

PLANNING AND ZONING DEPARTMENT

PLANNER'S REPORT

DATE: July 12, 2019
TO: Tonya Hutson
FROM: Lynn M. Patterson

RE: Design Review - 282 Birch Street Addition

Key:

Compliant: ✓

Not Compliant: ×

Incomplete: **

0

Not Applicable:

BACKGROUND

The City of Hapeville has received design review application from Kevin Clark to remodel an existing one-story single-family dwelling at 282 Birch Street. The remoding will include the rear addition of a new bedroom, bathroom, laundry room, and rear patio. In addition, the existing facades will be altered and the existing stoop will be replaced. The existing dwelling is approximately 1,224 SF plus the proposed addition of 390 SF totaling 1,614 SF. The renovated dwelling will have three bedrooms and two bathrooms.

The property is zoned R-1, One-Family Residential and is subject to the Neighborhood Conservation Area, Subarea E of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) Site development standards

- x Except where indicated, setbacks shall be established by zoning.
- On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- Minimum building heights shall be established by zoning.
- 🖑 Within subareas D and E maximum building heights shall be as established by zoning, except that:

Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.

Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.

Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet. Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.

- Outside of subareas D and E maximum building heights shall be as established by zoning.
- All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.
- Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
 - Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.
 Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.
 The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

- Existing dwelling is encroaching on 5' east side setback.
- Existing sidewalk has no landscape area.

STAFF COMMENT:

- Dwelling and sidewalk are pre-existing. Scope of project does not include changes to the sidewalk or location of existing dwelling. New construction is compliant with setback requirements.
- The Applicant should provide the height from grade of the dwelling and, if different, of the new addition.

(b) Supplemental Area and Fence Standards

- Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.
- O Chain link fencing is not permitted in areas visible from a public right-of-way.
- On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- O Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
- ✓ Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- All street-facing walls shall be faced with stone, brick, or smooth stucco.
- O Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

STAFF COMMENT:

- Provided site plan does not include any trees, and the property does not appear to have any trees in the supplemental area.
- Scope of project does not include changes to the supplemental area.

(c) Utility Standards

- Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
 - Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city;
- Spedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
- All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- Trees shall not be planted directly above storm drains.
 - The location of mechanical features and required screening are not provided on plans.

STAFF COMMENT:

- Scope of project does not include changes to utilities.
- The Applicant should include a light at the front door.

(d) Parkina and Traffic Standards

- ✓ One-family detached dwellings and two-family dwellings shall meet the following requirements:
 - $\checkmark \hspace{0.5cm}$ Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.

Circular drives are permitted.

A grass strip in the middle of driveways is encouraged.

Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.

Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.

Two curb cuts serving two one-way driveways shall be counted as one curb cut.

Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.

New public streets shall not count as curb cuts.

Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.

O Carports are only permitted subject to the following requirements:

Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.

Carport roofs shall be supported by columns with a minimum width and depth of eight inches.

The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.

On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.

O Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT:

· Scope of project does not include changes to off-street parking.

Roof and Chimney Standards

- Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- Roof shingles shall be slate, cedar, or asphalt.
- O Roof tiles shall be clay, terra cotta or concrete.

Allowed on one-family and two-family detached dwellings;

Permitted on multifamily and townhouse dwellings only when screened form the adjacent street by a parapet wall.

- Turning Gutters shall be copper, aluminum or galvanized steel.
- Townspouts shall match gutters in material and finish.
- Roof forms shall be based on architectural style.
- All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- O Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- O Chimneys on exterior building walls shall begin at grade.
- O Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT:

. The Applicant should provide the roof material of the existing dwelling and proposed addition and ensure the new roofing material is guaranteed for at least 30 years.

- The Applicant should indicate the location and material of gutters and downspouts.
- . The Applicant should provide the distance the existing and proposed roofs extend beyond the building facades.

Street Facing Facade and Style Standards.

Exterior facade materials shall be limited to:

Full-depth brick;

Natural or cast stone:

Smooth natural-wood siding and/or cement-based siding;

Shake siding;

Painted fish-scale style shingles, but only when used in front gables;

True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.

Exterior building materials shall not be:

Simulated brick veneer, such as Z-Brick;

Exterior insulation and finish systems (EIFS);

Exposed concrete block;

Metal siding or other metal exterior treatment;

Glass curtain walls;

Liquid vinyl;

T-1-11 siding;

Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.

- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- \checkmark All exterior stair risers visible from a street shall be enclosed.
- Porches, stoops, and balconies may be located in the front or side yard.
- Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.

- ✓ Porch and stoop foundations shall be enclosed.
- Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- The stoops shall provide a minimum top landing of four feet by four feet.
- ✓ Stoop stairs and landings shall be of similar width.
- √ Stoops may be covered or uncovered.
- When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- Solution Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- O Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- O Enfronting porches may have multistory verandas, living space, or balconies above.
- O Porch columns shall be spaced a maximum distance of eight feet on center.
- O Front porch columns shall have foundation piers extending to grade.
- All porches shall be covered.
- O Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- O Enfronting balconies shall have a minimum clear depth of four feet.
- O Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- O Balconies may be covered or uncovered.
 - Stoop materials and finish have not been provided. The Applicant should ensure the stoop is made of painted or stained wood, stone, brick, or ornamental metal.
 - Dimensions of top and bottom members for stoop railings have not been provided. The Applicant should ensure the top and bottom horizontal members on railings meet the requirements described in sec. 81-1-7(f)10.
 - The height of the stoop landing from grade has not been provided, but appears to be level with the front door and similar to that of the existing stoop.
 - The Applicant should provide the size of the stoop landing, ensuring it is at least 4' x 4'.

(g) Door and window standards.

