



PLANNING AND ZONING DEPARTMENT

PLANNER'S REPORT

DATE: July 12, 2019
 TO: Tonya Hutson
 FROM: Lynn M. Patterson
 RE: **Design Review - 3210 Oakdale Road Addition**

Key:	
Compliant:	✓
Not Compliant:	✗
Incomplete:	✎
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Ashok Avasthi for the addition of an upper-level sunroom to an existing single-family dwelling at 3210 Oakdale Road. The addition will use metal and glass panels attached to a raised wooden deck dividing the rear facade of the house into two levels.

The property is zoned R-1, One-Family Residential and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(e) Roof and Chimney Standards

- ⊘ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ⊘ Roof shingles shall be slate, cedar, or asphalt.
- ⊘ Roof tiles shall be clay, terra cotta or concrete.
- ✎ Metal roofs are:
 - ✎ Allowed on one-family and two-family detached dwellings;
 - Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- ✗ Gutters shall be copper, aluminum or galvanized steel.
- ✗ Downspouts shall match gutters in material and finish.
- ✗ Roof forms shall be based on architectural style.
- ✓ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊘ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊘ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊘ Chimneys on exterior building walls shall begin at grade.
- ⊘ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

- STAFF COMMENT:**
- **The Applicant should clarify the roofing material for the proposed sunroom.**
 - **Proposed roof does not have gutters or downspouts.**
 - **Proposed roof is inconsistent with architectural style of existing dwelling.**

(f) Street Facing Facade and Style Standards.

- × Exterior facade materials shall be limited to:
 - Full-depth brick;
 - Natural or cast stone;
 - Smooth natural-wood siding and/or cement-based siding;
 - Shake siding;
 - Painted fish-scale style shingles, but only when used in front gables;
 - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- × Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - × Glass curtain walls;
 - Liquid vinyl;
 - T-1-11 siding;
 - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.
- ⊙ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ⊙ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11 .
- ⊙ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ⊙ All exterior stair risers visible from a street shall be enclosed.
- ⊙ Porches, stoops, and balconies may be located in the front or side yard.
- ⊙ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ⊙ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
 - Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ⊙ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ⊙ Porch and stoop foundations shall be enclosed.
- ⊙ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊙ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ⊙ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊙ Stoops shall provide a minimum top landing of four feet by four feet.
- ⊙ Stoop stairs and landings shall be of similar width.
- ⊙ Stoops may be covered or uncovered.
- ⊙ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ⊙ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊙ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ⊙ Enfronting porches may have multistory verandas, living space, or balconies above.
- ⊙ Porch columns shall be spaced a maximum distance of eight feet on center.
- ⊙ Front porch columns shall have foundation piers extending to grade.
- ⊙ All porches shall be covered.
- ⊙ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊙ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊙ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊙ Balconies may be covered or uncovered.

STAFF COMMENT:

- **Scope of project does not include changes to street facing facade or existing style.**
- **Glass panels are not a permitted type of exterior building material.**

FINDINGS

The proposed sunroom is to be constructed out of 3' wide glass panels held in place by 3", 5" and 6" posts which appear to be wooden. As such, this constitutes a glass curtain wall, which is not permitted. Further, the sloped roof made of insulated panels would be inconsistent with the roof of the existing building and lacks any gutters or downspouts and per the drawing, and the sunroom extends beyond the side of the residence.

As the deck is at the rear of the dwelling, none of the proposed changes would be visible from the right-of-way.

As the drawings submitted are sketches provided by the applicant, the Design Review Committee may consider the proposed addition is constructed on top of a second story wooden deck. There has been no structural evaluation to determine if the deck is capable of supporting the proposed metal and glass window panels in addition to furniture and general activity.

