

## DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: July 12, 2019
TO: Tonya Hutson
FROM: Lynn Patterson

RE: Design Review – 3365 Northside Drive, Revised

#### **BACKGROUND**

Paula Smith submitted a Design Review application for the construction of a new single-family dwelling at 3365 Northside Drive for consideration at the June 19, 2019 meeting of the Design Review Commission. The Commission voted to table this application to allow Ms. Smith to address deficiencies in the plan described in the Planner's Report. Ms. Smith has submitted a revised plan for reconsideration by the Commission.

#### **REPORT**

This report assesses the revised plans based on compliance with each deficiency documented in the previous planner's report.

 The plans should include a new sidewalk on each enfronting street, with a minimum 1' landscape zone and 4' clear zone.

The revised site plan shows a sidewalk along Northside Drive, with no sidewalk shown along Old Jonesboro Road. The applicant states she wishes to build a partial sidewalk along Old Jonesboro Road. A partial sidewalk is not compliant.

- 2. A minimum of one tree is required every 50' in the supplemental area. The application should be revised to ensure at least one tree is located every 50' along both Northside Drive and Old Jonesboro Road frontages.
  - Existing and proposed trees will be sufficient to address placement requirements. Tree species will be reviewed by the City Arborist to address compliance with the City's Tree Ordinance.
- 3. The Applicant should clarify how the mechanical features on the west side of the dwelling will be screened.

The A/C unit has been moved to the south side of the house and now appears to be attached to the main building. The unit is included on the floor plans but not the elevations. Mechanical features are not allowed in the supplemental area. Additional information must be provided.

4. A light at the front door should be included in plans.

Compliant.

- 5. The driveway is 15' wide at the curb but expands towards the garage, which is not compliant.
  - The width of the proposed driveway has been expanded to 18', which is not compliant and would require a design exception.
- 6. The Applicant should ensure the roof shingles have a warranty of at least 30 years and indicate the warranty on the plans.

Compliant.

- 7. The Applicant should indicate the material of the gutters and downspouts and show downspouts on the plans. *Compliant*.
- 8. The Applicant should provide the material used for the porch columns. Porches must be made of painted or stained wood, stone, brick, or ornamental metal.

Compliant.

9. House is built on a slab foundation. A design exception is required for a porch built at grade.

#### A design exception is required.

10. The minimum clear depth between the front façade and the outside of the porch columns is 8'. The clear depth is 6' at its narrowest, which is not compliant.

Compliant.

11. Front porch widths must be between 80% and 100% of the adjacent façade. The porch is 70% of the façade, which is not compliant.

#### The porch is 71% of the adjacent façade, which is not compliant.

12. The Applicant should provide the spacing between porch columns, ensuring they are spaced no more than 8' on center.

Compliant.

13. The front door should be linked to the sidewalk/street via a pedestrian walkway.

Compliant.

14. Building numbers are required and should be shown on plans.

Compliant.

15. The Applicant should indicate the distance windowpanes are recessed from the adjacent façade, ensuring they are recessed at least 2".

#### Not provided.

16. The Applicant should ensure divided lights, if used, are not GBGs.

Not on plans but indicated by the Applicant on the cover sheet for revisions.

17. Window shutters must match one-half the width of the window opening.

Window shutters have been removed.

18. Windows must enfront for between 30% and 50% of the Old Jonesboro Road facing façade.

Windows/simulated windows have been added to plans but dimensions have not been provided. No windows have been provided for the garage door as requested by the DRC.

19. The Applicant should ensure the window trim is made of wood.

Compliant.

20. Windows grouped together must have center mullions two inches wider than the side trim.

No mullion dimensions have been provided. Only one set of grouped windows appears to have been spaced out.

21. Windowsills are required and must be made of masonry, wood, stone, cast stone, or terra cotta.

Per labels, 18"x18" brick bases have been added, although the elevations still do not show any windowsills.

22. House uses a slab foundation. A design exception is required to allow the first story to be at grade.

#### A design exception is required.

- 23. The Applicant should ensure windowsills are between 2.5' and 3.5' above finished floor elevation. *Compliant*.
- 24. The design of the house is closest to a ranch, but with craftsman-like elements such as the porch, higher gable pitch and perpendicular roof lines. As such, it does not conform to the established historical architectural standards.

Overall design requires approval of the Design Review Commission.

# CITY OF HAPEVILLE DESIGN REVIEW APPLICATION

SUBMITTAL DATE: May 13, 2019
NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.
The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.
Applicant: PAUA SMITH Contact Number:
Applicants Address: PO Box 5, Ellenwood GA 30294
E-Mail Address: R-O
Address of Proposed Work: O Northside Dr. Hapeville GA 30354
Parcel ID# (INFORMATION MUST BE PROVIDED): 14-0095-0010-022-9
Property Owner: PAULA SMITH Contact Number:
Project Description (including occupancy type): Construct craftsman-style ranch plan with Attached 2 car garage 3 bdrms & 2.5 baths. with Bonus expansion is Available.
Contractors Name: Creative Homes Contact Number:
Contact Person: Paul & Smith Contact Number:
hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. Further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and roluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.
Applicants Signature