STAFF COMMENT:

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- O Doors that operate as sliders are prohibited along enfronting facades.
- Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- 🖑 Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- Where used, window shutters shall match one-half the width of the window opening.
- O Painted window or door glass is prohibited.
- Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- 🖑 Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- 🖑 Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

- The front entrance is not connected to the adjacent sidewalk via a pedestrian walkway separate from the driveway.
- · Scope of project does not include changes to the supplemental area, including the addition of a pedestrian walkway.
- The Applicant should provide building numbers adjacent to the front entrance.
- Proposed window shutters do not appear to be equal to one-half the width of window openings, which is not compliant.
- · If used, the Applicant should ensure window lights are not grids-between-glass.
- Necessary information for determining compliance with window standards provided in sec. 81-1-7(g) has not been provided. The required information includes:
 - o Window dimensions.
 - o Window recession from façade.
 - o Window trim material, size, and relief from façade.
 - o Width of window mullions.
 - o Windowsill material.
- (h) Detached one-family dwellings/ two-family dwellings. In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.
 - First Stories. First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
 - Window Sills. Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
 - Wheelchair access . Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.
 - Architectural style. Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades.
 - The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

Minimal traditional (Cape Cod). Minimal traditional homes shall include:

- × i. A rectangular building footprint.
- ii. Gabled roofs having gables with a minimum pitch of 20 and a maximum pitch of 45 degrees from horizontal, with roof lines running parallel to the street.
- ✓ iii. Enclosed roof rafters where roofs overhang.
- ✓ iv. Varied, but primarily equal, height windows along a single floor.
- ✓ v. A symmetrical or asymmetrical front facade.
- ✓ vi. Windows that are taller than they are wide.
- √ vii. Covered stoops.
- √ viii. No front porch.
 - The plans do not indicate the height of the first floor from grade.
 - The heights of new and existing windowsills above the finished first floor elevation have not been provided. New windows appear to be the same size and height as existing windows.

STAFF COMMENT:

STAFF COMMENT:

- Scope of project does not include changes to building height above grade or of first floor window height above finished floor elevation.
- The current structure is closest to a Minimal Traditional (Cape Cod) house. The proposed addition will move the shape of the dwelling further away from the accepted standard for Minimal Traditional houses.

Outbuildings. In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- ✓ i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
- o ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
- ${\tt O}$ iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
- 🖑 iv. Outbuildings shall be of compatible material and architectural style to the principal building.
- 🖑 v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

STAFF COMMENT:

- No information on the size or style of the existing outbuilding have been provided.
- Scope of project does not include changes to the existing outbuilding.

RECOMMENDATIONS

Upon review of the information provided by the Applicant, the following items have been found to be missing or deficient and should be addressed prior to formalizing a recommendation:

- 1) The Applicant should provide the height from grade of the dwelling and, if different, of the new addition.
- 2) The Applicant should include a light at the front door.
- 3) The Applicant should provide the roof material of the existing dwelling and proposed addition and ensure the new roofing material is guaranteed for at least 30 years.
- 4) The Applicant should indicate the location and material of gutters and downspouts.
- 5) The Applicant should provide the distance the existing and proposed roofs extend beyond the building facades.
- 6) Stoop materials and finish have not been provided. The Applicant should ensure the stoop is made of painted or stained wood, stone, brick, or ornamental metal.
- 7) Dimensions of top and bottom members for stoop railings have not been provided. The Applicant should ensure the top and bottom horizontal members on railings meet the requirements described in sec. 81-1-7(f)10.
- 8) The Applicant should provide the size of the stoop landing, ensuring it is at least 4' x 4'.
- 9) The Applicant should provide building numbers adjacent to the front entrance.
- 10) Proposed window shutters do not appear to be equal to one-half the width of window openings, which is not compliant.
- 11) If used, the Applicant should ensure window lights are not grids-between-glass.
- 12) Necessary information for determining compliance with window standards provided in sec. 81-1-7(g) has not been provided. The required information includes:
 - a) Window dimensions.
 - b) Window recession from façade.
 - c) Window trim material, size, and relief from façade.
 - d) Width of window mullions.
 - e) Windowsill material.
- 13) Scope of project does not include changes to building height above grade or of first floor window height above finished floor elevation.
- 14) The current structure is closest to a Minimal Traditional (Cape Cod) house. The proposed addition will move the shape of the dwelling further away

Once these items are addressed to the satisfaction of Staff and/or the Design Review Committee, the application can be approved.

CITY OF HAPEVILLE DESIGN REVIEW APPLICATION

| SUBMITTAL | DATE:JUN 1 1 2019 | |
|---|---|---|
| NOTE: | | r neatly printed. Applications or an personally appear at the Design Review |
| | Every attempt will be made to place month's agenda following the subn | s the third Wednesday of each month. your application for review on the next nittal of a completed application with may not always be possible. The City ons as deemed necessary. |
| Applicant: | 120h Plandar Tal | ontact Number: GA 30311 |
| Applicants Ad | dress: 1290 () WHC WAT | Marija Gir Costi |
| E-Mail Address | S: NANCOIDINGIUI 2 | coning Classification: |
| | pposed Work: 282 Birch St | reet Hapeville 30354 |
| Parcel ID# (INF | ORMATION MUST BE PROVIDED): | 109700101029 |
| Property Owne | er: Kevin Clark | Contact Number: |
| Project Desci | ription (including occupancy type): \triangle | dutions: bedran, |
| bathroo | m, and laundry no | om . |
| | | |
| | CHARLES ID | X |
| Contractors N | lame: Mregory Wynn | Contact Number: |
| Contact Pers | on: Kevil Plank | Contact Number: |
| property. I do I accurate, and I application and reserves that rig I further understfull. I hereby ac write the Englis voluntarily comp | nereby swear or affirm that the information punderstand that any inaccuracies may be any action taken on this application. I until to enforce any and all ordinances regardles tand that it is my/our responsibility to conforknowledge that all requirements of the City of language and/or this document has been | |
| Applicants S | Signature | 5-21-19 Date |
| - Halamanita C | | 5 4 5 4 |

| | Residential | Commercial | Mixed-Use Development |
|--------|----------------------|---------------------------|---|
| Proje | ect Type: | | |
| | New Commercial (| Construction | Addition to Existing Commercial Buildi |
| | Addition to Existing | g Residential Structure | Accessory Structure |
| | _Site Plan, Grading | & Landscaping | _New Single Family Residential Construction |
| -, | _Other | | |
| Total | Square Footage of p | proposed New Construction | on: <u>390</u> |
| | | existing building: 1200 |) |
| Estima | ated Cost of Constru | oction: \$80,000 | |
| | | ardi-plank | |
| | | | |

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NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.

