



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: October 1, 2019
TO: Adrienne Senter
FROM: Michael Smith
RE: **Site Plan Review – Porsche Avenue Service Center**

BACKGROUND

The City of Hapeville has received a site plan application from Steven Ellis on behalf of PRO Building Systems, Inc, to develop a specialty auto service center and repair facility as a component of Porsche Cars of North America's corporate campus concept on Porsche Avenue (Parcel ID 14 0096 LL0593). The lot is currently partially paved but is otherwise undeveloped. The site area under consideration is 2.5 acres. The facility is shown as a 20' high, 17,600/20,815 square foot building surrounded by parking as well as one accessory structure.

The property is zoned B-P, Business Park, and is subject to the Commercial/Mixed-Use area, Subarea B, of the Architectural Design Standards. Porsche's office headquarters are located on an adjacent lot located in the City of Atlanta and use at least 200,000 square feet of space, making this a permitted use in the B-P district.

REVIEW

The following code sections are applicable to this application:

ARTICLE 18. - B-P ZONE (BUSINESS PARK)

Sec. 93-18-1. - Intent.

- (a) The purpose of this district is to encourage the development of a high-quality community of businesses, office services and recreation uses to promote economic development for the city by fostering the creation of significant employment centers.
- (b) In order to further the achievement of this purpose, applicants for development within the B-P (business park) district shall submit proposed site development plans for review and approval in accordance with the provisions of section 93-2-16.
- (c) To create continuity for the business park aesthetic, buildings and sites must reflect buildings immediately adjacent to the zone.

Sec. 93-18-2. - Permitted uses.

The uses permitted in any B-P zone shall be limited to business and professional offices, educational institutions, retail sales of new merchandise, recreational uses and services as specifically identified below. All such principal uses shall be conducted wholly within completely enclosed buildings unless otherwise specified.

- (4) Auto service and repair facility, including major mechanical or body repair, when associated with a single onsite office use of at least 200,000 square feet, which may be located in another jurisdiction if it is immediately adjacent to the zone.

REQUIREMENTS

Sec. 93-2-16. - Site plan review.

- (a) *Intent and purpose.* The site plan review procedures are intended to ensure adequate review and consideration of potential impacts of proposed development upon surrounding uses and activities, and to encourage a high standard of site planning and design resulting in quality development in the city.
- (b) *Application.* An application for site plan review may be filed by the owner, or agent for the owner, of any property to be developed according to the plan. All applications for site plan review shall be filed with the building official for transmission to the planning commission. Site plan review requirements are applicable for all proposed development in all zones within the city and all property submitted for annexation.
- (c) *Submission requirements.* Applications for site plan review shall contain the following information and any additional information the planning commission may prescribe by officially adopted administrative regulations; ten copies of the application shall be submitted:
 - (1) *Site and landscape plan.* Maps and site plans shall be submitted (minimum scale of 1" = 50' or larger, e.g., 1" = 40', 1" = 30', etc.) indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn, showing:
 - a. The locations, size and height of all existing and proposed structures on the site.

- ***The subject tract is partially paved but otherwise undeveloped.***
- ***Setbacks are not required in the B-P district for the main building.***
- ***The structure will be 20' tall and have an area of 17,600 SF/20,815 SF. Applicant should clarify the actual square footage.***
- ***Per Sec. 93-2-5, accessory structures in a side or rear yard must be set back from the property line at least 5'. The applicant should provide the distance between accessory structure and the nearest property line.***

- b. The location and general design cross section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances.