Project Class (check one):	
ResidentialCommercialMixed-Use Development	
Project Type:	
New Commercial ConstructionAddition to Existing Commercial Buil	ding
Addition to Existing Residential StructureAccessory Structure	
Site Plan, Grading & LandscapingNew Single Family Residential Construction	ion
Other	
Total Square Footage of proposed New Construction: 2498 sq.Pt.	
Total Square Footage of existing building:	
Estimated Cost of Construction: #250K	
List/Describe Building Materials on the exterior of the existing structure: WA	
List/Describe Building Materials <u>proposed</u> for the exterior facade of the new structure:  AR shingles with a brick water table below window mixed with cement siding in boards a batter style Along with smooth lap pattern. Front purch with Columns, Home has bonus room expansion potential	S

### NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does <a href="MOT">MOT</a> make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



### **DEPARTMENT OF PLANNING AND ZONING**

#### DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

	e undersigned, agree that with my signature and submission to the City of Hapeville, I howing:	ave done the
	Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections proposed project. The Architectural Design Guidelines may be found here: s://library.municode.com/ga/hapeville/codes/code of ordinances?nodeId=PTIICOOR ()	
	Ensured that my proposed project meets all of the required criteria per the City of Hap of Ordinances.	eville Code
<u> </u>	_Submitted my application materials in full by the published deadline for review by Staf Design Review Committee meeting.	f prior to the
	Identified and explained all deficiencies or components of the proposed project that do with the requirements set forth in the Code. This explanation should be submitted as document in the application.	
<b>√</b>	Understood that any deficiencies in the application must be resolved at least 10 days processing Design Review Committee meeting or the application may not be presented to the DR	
	_ Submitted architectural drawings and details for all projects unless allowed in writing becommunity Services or Planning & Zoning Department.	by the
_	Agreed to submit any required revisions by the Design Review Committee with update to the Community Services Department for review prior to requesting any permits.	d drawings
T	PANIA Smith Paula Smith 5-1	13-19
Printe	ted Name Signature	Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

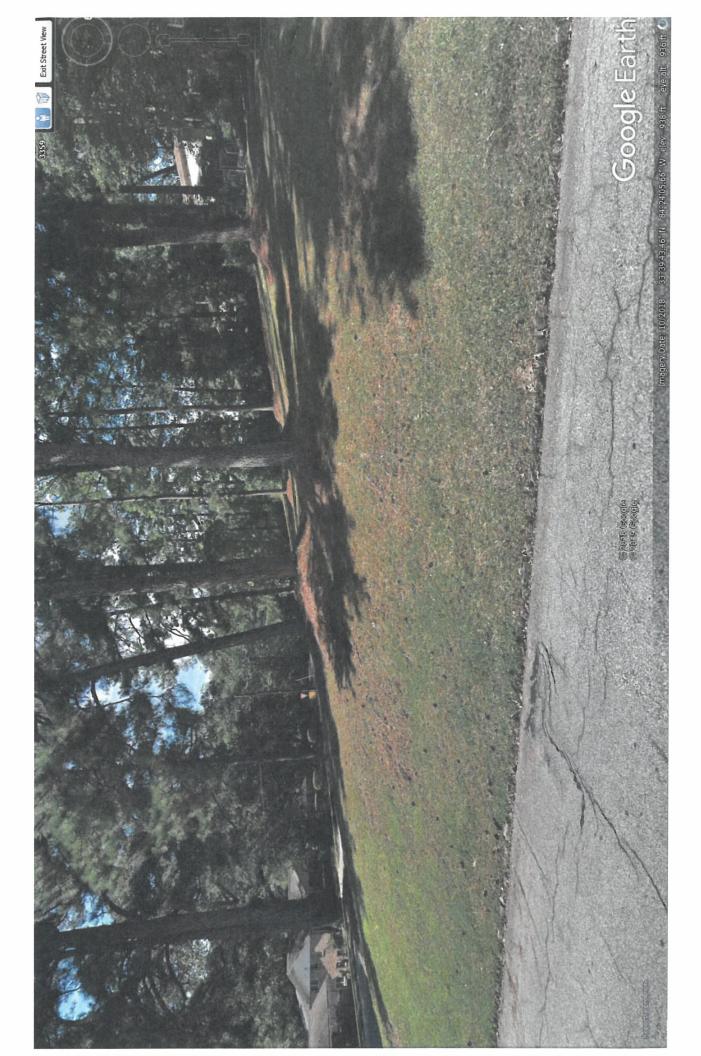
#### Exhibit "A" Legal description 0 Northside Drive, Hapeville, Georgia

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 95 OF THE 14th DISTRICT OF FULTON COUNTY, GEORGIA, AND BEING LOT 16, BLOCK A OF UNIT A SUBDIVISION OF THE PROPERTY OF JOANN SIMPSON HOLMES, FORMERLY PROPERTY OF S. R. YOUNG AND GEORGE LONGINO ACCORDING TO PLAT RECORDED IN PLAT BOOK 32, PAGE 25, FULTON COUNTY RECORDS AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT AT THE INTERSECTION OF THE WEST SIDE OF NORTHSIDE DRIVE (FORMERLY BORING STREET) AND THE NORTHEAST SIDE OF OLD JONESBORO ROAD (IF THE LINES WERE EXTENDED RATHER THAN FORMING A CURVE) THENCE RUNNING 175.9 FEET NORTHWESTERLY ALONG THE NORTHEAST SIDE OF OLD JONESBORO ROAD TO LOT 17; THENCE NORTHEASTERLY 105 FEET TO A POINT; THENCE EASTERLY 120 FEET ALONG THE SOUTH SIDE OF LOT 15 TO THE WEST SIDE OF NORTHSIDE DRIVE, THENCE SOUTHERLY 132.3 FEET ALONG THE WEST SIDE OF NORTHSIDE DRIVE TO THE POINT OF BEGINNING. SAID LOT IS UNIMPROVED.