(Please Print & Initial)



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

| I, the undersigned, agree that with my signature and submission to the City of Hapeville following: | , I have done the |
|---|--------------------|
| Read the City of Hapeville's Architectural Design Guidelines and relevant Code sect proposed project. The Architectural Design Guidelines may be found here: https://library.municode.com/ga/hapeville/codes/code of ordinances?nodeld=PTIICOC | |
| Ensured that my proposed project meets all of the required criteria per the City of of Ordinances. | Hapeville Code |
| Submitted my application materials in full by the published deadline for review by Design Review Committee meeting. | Staff prior to the |
| Identified and explained all deficiencies or components of the proposed project the with the requirements set forth in the Code. This explanation should be submitted document in the application. | |
| Understood that any deficiencies in the application must be resolved at least 10 da Design Review Committee meeting or the application may not be presented to the | |
| Submitted architectural drawings and details for all projects unless allowed in writi Community Services or Planning & Zoning Department. | ng by the |
| Agreed to submit any required revisions by the Design Review Committee with upon to the Community Services Department for review prior to requesting any permits. | |
| Kevin Clark Printed Name Signature | 5-21-19 |
| Printed Name Signature | Date |

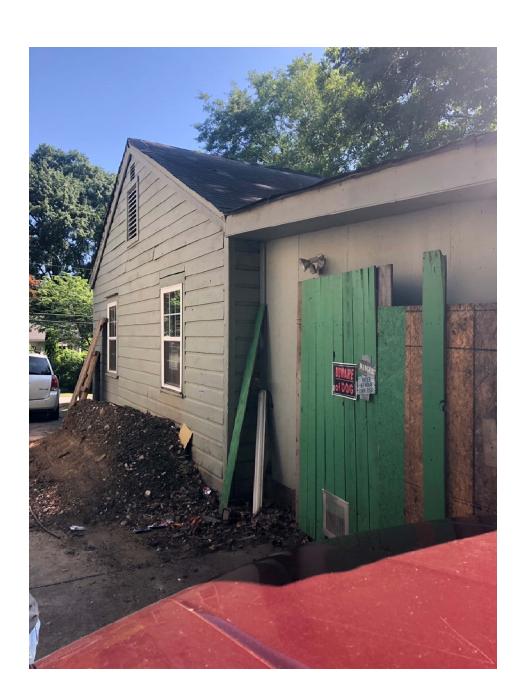
Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