- ***The plans show a new parking lot served by a 36' wide driveway. It is unclear if the curb cut is new or an existing curb cut. A new curb cut is not allowed. An existing curb cut may be relocated.***
- ***The applicant should provide the width of the new curb cut.***
- ***No sidewalk is shown at the street as required by the Architectural Design Standards. Sidewalk must adhere to the Commercial/Mixed Use standard (5' landscape zone, 10' sidewalk/clear area).***
- ***Design cross sections have been provided.***

- c. The locations, area and number of proposed parking spaces.
- ***The new parking lot will have 148/143 parking spaces. For auto service and repair, parking minimums are 3 spaces per 1,000 sf of gross floor area in the B-P zone which is 62/53 parking spaces. One loading space is required for buildings between 10,001 sf and 40,000 sf. There is no loading space and the parking spaces significantly exceed the minimum parking requirements. While shared parking is allowed within the B-P zoning district, the applicant should indicate the need for the additional parking spaces as part of the overall property development plan.***
 - d. Existing and proposed grades at an interval of five feet or less.
- ***The site plan shows existing and proposed grades at 1' intervals.***
 - e. The location and general type of all existing trees over six-inch caliper and, in addition, an identification of those to be retained.
- ***The site has previously been developed and does not have any trees.***
 - f. The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in section 93-23-18.
- ***A landscape plan has been provided and will be reviewed by the Design Review Committee per the B-P Code.***
 - g. The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed outdoor furniture (seating, lighting, telephones, etc.).
- ***The site will be an automobile service and repair center.***
 - h. The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms.
- ***None proposed.***
 - i. The identification and location of all refuse collection facilities, including screening to be provided.
- ***The applicant should provide the location of refuse collection facilities and describe screening.***
 - j. Provisions for both on-site and off-site stormwater drainage and detention related to the proposed development.
- ***See engineer's report.***

- k. Location and size of all signs.
- ***One flagpole is shown on the plans. In addition, the elevations indicate the applicant intends to install a wall sign directly to the front of the structure. The applicant must apply separately for a sign permit for each sign, and the signs must conform to the City's sign ordinance.***
 - (2) *Site and building sections.* Schematic or illustrative sections shall be drawn to scale of 1" = 8' or larger, necessary to understand the relationship of internal building elevations to adjacent site elevations.
- ***The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.***
 - (3) *Typical elevations.* Typical elevations of proposed building shall be provided at a reasonable scale (1/8" = 1'0") and shall include the identification of proposed exterior building materials.
- ***The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.***
 - (4) *Project data.*
 - a. Site area (square feet and acres).
- ***The minimum lot size is 10,000 SF. The lot is 108,990 SF or 2.5 acres, which is compliant.***
 - b. Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others.
- ***Impervious surface area has been given as 90%. B-P zoning does not have any maximum site coverage. The applicant should provide site coverage broken down by type, such as building area and parking.***
 - c. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.
- ***Not applicable.***
 - d. Floor area in nonresidential use by category.
- ***The entire 17,600/20,815 SF structure will be an auto service center and repair facility.***
 - e. Total floor area ratio and/or residential density distribution.
- ***Not applicable.***
 - f. Number of parking spaces and area of paved surface for parking and circulation.
- ***The facility will have 148/143 off-street parking spaces.***

(5) *Project report.* A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, stormwater and erosion control, etc. of the proposed development.

- ***The project is for the construction of an auto service center and repair facility affiliated with an adjacent office use greater than 200,000 SF in area.***
- ***Authorization from the owner of the property has been provided.***
- ***The applicant should provide an anticipated development schedule.***

ARTICLE 18. - B-P ZONE (BUSINESS PARK)

Sec. 93-18-3. - Off-street parking and loading requirements.

(g) Loading spaces for buildings:

(2) Between 10,001 square feet to 40,000 square feet of total floor area; one loading space required.

- ***The applicant should indicate one dedicated loading space on the plans.***

(i) Auto service and repair facilities shall have a minimum of three off-street parking spaces per 1,000 square feet of gross floor area. Auto service and repair facilities that include major mechanical or body repair shall have one off-street parking space per 1,000 square feet of gross floor area.

- ***The minimum parking required is 54/63 spaces. The plans indicate 148/143 spaces. The need for additional parking should be explained.***

Sec. 93-18-4. - Height requirements.

No structure shall exceed 105 feet or eight stories in height, unless additional height is approved by the planning commission, the Federal Aviation Administration, the city building official and the fire chief to ensure that fire safety design standards are met. The Federal Aviation Administration must approve all building heights.