#### PARCEL 14-0095-0010-022-9

Subject to easements, covenants, restrictions, agreements, right of way deeds, agreements, matters of plat, governmental ordinances and other lawful matters affecting said property



**DATE:** July 9, 2019

TO: Tonya Hutson

FROM: Paula Smith

RE: 3365 Northside Dr.

#### **Response to Design Review Recommendations:**

The plans should include a new sidewalk on each enfronting street, with a minimum 1' landscape zone and 4' clear zone. **A-7.0** 

#### **Partial Design Exception Requested:**

Install a full sidewalk on Northside Dr with a partial sidewalk on the right side of the driveway of Old Jonesboro Rd - stopping on the left side of the driveway before the curvature.

A minimum of one tree is required every 50' in the supplemental area. The application should be revised to ensure at least one tree is located every 50' along both Northside Drive and Old Jonesboro Road frontages. **A-7.0** 

The Applicant should clarify how the mechanical features on the west side of the dwelling will be screened. **A-4.0** 

A light at the front door should be included in plans. **A-1.0** 

The driveway is 15' wide at the curb but expands towards the garage, which is not compliant. A-7.0 Design Exception Requested (Driveway width increased to 18' to allow some off-street parking)

The Applicant should ensure the roof shingles have a warranty of at least 30 years and indicate the warranty on the plans. **A-1.0 & A-2.0** 

The Applicant should indicate the material of the gutters and downspouts and show downspouts on the plans A-1.0 & A-2.0

The Applicant should provide the material used for the porch columns. Porches must be made of painted or stained wood, stone, brick, or ornamental metal. **A-4.0** 

House is built on a slab foundation. A design exception is required for a porch built at grade. A-3.0 & A-4.0 Design Exception Requested (Per our discussion at the initial design meeting

the board verbally agreed)

The minimum clear depth between the front façade and the outside of the porch columns is 8'.

The clear depth is 6' at its narrowest, which is not compliant. A-3.0 & A-4.0

Front porch widths must be between 80% and 100% of the adjacent façade. The porch is 70% of the façade, which is not compliant. **A-3.0 & A-4.0** (Changes made as discussed & agreed at the initial design meeting)

The Applicant should provide the spacing between porch columns, ensuring they are spaced no more than 8' on center. **A-4.0** 

The front door should be linked to the sidewalk/street via a pedestrian walkway. A-7.0

Building numbers are required and should be shown on plans. **A-1.0** 

The Applicant should indicate the distance windowpanes are recessed from the adjacent façade, ensuring they are recessed at least 2". **A-1.0** 

The Applicant should ensure divided lights, if used, are not GBGs. **Divided Lights Will Not Be GBG.** 

Window shutters must match one-half the width of the window opening. Shutters Removed.

Windows must enfront for between 30% and 50% of the Old Jonesboro Road facing façade. **A-1.0** (Changes made as discussed & agreed at the initial design meeting)

The Applicant should ensure the window trim is made of wood. **A-1.0** 

Windows grouped together must have center mullions two inches wider than the side trim. **A-1.0** 

Windowsills are required and must be made of masonry, wood, stone, cast stone, or terra cotta. A-1.0

House uses a slab foundation. A design exception is required to allow the first story to be at grade. A-3.0 & A-4.0 Design Exception Requested (Per discussion at the initial design meeting the board verbally agreed)

The Applicant should ensure windowsills are between 2.5' and 3.5' above finished floor elevation. **A-1.0** 

The design of the house is closest to a ranch, but with craftsman-like elements such as the porch, higher gable pitch and perpendicular roof lines. As such, it does not conform to the established historical architectural standards.

GC TO PRESERVE AND PROTECT ANY USEABLE EX. UTILITIES

C	SPECIES	RATE/ACRE	PLANTING DATES	FERTILIZER			
	SPECIES	RATE/ACRE			RATE/ACRE		
	PESPEDEZA UNSCARIFIED	75 LBS.	1/1 - 12/1	6-12-12	1500 LB5.		
	LOVEGRASS	4 LB5.	3/1 - 6/1	6-12-12	1500 LB5.		
	TALL FESCUE GRASS	50 LB5.	8/1 - 10/1	6-12-12	1500 LB5.		
	COMMON BERMUDA GRASS (UNHULLED)	40 LB5.	11/1 - 4/1	6-12-12	1500 LB5.		
	COMMON BERMUDA GRASS (HULLED)	20 LB5.	5/1 - 7/1	6-12-12	1500 LB5.		
	PERENIAL RYE GRASS (FOR TEMPORARY USE ONLY)	100 LB5.	10/1 - 1/15 3/1 - 5/30	10-10-10	1500 LB5.		
	RYE GRASS (FOR TEMPORARY USE ONLY)	168 LB5.	8/1 - 12/1	10-10-10	1500 LB5.		
	SUDANGRASS (FOR TEMPORARY USE ONLY)	60 LB5.	4/1 - 8/1	10-10-10	1500 LBS.		