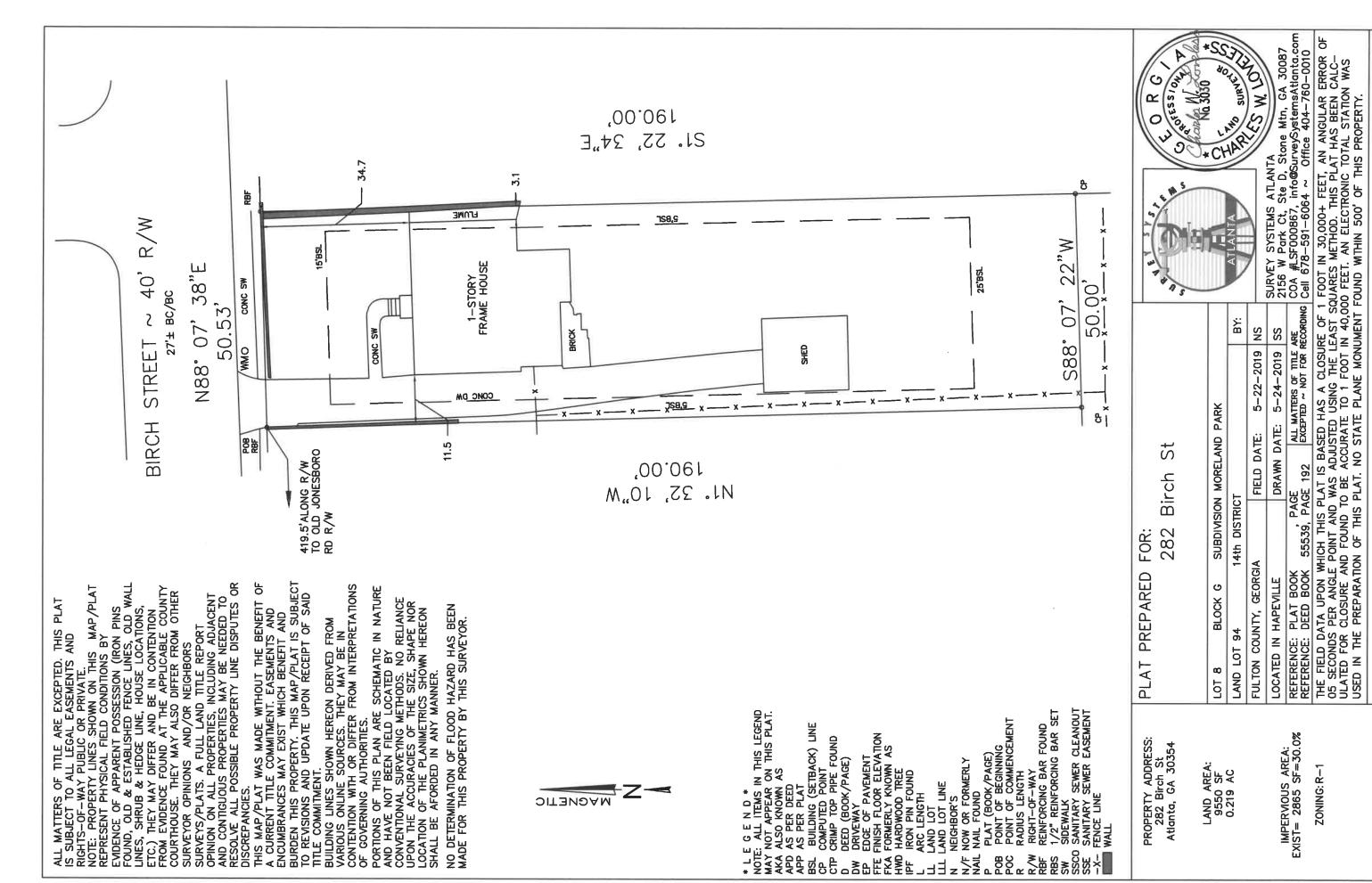




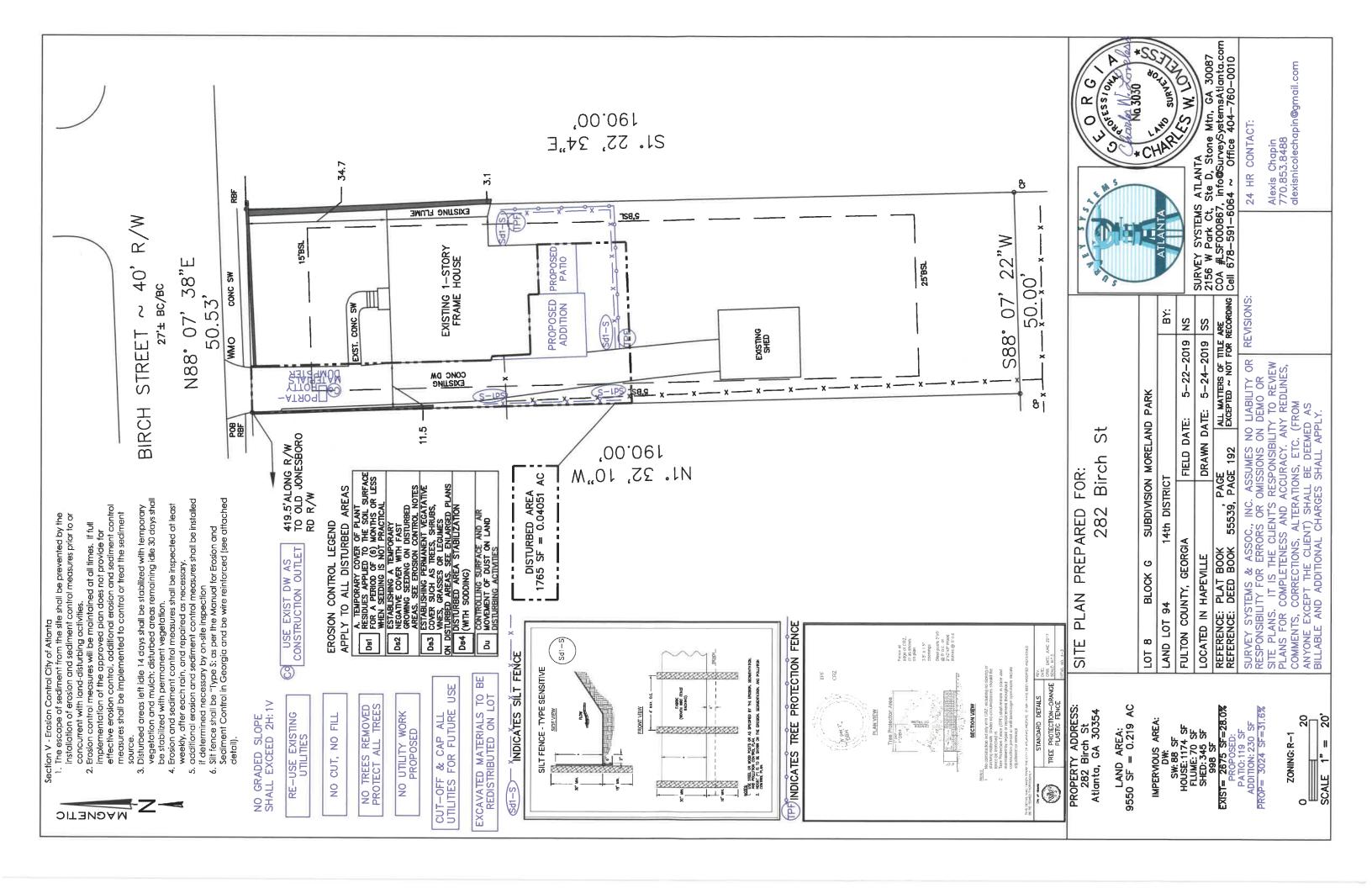








THIS SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180—7 OF THE RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15—6—67.