- ***The structure will be 20' high, which is compliant.***

Sec. 93-18-5. - Site development and improvement standards.

In order to establish and maintain the B-P (Business Park) district as a quality area which will preserve the investments of all landowners and developers, as well as the tax base of the city, all construction and development within the B-P district shall comply with the following standards:

(1) *Minimum lot area.* The minimum lot area for any building site shall be 10,000 square feet.

- ***The lot area is 108,990 SF, which is compliant.***

(2) *Setbacks for front, rear and side yards.*

- a. There is no setback requirement.
- b. Only driveways, interior vehicular circulation drives, permitted signs, and landscaped areas shall be allowed between a building and the front property line.

• ***Compliant***

(3) *Buildings.*

- a. Exterior wall materials shall be one or more of the following:
 1. Hard-coat stucco;
 2. Stone with either a weathered face or a polished, fluted or broken face. No quarry-faced stone shall be used except in retaining walls;
 3. Fiber-cement siding;
 4. Glass;
 5. Metal and metal panel; or
 6. Concrete masonry.
 - i. Units shall be those generally described by the National Concrete Masonry Association as "customized architectural concrete masonry units" or shall be broken faced brick-type units with marble aggregate. There shall be no exposed concrete block on the exterior of any building visible from any public right-of-way. Any concrete masonry units that have gray cement color visible from any public right-of-way shall be coated with a coating approved by the design review committee.
 - ii. Concrete may be poured in-place, tilt-up or precast. Poured in-place and tilt-up walls may be exposed or have a finish of stone, a texture, metal panels or screening, or a coating. Textured finishes shall be coated. Coating shall be an approved cementitious of any epoxy type with a life expectancy of at least ten years.
- b. Other exterior wall materials may be used only with the prior approval of the design review committee. Approval or disapproval will be judged on the appropriateness of the materials when considered in context with other buildings in the same business park.
- c. Outside storage of materials is prohibited.
- d. Roof-mounted equipment shall be located and/or screened to minimize visibility from streets or surrounding buildings.

• ***The structure will have a façade consisting of glass and metal panels, which is compliant.***

- (4) *Landscaping.* Landscaping design standards shall be established during design review. Approval or disapproval will be judged on the appropriateness of the materials when considered in context of the location of the landscaping, the visibility of the landscaping to the general public on the nearest public right-of-way and in context with other buildings in the same business park.

• ***Landscaping standards will be established by the Design Review Committee.***

- (5) *Exterior lighting.* All exterior lighting shall comply with FAA requirements related to aircraft safety, and all exterior lighting shall be maintained in accordance with plans and specifications submitted to and approved by the building official.

• ***No exterior lighting has been proposed.***

ARTICLE 23. - OFF-STREET PARKING AND LOADING

Sec. 93-23-1. - Purpose and intent.

The purpose of this article is to ensure the reasonable provision of off-street parking and loading facilities within the city. The requirements contained herein are minimum standards only, and are intended to protect and promote the health, safety and welfare of the present and future inhabitants of the city.

Sec. 93-23-2. - Entrance and exit points.

Except in districts zoned R-0, R-1, R-2 and R-3, curb breaks shall not be more than 30 feet in width, nor less than 25 feet in width. In no case shall there be less than 50 feet from the closest sides of any two-driveway curblines. Curb breaks shall be located at least 25 feet from the nearest intersection of two curblines as measured along one of the curblines. Business establishments on contiguous lots are encouraged to consolidate entrance and exit points. Suitable provisions, including a five-foot-wide planted buffer strip between the right-of-way and parking area shall be made to prevent entrance or exit from other than at designated entrance or exit points.

- **The maximum width allowed for curb breaks is 30'. The widths of the proposed curb break has not been provided but is at least 36', which is not compliant.**

Sec. 93-23-3. - Setbacks from property lines.

