, GA 30354

Owner:  
ANTHONY UWECHUE

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DEMOLITION PLANS

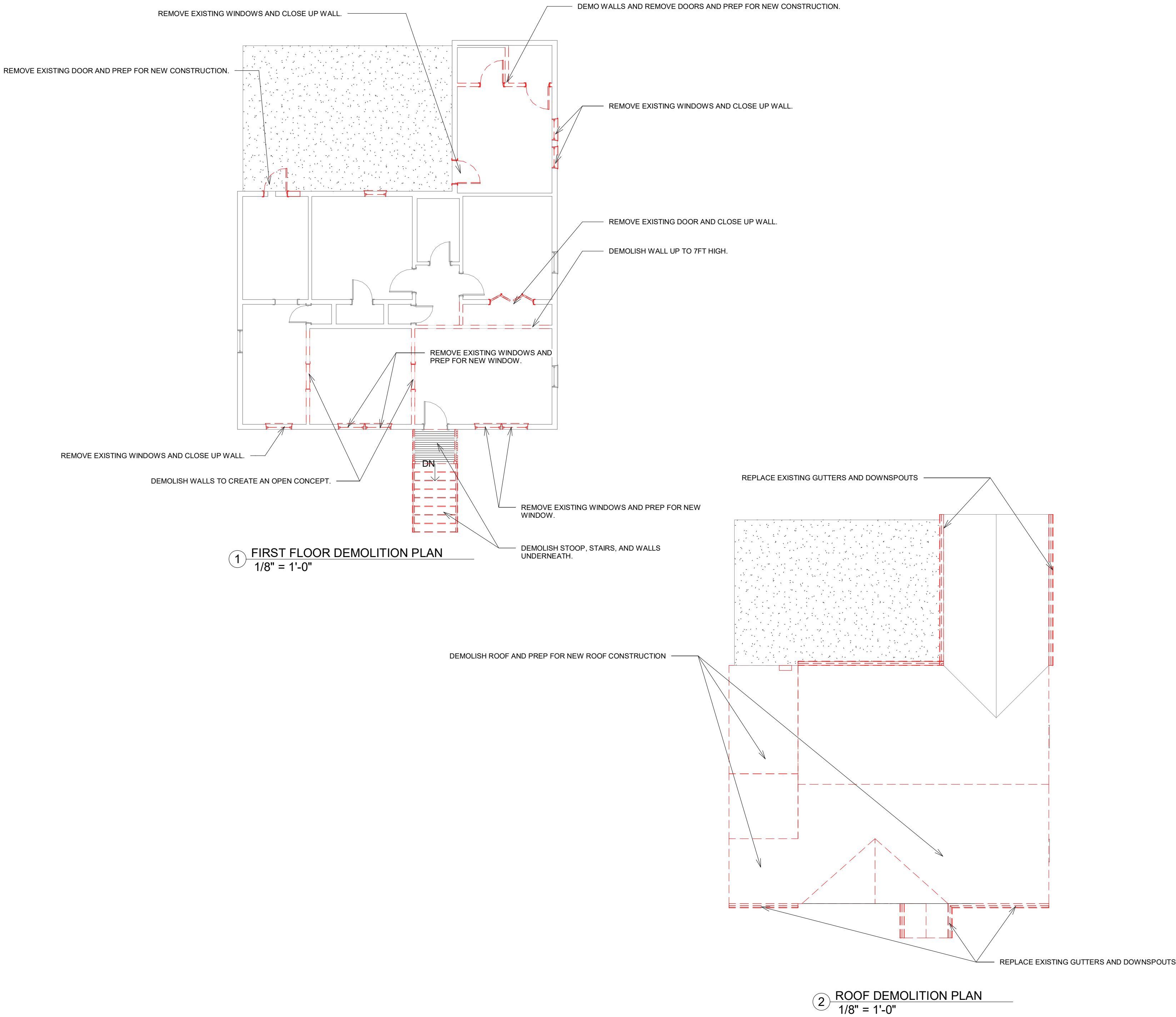
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| Project number | 019-09-02    |
| Date           | 21 OCT. 2019 |
| Drawn by       | MEA          |
| Checked by     | Checker      |

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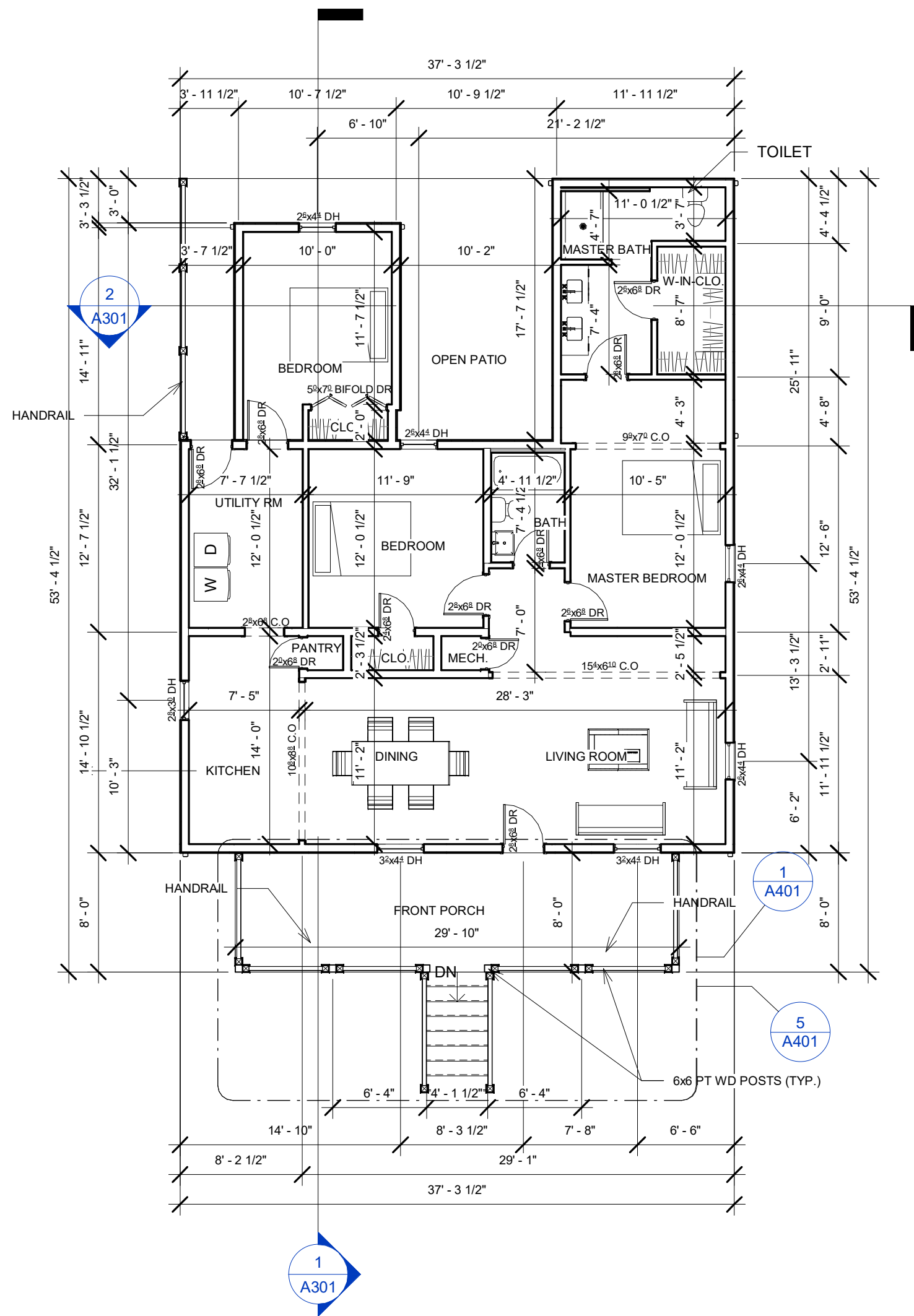
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1 PROPOSED FIRST FLOOR PLAN  
1/8" = 1'-0"