GENERAL NOTES:

- BUILDER TO VERIFY ALL PERTINENT INFORMATION REGARDING DIMENSIONS, CONSTRUCTIONS MAT'LS, METHODS, AND STRUCTURAL SIZING
- SIZE AND LOCATION OF RETAINING WALL(S) ARE TO BE DETERMINED BY CONTRACTOR ACCORDING TO SITE CONDITIONS
- NUMBER OF TREADS AND RISERS AT ALL EXTERIOR STAIRS TO BE DETERMINED BY CONTRACTOR ACCORDING TO SITE CONDITIONS
- ALL DIMENSIONS ARE TO STUD
- ALL ANGLED WALLS ARE TO BE 45. UNLESSED NOTED OTHERWISE



SMITH REMODEL

282 BIRCH ST. Atlanta, Ga. 30354

- International Building Code, 2012 Edition, with Georgia Amendments (2014/2015) International Residential Code, 2012 Edition, with Georgia Amendments (2014/2015)
- International Fire Code, 2012 Edition, with Georgia Amendments (2014)
- International Plumbing Code, 2012 Edition, with Georgia Amendments (2014)(2015)
- International Mechanical Code, 2012 Edition, with Georgia Amendments (2015)
- International Fuel Gas Code, 2012 Edition, with Georgia Amendments (2014)(2015)
- National Electrical Code, 2014 Edition, with no Georgia Amendments
- International Energy Code, 2009 Edition, with Georgia Supplements and Amendments (2011)(2012)
- 2012 NFPA 101 Life Safety Code with State Amendments (2013)

RELEASED FOR CONSTRUCTION

SCOPE OF WORK

- REMODEL EXISTING 1,22SQ.FT. STRUCTURE BY ADDING AN ADDITIONAL 390 SQ.FT. TO CREATE A THREE BEDROOM TWO BATH 179 COLONIAL DRIVE Woodstock, Ga. 30189 Phone: 678-445-2632 Fax: 678-445-0328 Cadd Woodstod Phone: 678 assistance Fax: 678-corporation

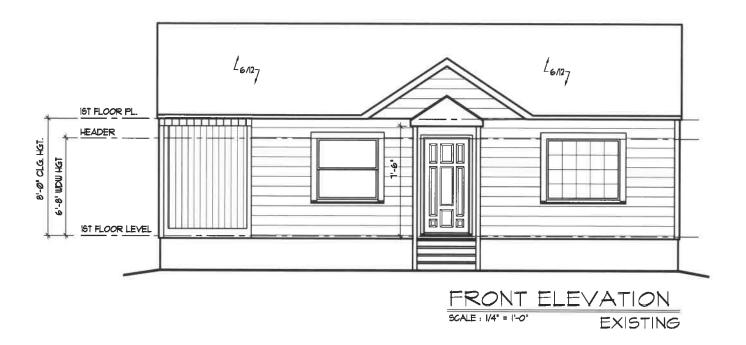
> ST REMODEL BIRCH

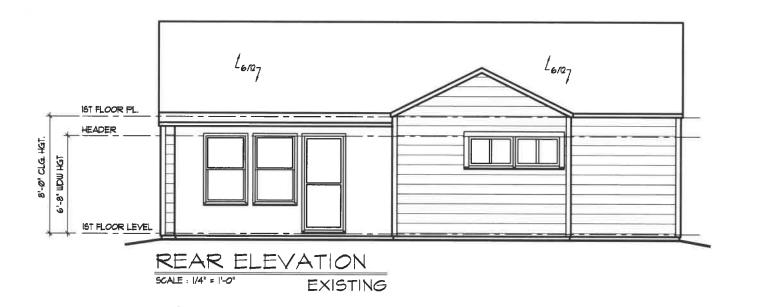
LLC C0. 770-853-8488 CLARK CONSTRUCTION KEVIN

| project no. | |
|-------------|------------|
| atreus by | |
| ahadiad by | |
| citte | <i>Ø</i> 5 |
| revised | |
| no. | date |
| ØØI | Ø5 |
| | |

A-0

| DRAWING | | IND | EX |
|---------|----------------------------------|------|----------------------------------|
| A-0 | COVER SHEET | A-7 | PROPOSED LEFT / RIGHT ELEVATIONS |
| A-1 | EXISTING FRONT / REAR ELEVATIONS | A-8 | PROPOSED ROOF PLAN |
| A-2 | EXISTING LEFT / RIGHT ELEVATIONS | A-9 | PROPOSED FOUNDATION PLAN |
| A-3 | EXISTING FLOOR PLAN | A-10 | PROPOSED FLOOR PLAN |
| A-4 | EXISTING ROOF PLAN | A-11 | PROPOSED FRAMING PLANS |
| A-5 | DEMO PLAN | A-12 | PROPOSED FRAMING PLANS |
| A-6 | PROPOSED FRONT / REAR ELEVATIONS | | |