**CITY OF HAPEVILLE
DESIGN REVIEW APPLICATION**

SUBMITTAL DATE: April 9, 2019

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: ASHOK AVASTHI Contact Number: [REDACTED]

Applicants Address: 3210 OAKDALE RD, HAPEVILLE GA 30354

E-Mail Address: [REDACTED] Zoning Classification: B-1

Address of Proposed Work: 3210 OAKDALE RD, HAPEVILLE GA 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14009900031529

Property Owner: ASHOK AVASTHI Contact Number: _____

Project Description (including occupancy type): SUN ROOM AND PLACE TO PUT FOR PLANTS (COVER UNDER THE PORCH)

Contractors Name: _____ Contact Number: _____

Contact Person: _____ Contact Number: _____

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

ASHOK AVASTHI
Applicant's Signature

4/09/19
Date

Project Class (check one):

Residential Commercial Mixed-Use Development

Project Type:

New Commercial Construction Addition to Existing Commercial Building
 Addition to Existing Residential Structure Accessory Structure
 Site Plan, Grading & Landscaping New Single Family Residential Construction
 Other

Total Square Footage of proposed New Construction: 15' x 30'

Total Square Footage of existing building: _____

Estimated Cost of Construction: _____

List/Describe Building Materials on the exterior of the **existing** structure: _____

SLANT ROOF AND WINDOWS AS PER PHOTO

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

METAL + GLASS

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I ASHOK AVASTHI R. swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.

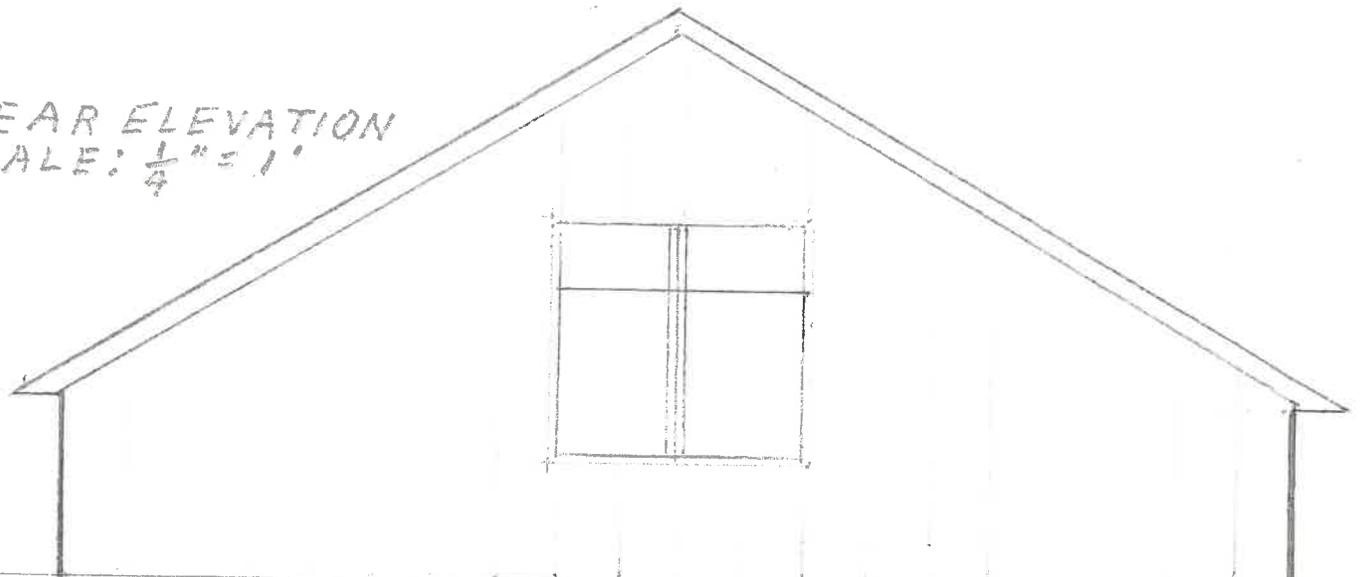


TO: Design Review Committee

AK Avasth's Proposed Design
of sunroom - 3210 Oakdale Rd.
Hapeville, Ga 30354



REAR ELEVATION
SCALE: $\frac{1}{4}'' = 1'$



48" ROOF
PANELS

6x6
POST

60"

36"

3"

5"

5"

2x10
P.T.
EXISTING

10'6"