HEATED SQUARE FOOTAGE

FIRST FLOOR TOTAL HEATED AREA: 1300 SQ. FT.

OTHER SQUARE FOOTAGE

OPEN PATIO (REAR): 277.50 SQ. FT.  
FRONT PORCH: 160 SQ. FT.  
TOTAL: 437.50 SQ. FT.

TOTAL SQUARE FOOTAGE: 1737.50 SQ. FT.

DOOR NOTES

ALL INTERIOR EGRESS DOORS ARE TO BE A MINIMUM OF 2'-8" WIDE AND 6'-8" HIGH  
ALL EXTERIOR EGRESS DOORS ARE TO BE A MINIMUM OF 3'-0" WIDE AND 6'-8" HIGH

WINDOW NOTES

ALL EXTERIOR WINDOWS MUST MEET EMERGENCY ESCAPE AND RESCUE OPENING REQUIREMENTS AND MUST HAVE A MINIMUM OPENING SIZE OF 24" HIGH AND 20" WIDE  
ANY WINDOW OR SIDELIGHT WITHIN 24" HORIZONTALLY OF A DOOR MUST BE TEMPERED.  
ANY WINDOW OR SASH THAT IS 9 SQ. FT. OR MORE AND IS 18" OR LESS FROM A FLOOR MUST BE TEMPERED.  
ANY WINDOW WITHIN A TUB OR SHOWER AREA THAT IS LESS THAN 60" FROM THE FLOOR OF THE TUB MUST BE TEMPERED.  
ANY WINDOW ON A STAIRCASE LANDING OR WITHIN 60" OF A STAIRCASE TREAD MUST BE TEMPERED.  
REPLACEMENT WINDOWS MUST COMPLY WITH THE ENERGY CONSERVATION REQUIREMENTS FOR FENESTRATION IN NEW CONSTRUCTION.

STAIR AND RAILING NOTES

ALL STRAIGHT RUN STAIRS ARE TO HAVE TREADS W/ A MINIMUM WIDTH OF 9" W/ 1 1/8" NOSINGS AND RISERS W/ A MAXIMUM HEIGHT OF 8 1/4"  
ALL STAIR, LANDING, AND BALCONY RAILINGS ARE TO BE 36" HIGH ABOVE NOSINGS, LANDINGS, OR FLOORS  
FREE STANDING RAILINGS ARE TO HAVE BALUSTER AT 4" OC MAX  
ALL STAIRS ARE TO HAVE A MINIMUM OF 6'-8" CLEAR HEIGHT ABOVE STAIR NOSINGS

GENERAL NOTES:

- REFER TO FIRST FLOOR FRAMING PLAN TO DETERMINE WHICH WALLS ARE LOAD BEARING, JOIST LAYOUT AND WHERE BEAMS ARE TO BE LOCATED.
- THESE DRAWINGS ALONG WITH THE SPECIFICATIONS AND ADDENDA REPRESENT A PORTION OF THE AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE CONTRACT INCLUDING DRAWINGS, SPECIFICATIONS, AND ADDENDA ARE CORRECT PRIOR TO COMMENCING WORK ON SITE.
- DO NOT SCALE OFF DRAWINGS IF NOT PRINTED TO SCALE, USE DIMENSIONS ONLY, IF IN QUESTION CALL MIKE'S CAD & MODELING DESIGN LLC.
- CONTRACTOR SHALL PROVIDE A FLOOR DRAIN IN ANY UTILITY ROOM AND MECHANICAL ROOM, REGARDLESS OF WHETHER INDICATED ON THE DRAWINGS.
- ALL CASE OPENINGS TO BE FRAMED FOR MAXIMUM HEIGHT.
- ALL FLOOR AREA AT MAIN AND SUPPLY LEVELS TO BE 2" LOWER THAN ALL FLOOR LEVELS.
- ALL EXTERIOR DOORS WITH GLAZING TO BE TEMPERED.
- ALL WET AREAS TO HAVE TEMPERED GLASS.
- CHECK ELECTRICAL PLAN FOR LOCATION OF SMOKE DETECTORS.
- ALL CONSTRUCTION TO MEET OR EXCEED ALL LOCAL, STATE, & NATIONAL BUILDING CODES.
- ALL NEW CONSTRUCTION (WALLS, PORCH, POSTS) SHALL BE PAINTED OR STAINED.



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Owner:

ANTHONY UWECHUE

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PROPOSED FIRST FLOOR PLAN

RELEASED FOR CONSTRUCTION

Project number 019-09-02  
Date 21 OCT. 2019  
Drawn by MEA  
Checked by Checker

A103

Scale 1/8" = 1'-0"