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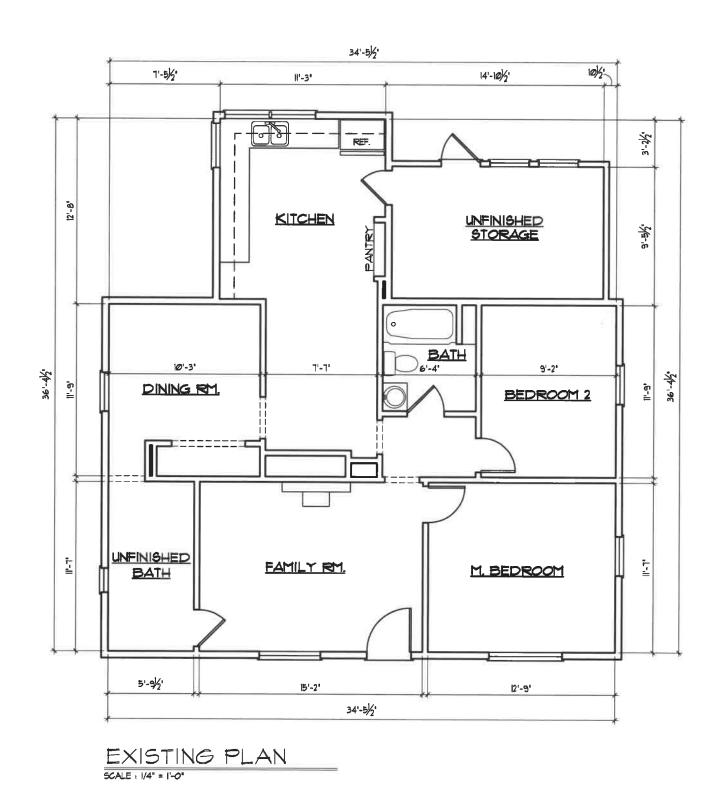
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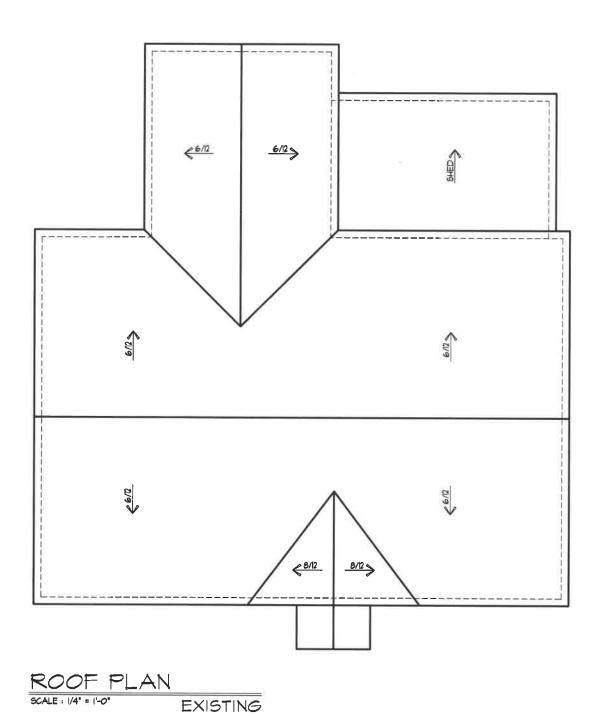
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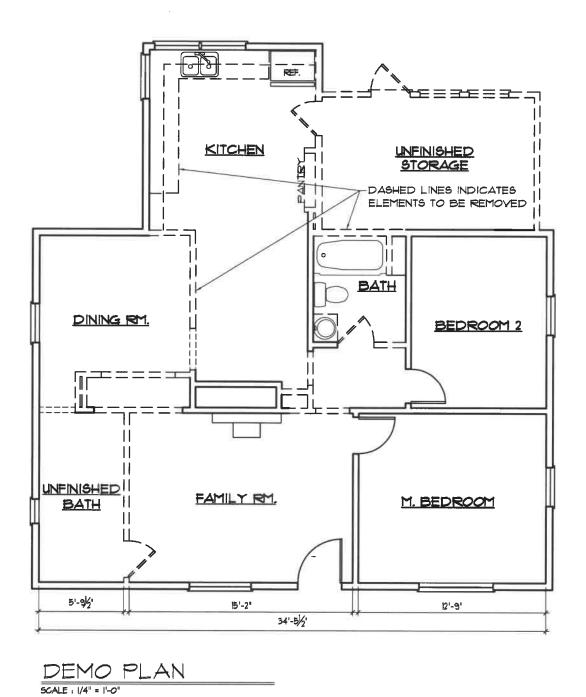
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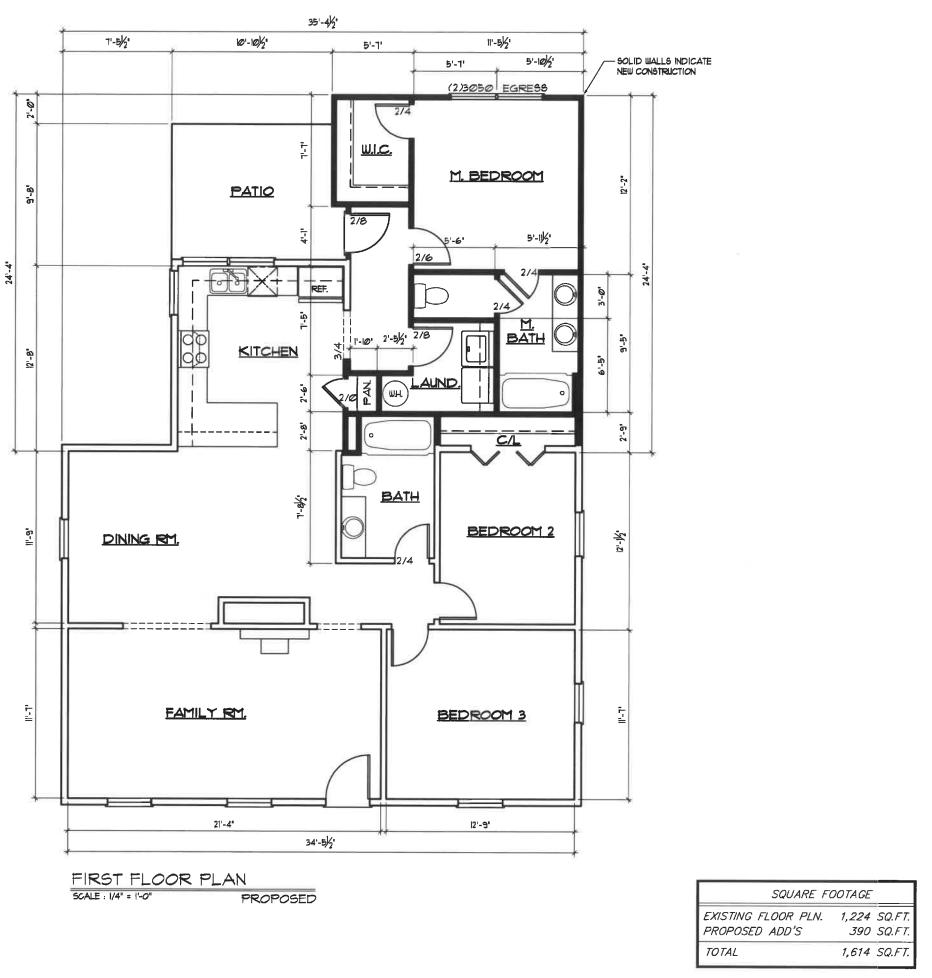