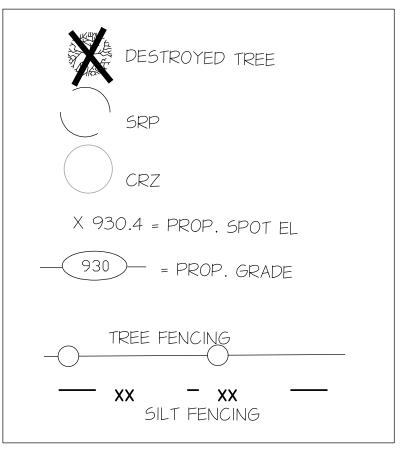
APPROX. STARTING DATE: 8-21-19 APPROX. COMPLETION DATE: 1-21-20

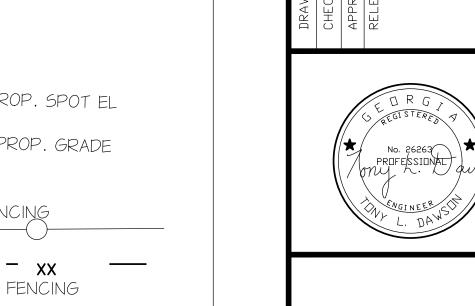
ITEM	DESCRIPTION	MONTHS OF ACTIVITY						
		1	2	3	4	5		
1	SILT BARRIER INSTALLATION							
2	CLEARING AND GRUBBING							
3	RETAINING WALL							
4	GRADING							
5								
6	UTILITIES							
7	TEMPORARY GRASSING							
8	BUILDING							
9	CURB AND GUTTERS							
10	SIDEWALKS							
11	BASE AND PAVING							
12	FINAL GRASSING & REMOVAL OF TEMPORARY STRUCTURES							
13	MAINTENANCE OF EROSION CONTROL STRUCTURES							

SITE PLAN INFORMATION PROVIDED FOR PERMITTING PROCESS ONLY, NO OTHER INTENDED USE "NO WATERS OF THE STATE WITHIN 200 FEET OF PROJECT SITE." "NO INERT OR BURY PITS ON SITE" TREES TO BE DESTROYED OR REMOVED. TREE PROTECTION FENCE

LOT# 15 PB.32, PG.25 LOT# 17 PB.32, PG.25 BRICK DVER P/L LOT 16, BLOCK A I-STORY 2,498 SF 26'HT W/CRAWL FFE 940.5 NORTHSIDE I OLD JONESBORO RD.
50FT, R/W

LOCATION MAP (N.T.S.)





N.S.A. R-2 (1.5-3.5")\_ COARSE AGGREGATE GEOTEXTILE UNDERLINER —

NOT TO SCALE

0.22 ACRES DISTURBED

SITE INFO 0.41 ACRES, 17,859 SF ZONED R

MAX. 70% LOT COVERAGE = 12,501 SF

TOTAL HOUSE SF = 2,498 SF FAR= 2498/17859 = 0.14 < 0.5

PROP. HOUSE SF = 2,498 SF PROP. GARAGE SF = 500 SF PROP. PORCH SF = 212 SF PROP. DRIVE SF = 780 SF

TOTAL IMPERV. SF. = 3,990 SF 22% LOT COVERAGE = 3990/17859 SF

24HR CONTACT/DEVELOPER OWNER PAULA SMITH POST BOX 5 ELLENWOOD, GA 30294

"THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTRUBING ACTIVITIES".

"EROSION AND SEDIMENT CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE".

"EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY."

"DISTURBED AREAS LEFT IDLE SHALL BE STABILIZED WITH TEMPORARY VEGETATION AFTER 14 DAYS: AFTER 30 DAYS, PERMANENT VEGETATION SHALL BE ESTABLISHED".

"SILT FENCE SHALL BE TYPE C AS PER THE MANUAL FOR SEDIMENT & EROSION CONTROL IN GEORGIA, AND BE WIRE REINFORCED".

"ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION."

> GC TO VERIFY ALL ELEVATIONS IN FIELD.

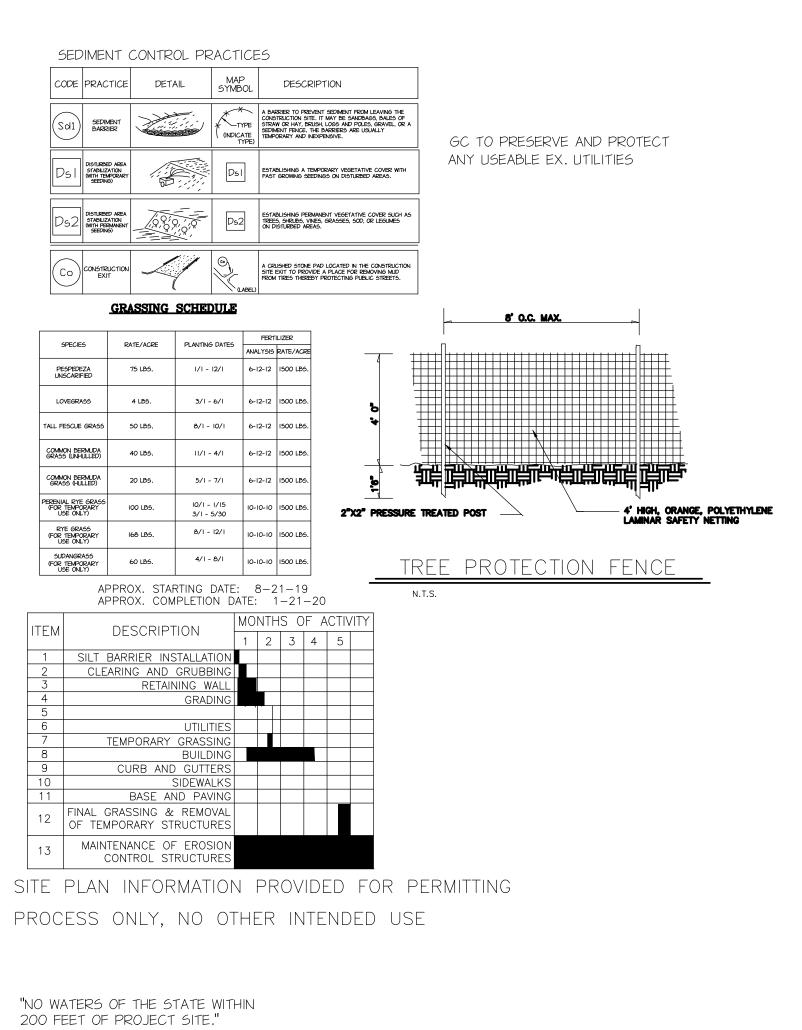
"NO WATERS OF THE STATE WITHIN TONY DAWSON 200 FEET OF PROJECT SITE."