(678) 697-4054

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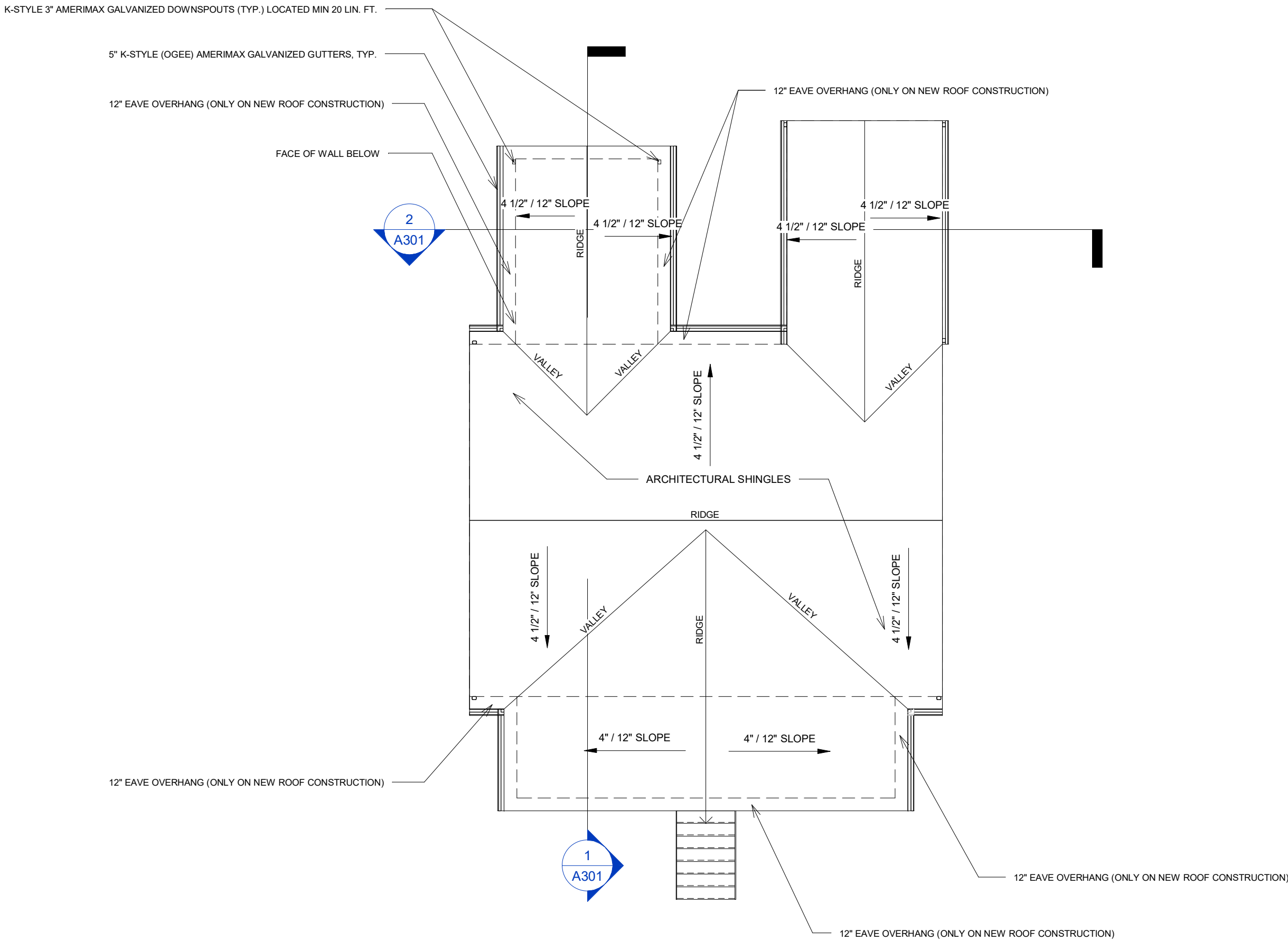
**PROPOSED ROOF PLAN**

RELEASED FOR CONSTRUCTION

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| Project number | 019-09-02    |
| Date           | 21 OCT. 2019 |
| Drawn by       | MEA          |
| Checked by     | Checker      |

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| Scale | 1/8" = 1'-0" |
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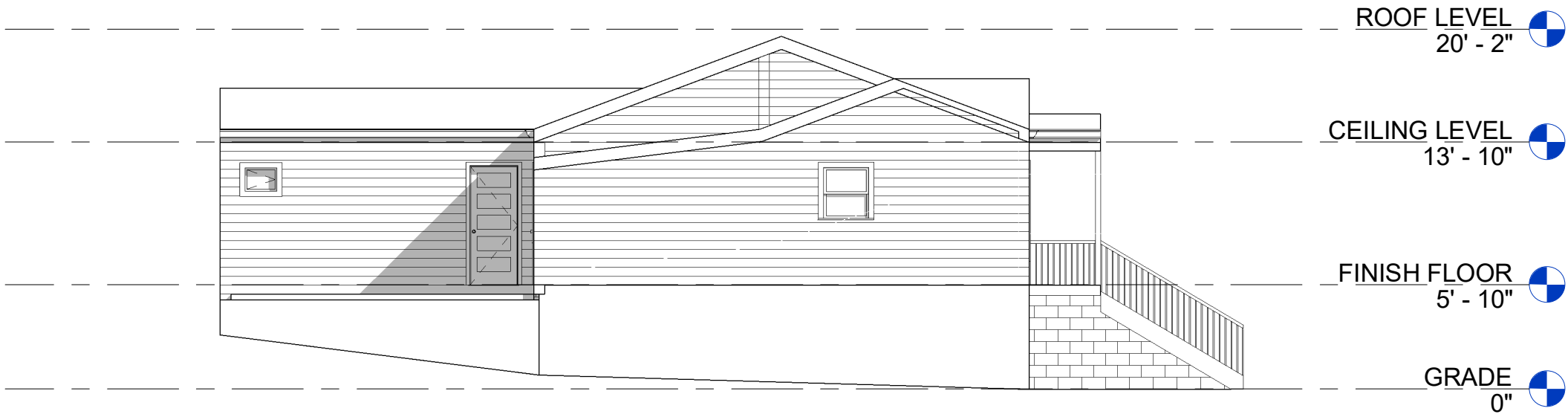
**1 PROPOSED ROOF PLAN**  
1/8" = 1'-0"

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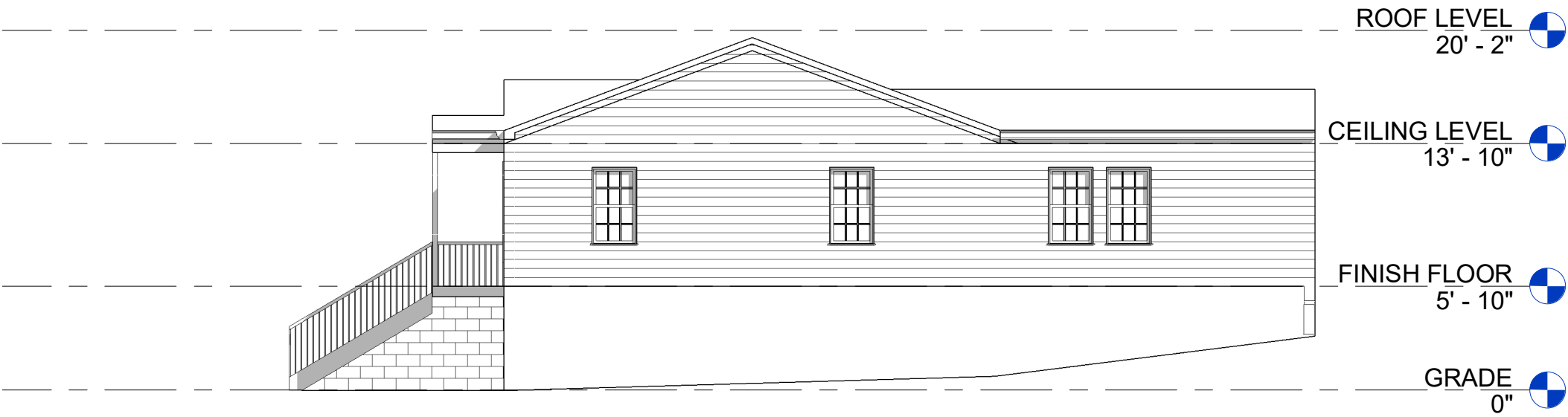