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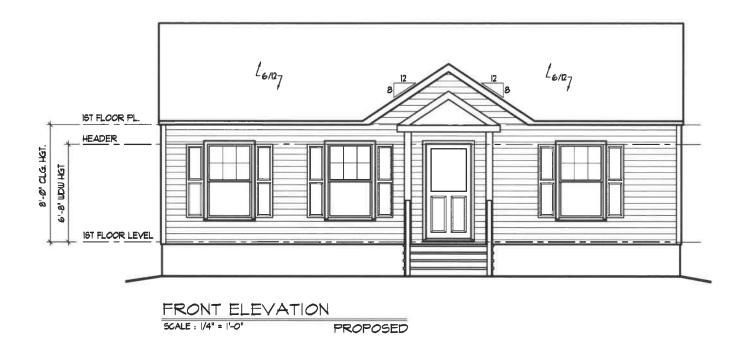
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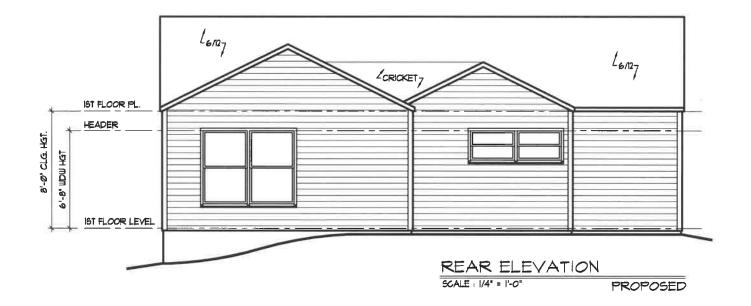
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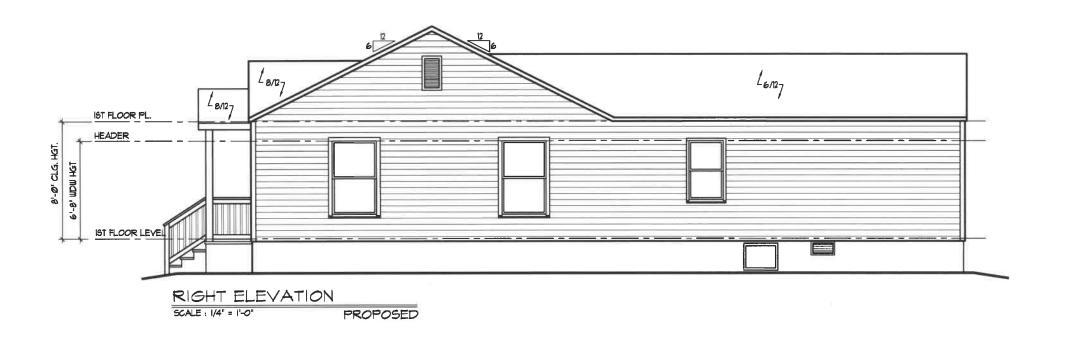
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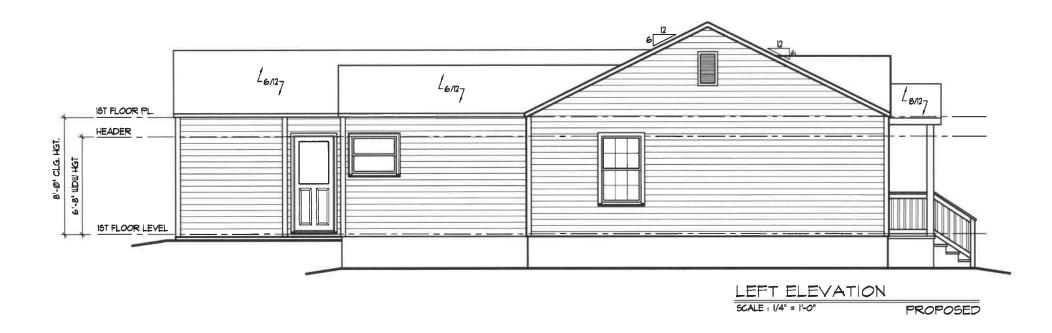