LEVEL II CERTIFIED DESIGN PROFESSIONAL CERTIFICATION NUMBER 0000039605 "NO INERT OR BURY PITS ON SITE" | ISSUED: 3/9/2007 | EXPIRES: 3/9/2022

20 10 0 SCALE IN FEET

404-427-8558

**EROSION** 



"NO INERT OR BURY PITS ON SITE" TREES TO BE DESTROYED OR REMOVED.

"THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTRUBING ACTIVITIES".

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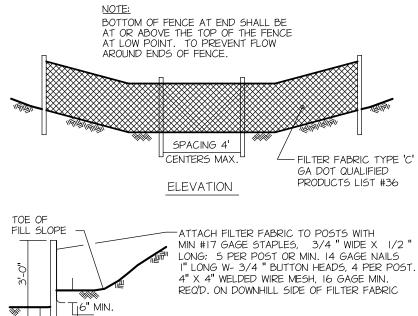
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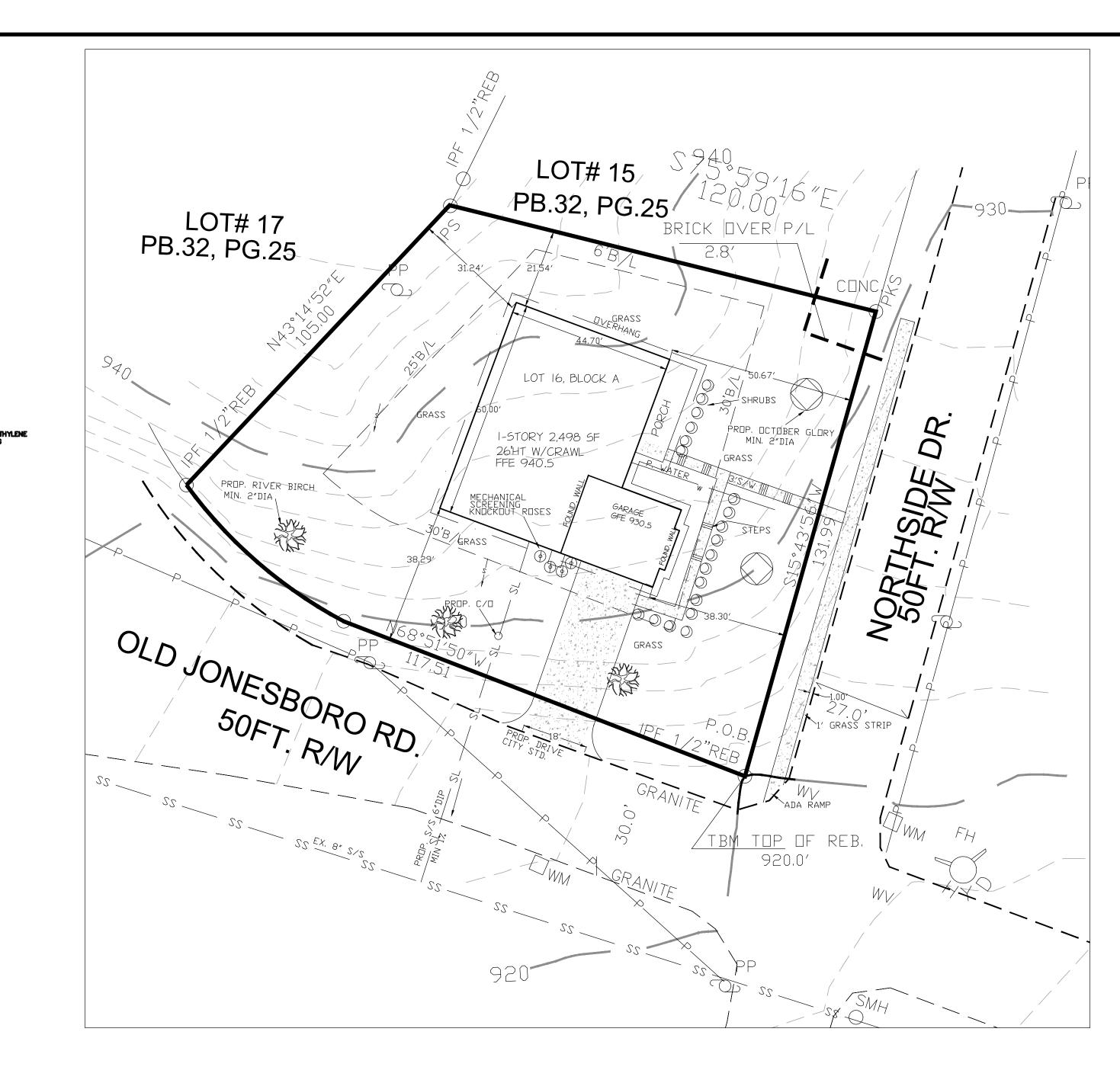