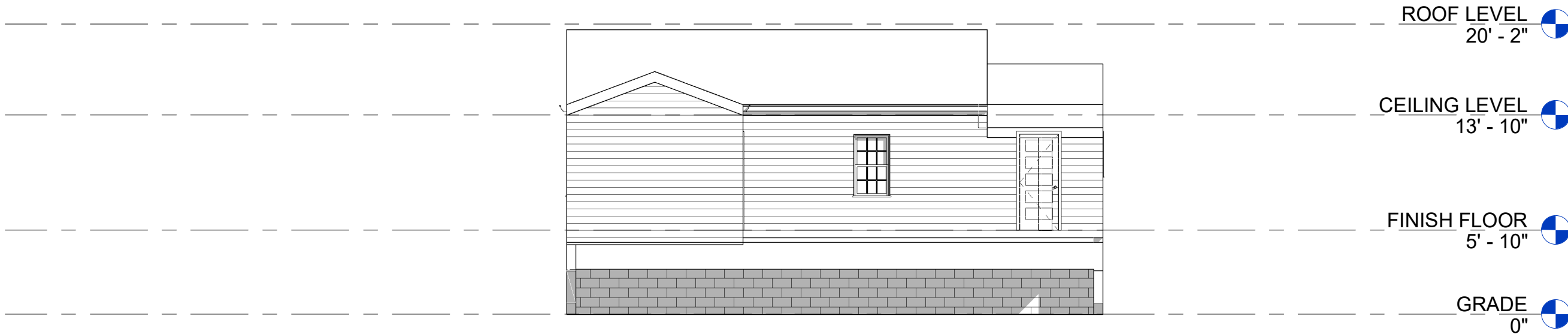
② EXISTING FRONT ELEVATION  
1/8" = 1'-0"



③ EXISTING LEFT ELEVATION  
1/8" = 1'-0"



④ EXISTING RIGHT ELEVATION  
1/8" = 1'-0"



① EXISTING BACK ELEVATION  
1/8" = 1'-0"



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Owner:

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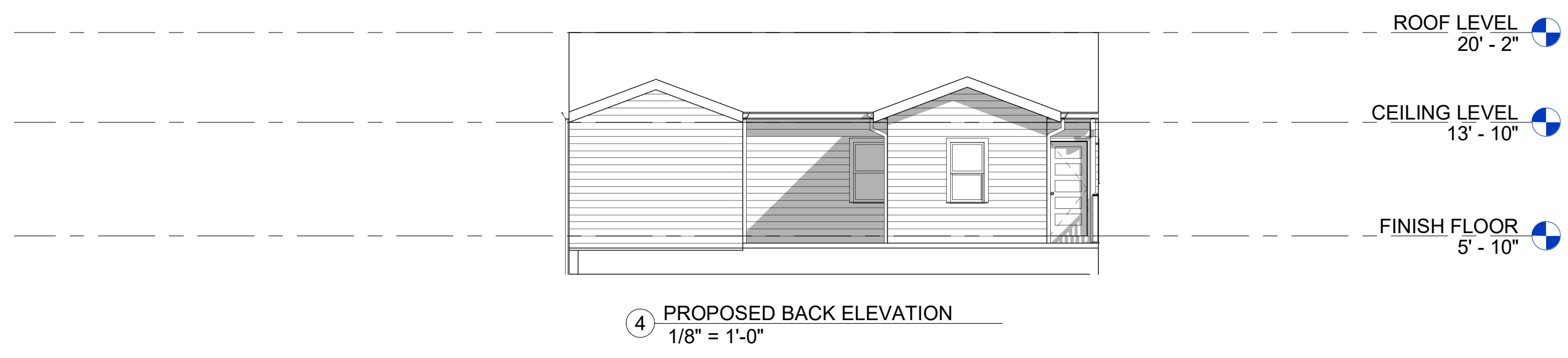
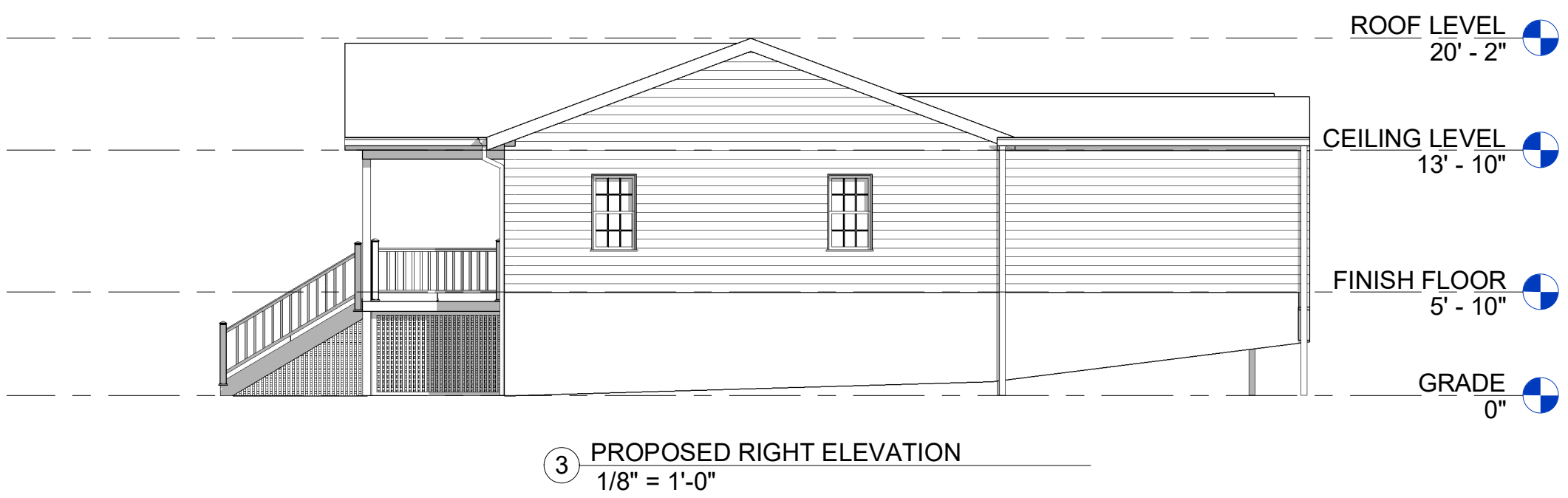
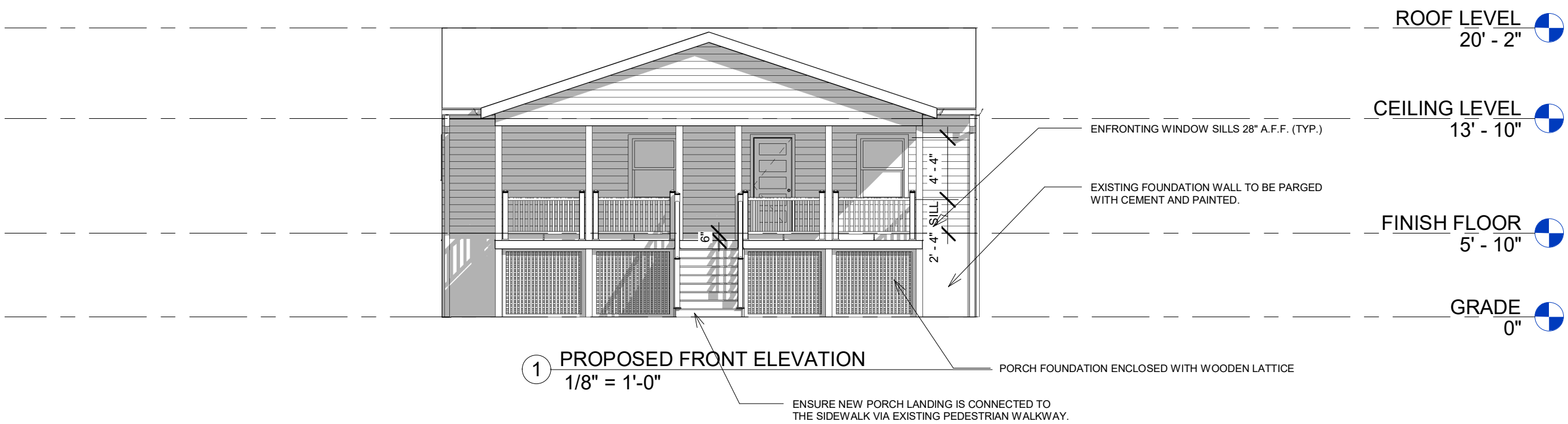
**EXISTING ELEVATIONS**