Off-street parking and loading spaces and their respective maneuvering areas shall be set back not less than five feet from all property lines, except where those spaces and areas for adjacent properties abut, or are in contiguous use, there need not be any setback.

- **Compliant**

Sec. 93-23-4. - Maneuvering areas.

All off-street parking and loading spaces shall be provided with adequate off-street maneuvering areas.

- **Compliant**

Sec. 93-23-6. - Reduction in area and number of parking spaces.

No open area in an off-street parking area shall be encroached upon by buildings, storage or any other use; nor shall the number of parking spaces and/or off-street loading spaces be reduced except upon approval of the board of appeals, and then only after proof that, by reason of diminution in floor area, seating area, number of employees or change in other factors controlling the regulation of the number of parking spaces, the proposed reduction is reasonable and consistent with the intent of this chapter.

- **The site plans do not indicate any encroachment upon the parking area by any buildings or other uses.**

Sec. 93-23-7. - Mixed uses.

In the case of mixed uses, the total requirements for off-street parking and off-street loading space shall be the sum of the requirements of the various uses computed separately as specified herein. Off-street parking and off-street loading space for one use shall not be considered as providing the required off-street parking or off-street loading space for any other use.

- **Not applicable to non-mixed-use development.**

Sec. 93-23-8. - Uses not specifically mentioned.

In the case of a use not specifically mentioned herein, the requirements for off-street parking space and off-street loading space for a use which is so mentioned, and to which that use is most similar, shall apply.

Sec. 93-23-9. - Issuance of certificate of occupancy.

No certificate of occupancy shall be issued for any building or group of buildings unless and until all required off-street parking and loading facilities are in place and ready to use.

Sec. 93-23-10. - Off-street parking requirements according to district and uses.

At the time of the erection of any building or structure hereinafter listed, or at the time any such building or structure is enlarged or increased in capacity by adding dwelling units, guestrooms, floor area, seats, beds, members or employees, there shall be provided for such new construction, enlargement or increased capacity only, off-street automobile parking space and off-street loading spaces in accordance with the minimum requirements established for each zone. The maximum number of off-street automobile parking spaces shall be 110 percent of the requirement for uses proposed at the time of development approval.

- **The maximum parking permitted for the project is 60/70 spaces. The applicant is proposing 148/143 off-street parking spaces likely for shared uses which is allowable in the B-P district.**

Sec. 93-23-11. - Size of off-street parking spaces, including parking spaces for compact automobiles, and parking spaces for automobiles of the physically handicapped.

- (a) Of the total number of parking spaces required for any nonresidential use having 20 or more off-street parking spaces, a maximum of 70 percent shall be "full-size" as described in the table below, and a minimum of 30 percent shall be "compact size" as described in the table below:

Minimum Full-Size Space Dimensions

Type of Space	Width of Space	Length of Space
Parallel at curb to angle of 29 degrees	8.5 feet	22 feet
Angle of 30 degrees to 60 degrees	9 feet	18 feet
Angle of 61 degrees to 90 degrees	10 feet	18 feet

Minimum Compact-Size Parking Space Dimensions

Type of Space	Width of Space (feet)	Length of Space (feet)
Parallel at curb to angle of 29 degrees	8	19
Angle of 30 degrees to 60 degrees	8.5	15
Angle of 61 degrees to 90 degrees	9	15

- **At least 30% of provided parking spaces must be compact size. The plans state that 21 (14%) of the 148 provided spaces are compact size, which is not compliant. However, the locations and dimensions of those spaces are unclear.**
- **The majority of provided spaces are between the dimensional requirements for full-size spaces and compact-size spaces, being too narrow for the former and too long for the latter.**
- **10 of the provided parking spaces are at angles of less than 90 degrees to the curb and do not have lengths provided.**

(b) There shall be adequate interior passageways, drives and maneuver areas, as determined by the building official, to accommodate each space and to connect each space with a public street.

- ***Compliant***

(c) In addition to the above-stated requirements, parking space for automobiles of the physically handicapped shall be provided in accordance with the following standards.