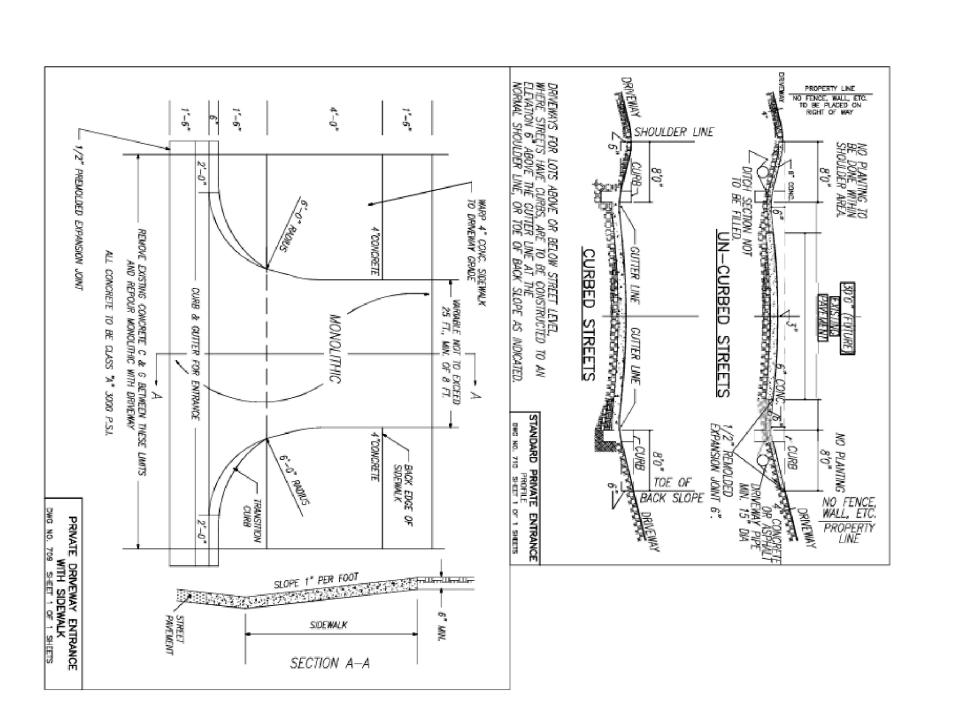
C-SHAPED WITH MIN. WEIGHT 1.3 LB/FT. & PROJECTIONS FOR FASTENING THE WIRE

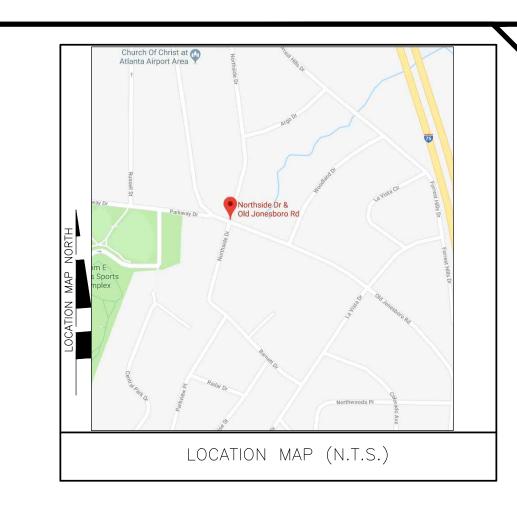
<u>SECTION</u>

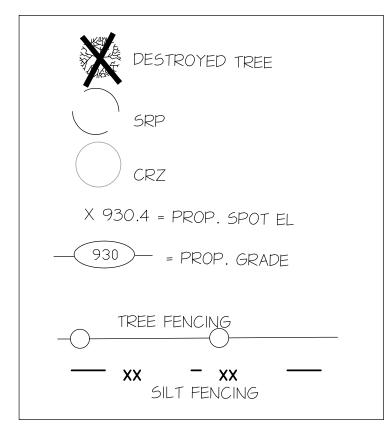
NOTE: SILT FENCE TO MEET REQUIREMENTS OF SECTION 171, GEORGIA D.O.T. SPECS., LATEST EDITION

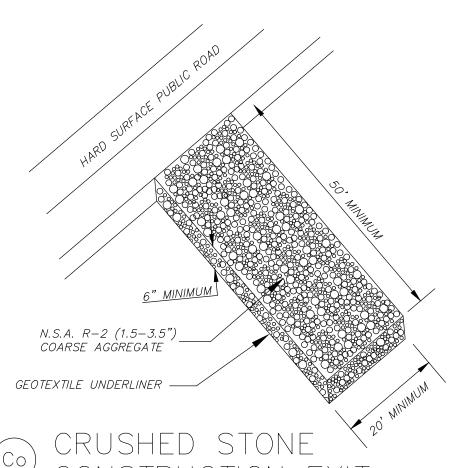












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20 10 0

SCALE IN FEET

TOTAL IMPERV. SF. = 3,990 SF 22% LOT COVERAGE = 3990/17859 SF

24HR CONTACT/DEVELOPER OWNER PAULA SMITH POST BOX 5 ELLENWOOD, GA 30294 404-427-8558

SITE PLAN

PROVIDE SUPPORT FOR PORCH AND STEPS TO GRADE AS REQ'D.