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| Project number | 019-09-02    |
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**A201**

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| Scale | 1/8" = 1'-0" |
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PROPOSED ELEVATIONS

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BUILDING/WALL SECTIONS

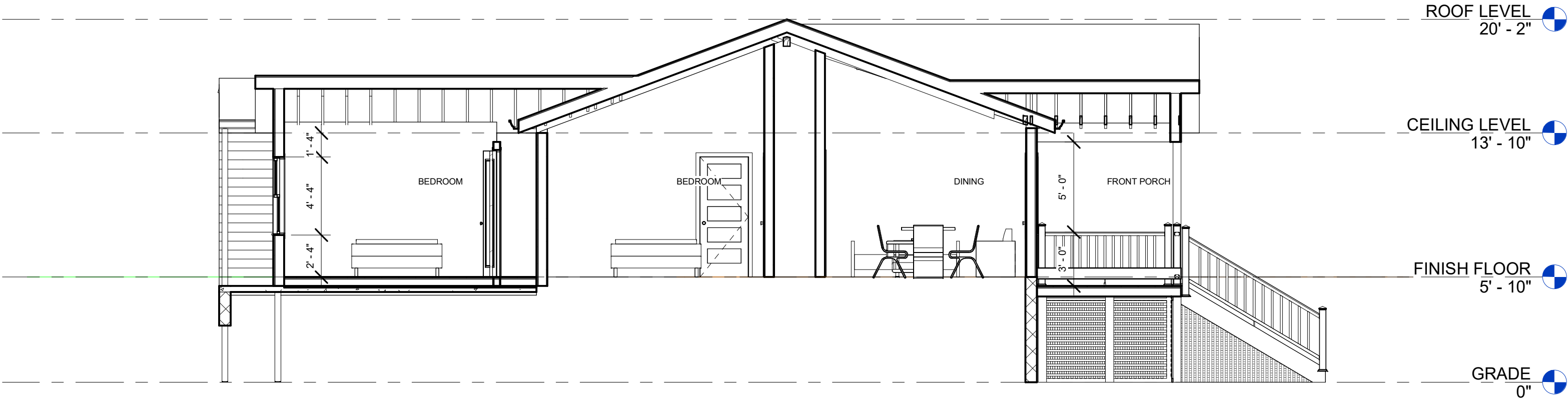
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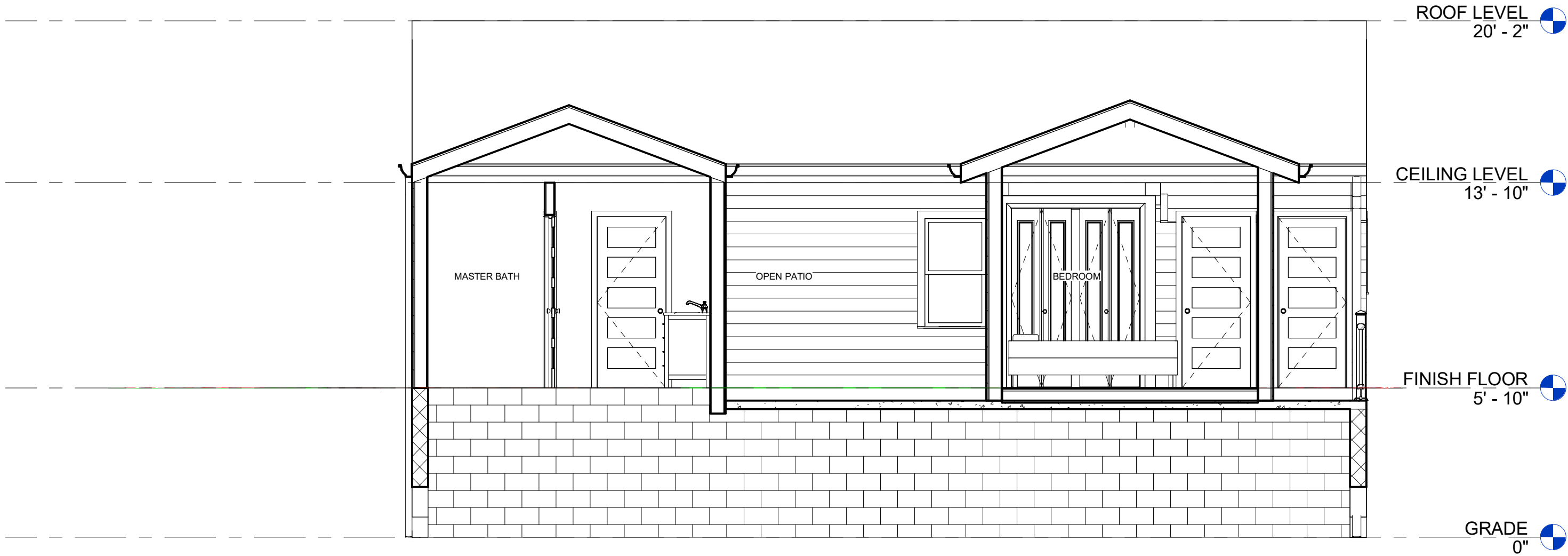
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1 SECTION 1  
3/16" = 1'-0"