(1) Access to buildings generally.

- a. Accessibility to such building shall be provided from rights-of-way in parking areas by means of a pathway leading to at least one entrance generally used by the public. Such pathway shall have been cleared of all obstructions relating to construction activity, prior to the opening of the building to the general public. Where curbs exist along such pathway, as between a parking lot surface and a sidewalk surface, inclined curb approaches or curb cuts having a gradient of not more than one foot in 12 feet and a width of not less than four feet shall be provided for access by wheelchairs.
- b. A parking lot servicing each entrance pathway shall have a number of level parking spaces as set forth in the following table, identified by above grade signs as being reserved for physically handicapped persons. Each parking space so reserved shall be not less than 12 feet in width.

Parking Spaces for Handicapped

Total Spaces and Lot	Required No. of Reserved Spaces
Up to 25	1
26 to 50	2
51 to 75	3
75 to 100	4
100 to 150	5
150 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1,000	2% of total
Over 1,000	20, plus 1 for each 100 over 1,000

(2) Location. Parking spaces for the physically handicapped shall be located as close as possible to elevators, ramps, walkways and entrances.

- ***The applicant must provide three ADA parking spaces.***

Sec. 93-23-12. - Location.

If the required off-street parking spaces cannot reasonably be provided on the same lot as the building it serves, the board of appeals may permit that space to be provided on other off-street property. That property shall be within 400 feet of the premises to which it is appurtenant, as measured along the nearest pedestrian walkway.

- ***The off-street parking is provided on the same lot as the building.***

Sec. 93-23-13. - Joint use of required off-street parking spaces.

No part of an off-street parking area required for any building or use for the purpose of complying with the provisions of this chapter shall be included as a part of an off-street parking area similarly required for another building or use unless the type of structure indicates that the periods of usage of that structure will not be simultaneous with each other, as determined by the board of appeals.

- ***The off-street parking provided is for the exclusive use of the center.***

Sec. 93-23-14. - Size of off-street loading spaces.

Each off-street loading space shall have minimum dimensions of 15 feet in height, 15 feet in width, and 60 feet in length. However, upon sufficient demonstration in a specific instance that a particular loading space will be used exclusively by shorter or lower trucks, the board of appeals may reduce the minimum length or height.

- ***The applicant should provide one 15' high, 15' wide, and 60' long loading space.***

Sec. 93-23-15. - Location of off-street loading spaces.

All required off-street loading spaces shall be located on the same lot as the building which they are intended to serve, or on an adjacent lot when shared with the use occupying the lot.

- ***The applicant should provide one 15' high, 15' wide, and 60' long loading space.***

Sec. 93-23-16. - Drive-in establishments.

There shall be no drive-in establishments in which customers are served while located on a public right-of-way. In the case of a drive-in establishment where customers are served while occupying automobiles parked off a public right-of-way, that establishment shall provide on the premises sufficient parking space which, in the judgment of the building official, the chief of police and the city engineer will accommodate the largest number of automobiles being served or waiting to be served at any one time. This required space shall be appropriately arranged for the purpose and in no case shall it be less than the minimum space as specified in this chapter.

- ***Not applicable.***

Sec. 93-23-17. - Continuing character of obligation.

The schedule of requirements for off-street parking space and off-street loading space applicable to newly erected or altered structures shall be a continuing obligation of the owner of the real estate on which any such structure is located, so long as the structure is in existence and its use requiring vehicle parking or vehicle loading facilities continues, and it shall be unlawful for an owner of any building affected by this chapter to discontinue, change or dispense with, or to cause the discontinuance or change of the required vehicle parking or loading space apart from the discontinuance, sale or transfer of the structure, without establishing alternative vehicle parking or loading space which meets the requirements of and is in compliance with this chapter, or for any person, firm or corporation to use that building without acquiring the land for vehicle parking or loading space which meets the requirements of and is in compliance with this chapter.

RECOMMENDATIONS

The project as proposed will require the following variances from the Board of Appeals. Staff supports these variances.