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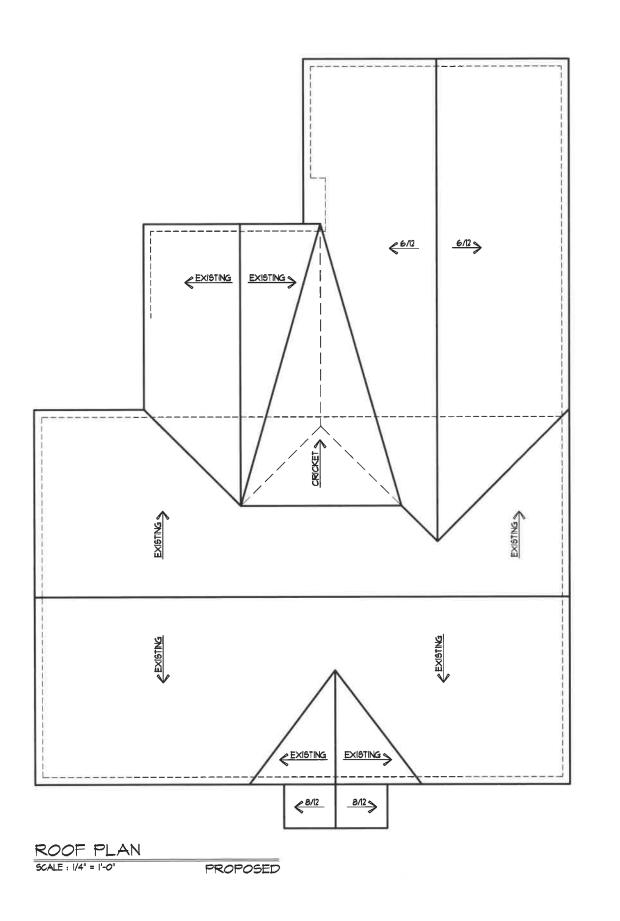
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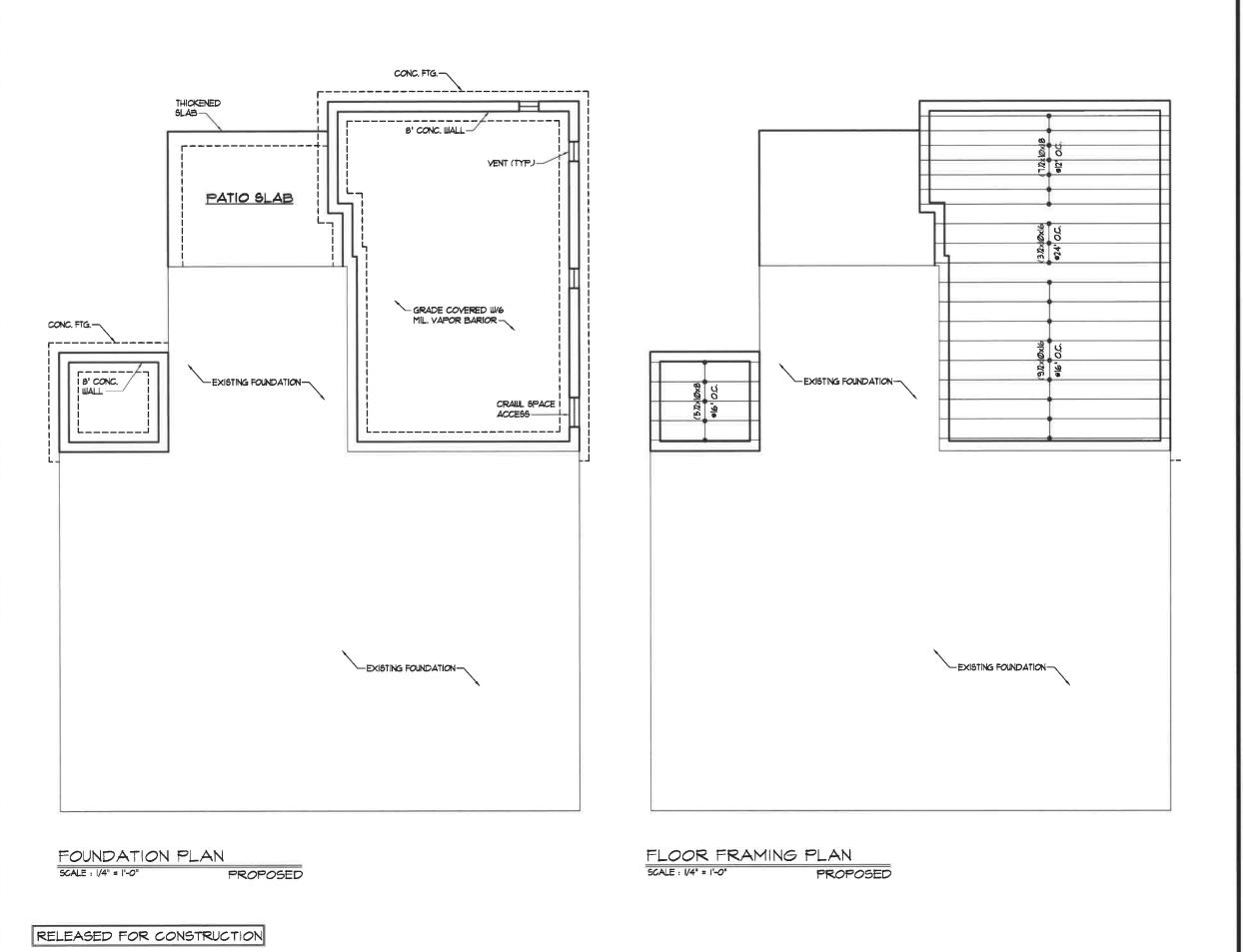
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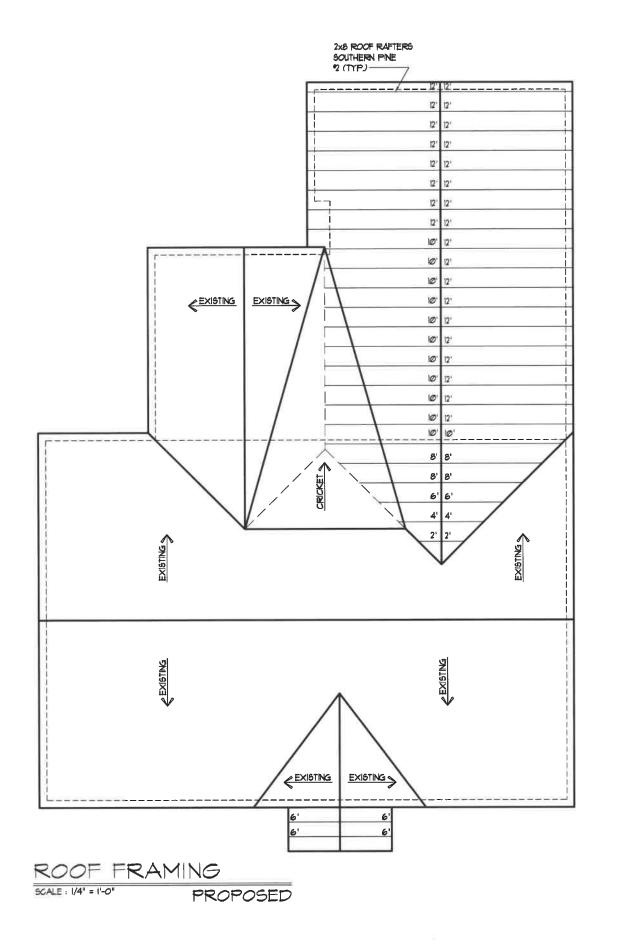
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