2 SECTION 2  
1/4" = 1'-0"



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RESIDENCE REMODEL DESIGN

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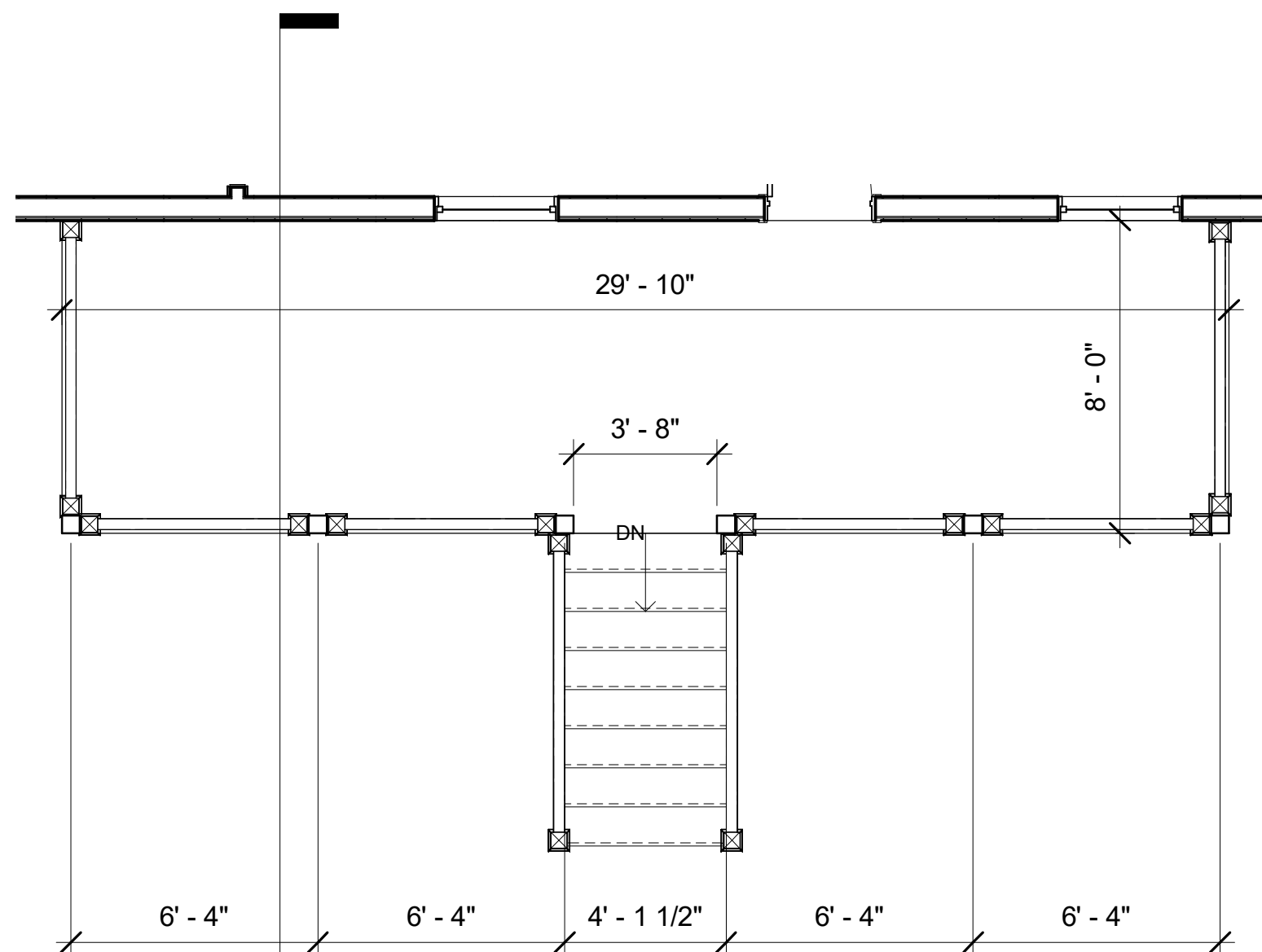
## DECK DETAILS