6x6 P.T. POSTS
EXISTING

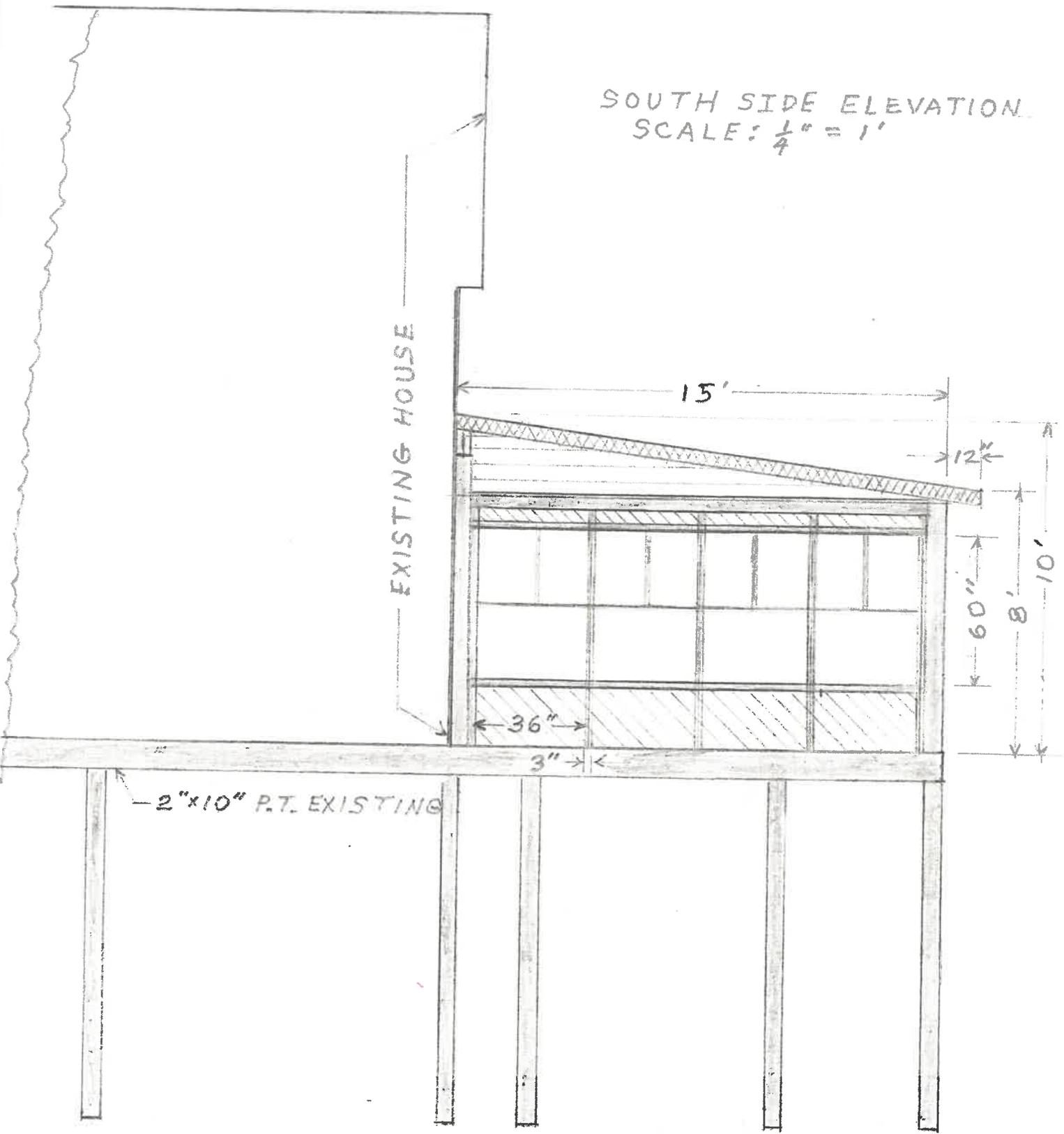
29 1/2'

WINDOWS: 36" x 60" SINGLE HUNG
ROOF PANELS: 48" x 16' x 5" INSULATED
WINDOW ROUGH FRAMING THICKNESS: 3"



THERMAL GLASS PANELS

SOUTH SIDE ELEVATION
SCALE: $\frac{1}{4}'' = 1'$



 — 5" INSULATED ROOF PANELS