NOTE: WHEN TWO ROOFS INTERSECT WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALLS AS REQ'D. TO LINE UP FASCIAS AT A MINIMUM OF 1'-O" OVERHANG

NOTE: ELEVATIONS REFLECT A SLAB FOUNDATION. IF ANOTHER FOUNDATION IS USED, BUILDER SHOULD DISREGARD FOUNDATION SHOWN

NOTE: RAFTERS ARE PITCHED FROM TOP OF CEILING JOISTS

NOTE: ATTIC VENTILATION PER LOCAL CODES AND REQUIREMENTS

### GENERAL FRAMING NOTES

THE FOLLOWING NOTES ARE SUGGESTED MINIMUM REQUIREMENTS ONLY.
DUE TO A VARIANCE OF CODES PER REGION, PLEASE REFER AND COMPLY WITH ALL YOUR LOCAL CODES. CONSULT WITH LOCAL ENGINEERS FOR ALL STRUCTURAL REQUIREMENTS.

- PROVIDE PURLINS AT MID HEIGHT OF ALL WALLS.

  2. ALL JOISTS AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW.

  3. ALL HEADLESS SHALL BE 2-2×10's WITH 1/2" PLYWOOD FLITCH
- PLATE UNLESS OTHERWISE NOTED.

  4. FRAMER TO INSTALL DOUBLE FLOOR JOISTS UNDER PARTITION WALL PARALLEL TO JOIST DIRECTION.

  5. PROVIDE 1x4 CROSS BRIDGING AT MID POINT OF SPAN OR 8'-0"
- PROVIDE IX4 CROSS BRIDGING AT MID POINT OF SPAN OR 8'-O"
   O.C. MAXIMUM IN ALL FLOORS.
   ALL EXTERIOR CORNERS (INSIDE AND OUTSIDE CORNERS) SHALL BE
   BRACED WITH I/2" CDX PLYWOOD, NAILING SCHEDULE SHALL BE 8d
   COMMONS AT 6" O.C. AT ALL EDGES AND 8d COMMONS AT 12" O.C.
   AT ALL INTERMEDIATE STUDS. (OPTION APPROVED DIAGONAL
   CORNER BRACES BOTH DIRECTIONS AT ALL CORNERS).
   ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL
   LEVELS AND TERMINATE AT THE BASEMENT FLOOR AND BE SUPPORTED
   BY A THICKENED SLAB, GRADE BEAM, OR FOOTING DESIGNED TO CARRY
   LOAD
- 8. PROVIDE DOUBLE 2x8 STRONGBACK AT MID SPAN FOR CEILING JOISTS WITH SPAN GREATER THAN 10'-0".
- 9. PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOISTS AT 4'-O" O.C. MAXIMUM.

  10. HIP, VALLEY RAFTERS, AND RIDGE BOARDS SHALL BE ONE "2x" SIZE
- IO. HIP, VALLET RAFTERS, AND RIDGE BOARDS SHALL DE ONE 2X SIZE
  LARGER THAN RAFTERS.

  II. ROOF DECKING SHALL BE 1/2" CDX PLYWOOD MINIMUM.

  I2. WHERE PRE ENGINEERED FLOOR AND ROOF TRUSSES ARE USED, TRUSS
  MANUFACTURER MUST PROVIDE SHOP DRAWINGS WHICH BEAR SEAL OF
  REGISTERED ENGINEER IN STATE IN WHICH WORK IS TO BE PERFORMED.
- 13. ALL CEILING JOISTS AND RAFTER BRACING TO BEAR ON LOAD BEARING WALLS DESIGNED TO CARRY LOAD THRU ALL LEVELS AND TERMINATE AT BASEMENT FLOOR AND BE SUPPORTED BY THICKENED SLAB GRADE BEAM OR FOOTING DESIGNED TO CARRY LOAD.
- 14. ALL BASEMENT WALLS, BEAMS, AND COLUMNS TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.

  15. ALL SOLID FRAMING, COLUMNS, BEAMS, ETC., TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.
- 14. ALL FRAMED WALL DIMENSIONS ARE BASED ON 2  $\times$  4 STUDS UNLESS OTHERWISE NOTED.

### GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, REGULATIONS, AND FHA/VA MPS.
   CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINING CONSTRUCTION, ANY DISCREPANCIES SHALL BE REPORTED TO SPENCER RESIDENTIAL, INC. FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK, CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
   ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
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  4. ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODE) AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE BUILDING.

  CONSULT LOCAL ENGINEER FOR PROPER FOOTING AND REINFORCING SIZES.

  5. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
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- 6. IF BACKFILL EXCEEDS 4' AGAINST ANY FOUNDATION WALL, REINFORCE AS PER CODE.

  1. ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURING DUE TO A WIDE VARIANCE IN LOCAL CODES, SOIL BEARING CONDITIONS, FROST LINE DEPTH, GEOLOGICAL AND WEATHER CONDITIONS,
- ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.

  8. ALL WOOD, CONCRETE, AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.

ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING

9. ALL COLUMNS OR SOLID FRAMING SHOULD BE DESIGNED TO CARRY LOADS AND SHOULD EXTEND DOWN THRU THE LEVELS BELOW AND TERMINATE AT THE BASEMENT FLOOR OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.



PROVIDE SUPPORT FOR PORCH AND STEPS TO GRADE AS REQ'D.