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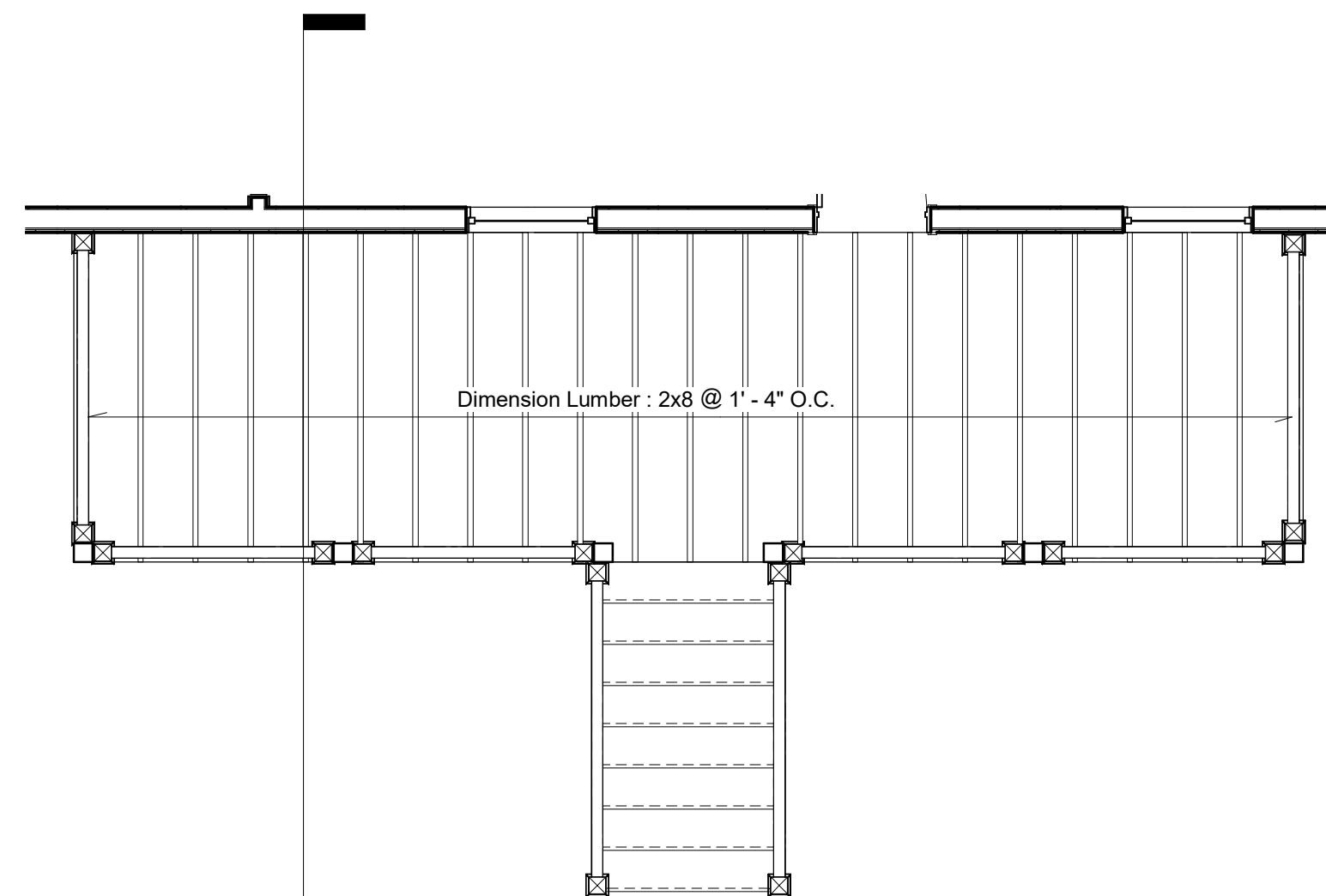
Project number 019-09-02  
Date 21 OCT. 2019  
Drawn by MEA  
Checked by Checker

A401

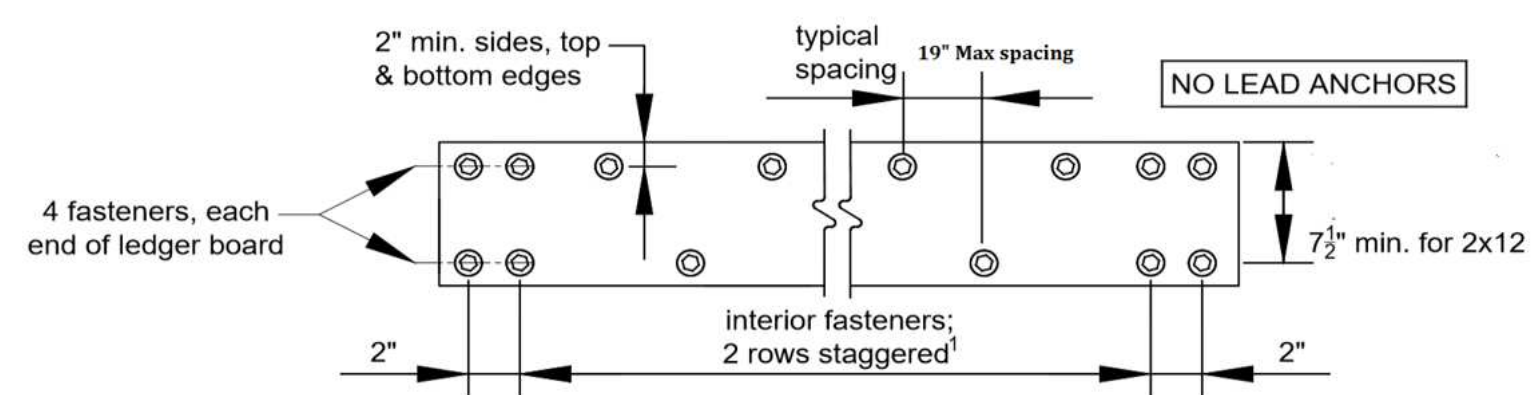
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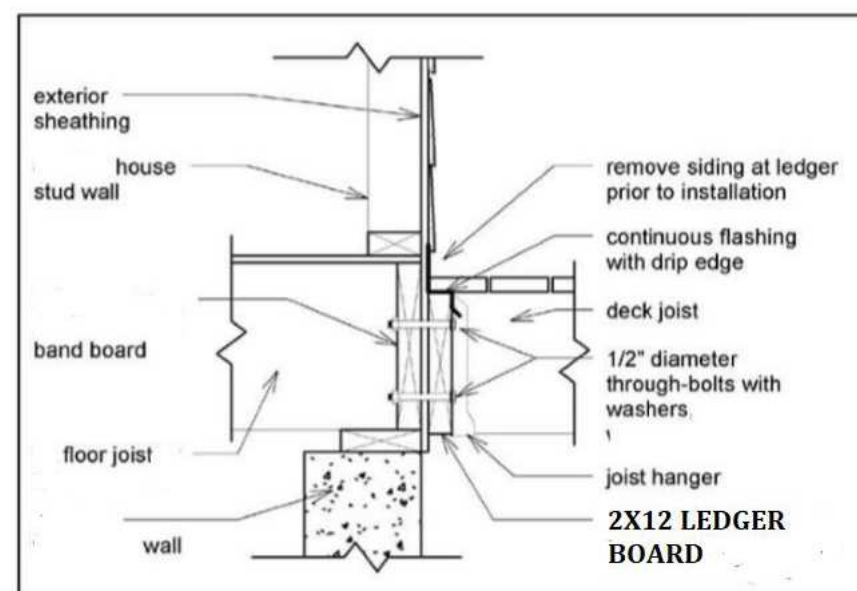
1 ENLARGED FRONT PORCH  
1/4" = 1'-0"