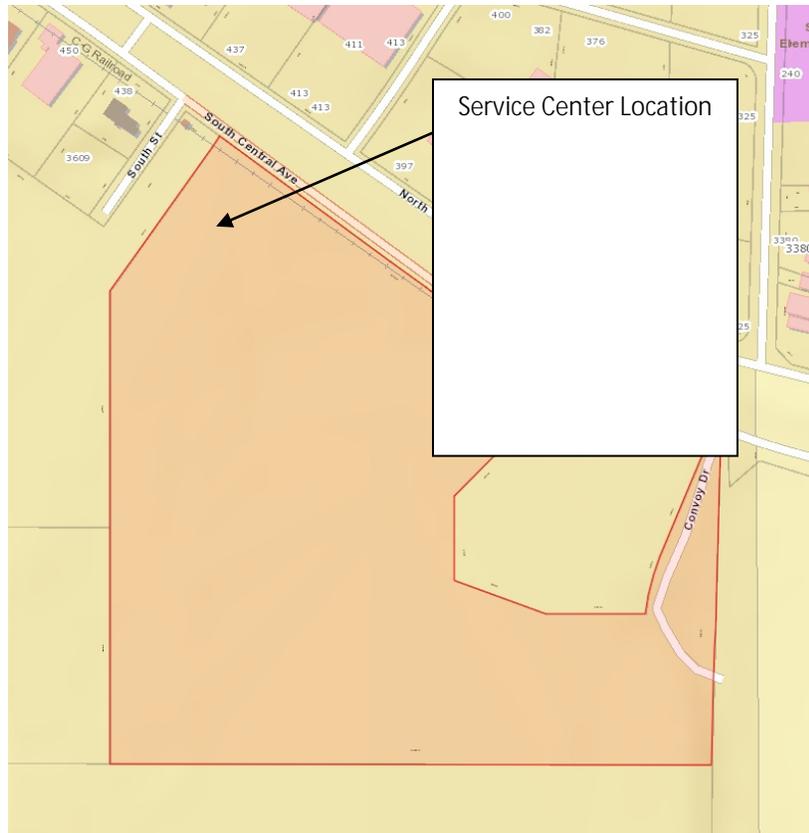
- Parking in excess of the 110% requirement.

In addition, the site plan should be revised to address the following concerns identified per the planner's review for zoning compliance:

- *The applicant should clarify the actual square footage.*
- *The applicant should provide the distance between accessory structure and the nearest property line.*
- *The applicant should clarify if the curb cut is new or existing. A new curb cut is not allowed. An existing curb cut may be relocated.*
- *The applicant should provide the width of the new curb cut.*
- *No sidewalk is shown at the street as required by the Architectural Design Standards. Sidewalk must adhere to the Commercial/Mixed Use standard (5' landscape zone, 10' sidewalk/clear area).*
- *The applicant should provide site coverage broken down by type, such as building area and parking.*
- *The applicant should indicate one dedicated loading space on the plans.*
- *The applicant should indicate the need for additional parking, if shared parking is the intent.*
- *The applicant should provide an anticipated development schedule.*
- *At least 30% of provided parking spaces must be compact size. The plans state that 21 (14%) of the 148 provided spaces are compact size, which is not compliant. However, the locations and dimensions of those spaces are unclear.*
- *The majority of provided spaces are between the dimensional requirements for full-size spaces and compact-size spaces, being too narrow for the former and too long for the latter.*
- *10 of the provided parking spaces are at angles of less than 90 degrees to the curb and do not have lengths provided.*
- *The applicant must provide three ADA parking spaces.*
- *The applicant should provide one 15' high, 15' wide, and 60' long loading space.*

The building elevations will be reviewed by the Design Review Committee for compliance with the Architectural Design Standards.

Should the site plan address all the planner's comments and the City Engineer's comments then the site plan is recommended for approval by the Planning Commission subject to approval of the required variances by the Board of Appeals.



Location Map – Porsche Avenue (Parcel ID 14 0096 LL0593)