5 ENLARGED FRONT PORCH FLOOR  
FRAMING PLAN  
1/4" = 1'-0"

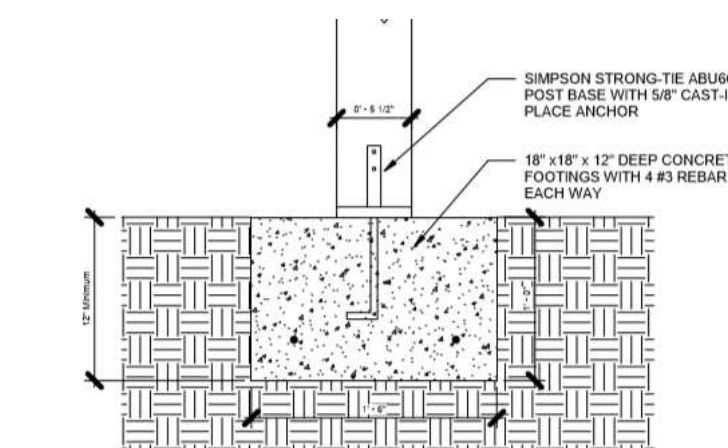


4 LEDGER BOARD FASTENER SPACING AND CLEARANCES

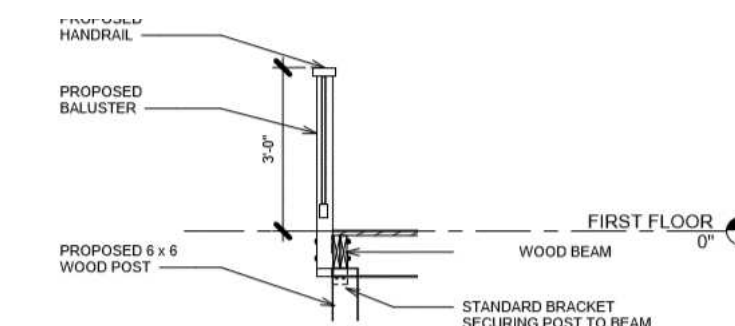


2 ATTACHMENT OF LEDGER BOARD-TO-BAND BOARD

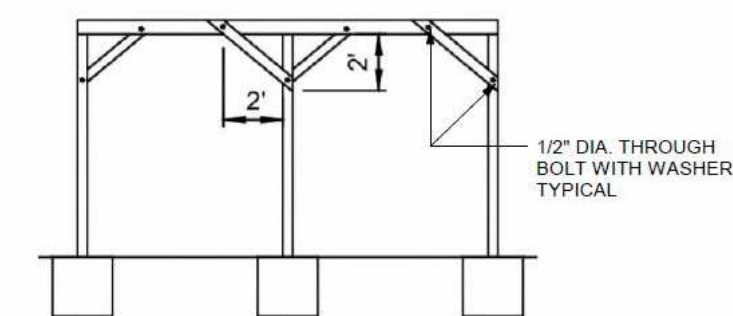
FINISH FLOOR  
5' - 10"



7 TYPICAL FOOTING  
1 1/2" = 1'-0"



9 HANDRAIL AND POST DETAIL 2  
1/2" = 1'-0"



6 KNEE BRACING DETAIL  
1/4" = 1'-0"

3 HANDRAIL DETAILS  
1/2" = 1'-0"



(678) 697-4054

Project Name:  
PROPOSED SINGLE FAMILY  
RESIDENCE REMODEL DESIGN

Project Address:  
218 MAPLE ST.  
HAPEVILLE, GA 30354

Owner:  
ANTHONY UWECHUE

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GENERAL FRAMING DETAILS

RELEASED FOR CONSTRUCTION

Project number 019-09-02  
Date 21 OCT. 2019  
Drawn by MEA  
Checked by Checker

A501

Scale 1 1/2" = 1'-0"

10/21/2019 10:04:16 AM

Figure 14. Anchorage of Sill to Foundation Wall

Figure 24. Framing of Tail Joists by Framing Anchors

Figure 49. Building Paper and Siding Application

Figure 43. Exterior Wall Openings, Header Details with Cripple Studs

Figure 16. Joist End Bearing

Figure 19. Joists Resting on Girder

Figure 18. Joist Supported by Metal Framing Anchors

Figure 65. Application of Masonry Veneer to Wood Framing

Figure 21. Diagonal Bridging of Floor Joists

Figure 44. Exterior Wall Openings, Header Details with Joist Hangers

Figure 1. Platform Frame Construction

Figure 50. Application of Wood Shingles

Figure 28. Framing Over Bearing Partition, Balloon Construction

Figure 25. Framing of Header to Trimmer by Joist Hangers

Figure 22. Solid Bridging of Floor Joists

Figure 29. Framing Under Non-Bearing Partition

Figure 30. Attachment of Non-Bearing Partition to Ceiling Framing

Figure 40. Draftstopping of Trussed Floors

Figure 27. Framing Over Bearing Partition, Platform Construction

Figure 17. Joist Supported on Ledger

Figure 15. Nailing Built-up Beams and Girders

Figure 42. Wall Framing at Intersecting Partitions

Figure 41. Multiple Studs at Corners

Figure 26. Notching and Boring of Joists

1) ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES. 2) IT IS THE RESPONSIBILITY OF THE CONSTRUCTOR/BUILDER/OWNER TO CHECK FOR ANY ERROR OR OMISSIONS TO THE PLANS. 3) WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. 4) VERIFY LOCATION OF ALL ELECTRICAL FIXTURES AND OUTLETS. 5) VERIFY ALL BEAM SIZES AND LOCATIONS. 6) VERIFY GIRDER TRUSS LOCATION AND POINT LOADS. 7) VERIFY ALL FOOTING PAD LOCATIONS AND SIZES. 8) IN ORDER TO PRINT TO SCALE, USE ARCH C (18" X 24") PAPER.

## Hapeville Design Review Committee 2020

All Design Review Committee Meetings are scheduled for 6:00PM at City Hall located at 3468 North Fulton Avenue in the Administration Conference Room unless otherwise posted.

|                  | <b>Submittal Deadline</b>     | <b>Meeting Date</b>           |
|------------------|-------------------------------|-------------------------------|
| <b>January</b>   | Wednesday, December 18, 2019  | Wednesday, January 15, 2020   |
| <b>February</b>  | Wednesday, January 15, 2020   | Wednesday, February 19, 2020  |
| <b>March</b>     | Wednesday, February 19, 2020  | Wednesday, March 18, 2020     |
| <b>April</b>     | Wednesday, March 18, 2020     | Wednesday, April 15, 2020     |
| <b>May</b>       | Wednesday, April 15, 2020     | Wednesday, May 20, 2020       |
| <b>June</b>      | Wednesday, May 20, 2020       | Wednesday, June 17, 2020      |
| <b>July</b>      | Wednesday, June 17, 2020      | Wednesday, July 15, 2020      |
| <b>August</b>    | Wednesday, July 15, 2020      | Wednesday, August 19, 2020    |
| <b>September</b> | Wednesday, August 19, 2020    | Wednesday, September 16, 2020 |
| <b>October</b>   | Wednesday, September 16, 2020 | Wednesday, October 21, 2020   |
| <b>November</b>  | Wednesday, October 21, 2020   | Wednesday, November 18, 2020  |
| <b>December</b>  | Wednesday, November 18, 2020  | Wednesday, December 16, 2020  |

Submittal of partial or incomplete applications will not be considered for placement on the Design Review Committee agenda until the application is accepted as complete. Meeting dates and deadlines are subject to final review and approval by the City Planner.