NOTE: WHEN TWO ROOFS INTERSECT WITH DIFFERENT ROOF PITCHES, BLOCK TOP OF STUD WALLS AS REQ'D. TO LINE UP FASCIAS AT A MINIMUM OF 1'-O" OVERHANG

NOTE: ELEVATIONS REFLECT A SLAB FOUNDATION. IF ANOTHER FOUNDATION IS USED, BUILDER SHOULD DISREGARD FOUNDATION SHOWN

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- PROVIDE PURLINS AT MID HEIGHT OF ALL WALLS.

  ALL JOISTS AND RAFTERS SHALL BE ALIGNED OVER STUDS BELOW.

  ALL HEADERS SHALL BE 2-2×10's WITH 1/2" PLYWOOD FLITCH
- PLATE UNLESS OTHERWISE NOTED.

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  6. ALL EXTERIOR CORNERS (INSIDE AND OUTSIDE CORNERS) SHALL BE
  BRACED WITH I/2" CDX PLYWOOD. NAILING SCHEDULE SHALL BE 8d
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  7. ALL COLUMNS OR SOLID FRAMING SHALL EXTEND DOWN THRU ALL
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- 8. PROVIDE DOUBLE 2x8 STRONGBACK AT MID SPAN FOR CEILING JOISTS
- WITH SPAN GREATER THAN 10'-O".

  9. PROVIDE COLLAR TIES AT UPPER 1/3 OF VERTICAL DISTANCE BETWEEN RIDGE BOARD AND CEILING JOISTS AT 4'-O" O.C. MAXIMUM.

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- 14. ALL BASEMENT WALLS, BEAMS, AND COLUMNS TO BE DESIGNED BY LOCAL STRUCTURAL ENGINEER AND MEET ALL LOCAL CODES.

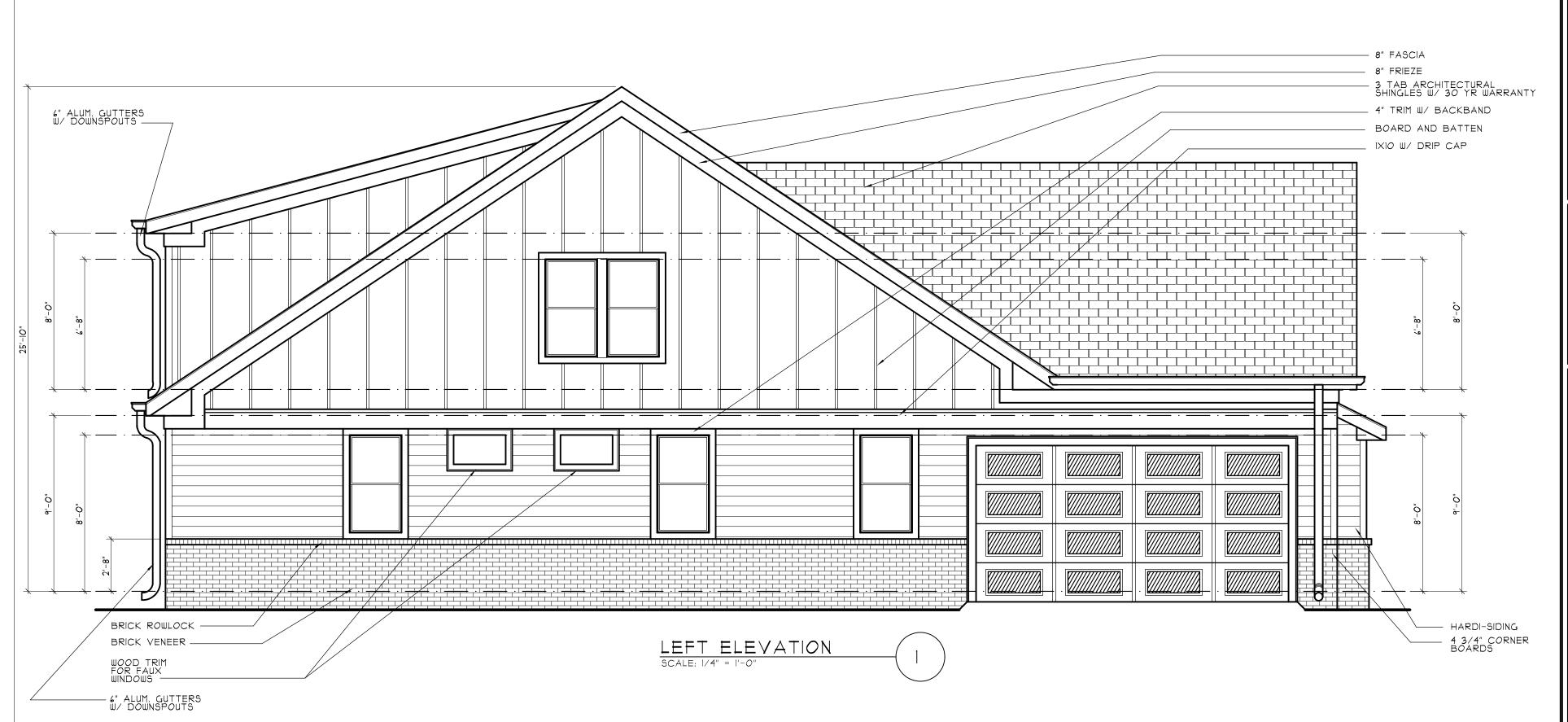
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- 16. ALL FRAMED WALL DIMENSIONS ARE BASED ON 2  $\times$  4 STUDS UNLESS OTHERWISE NOTED.

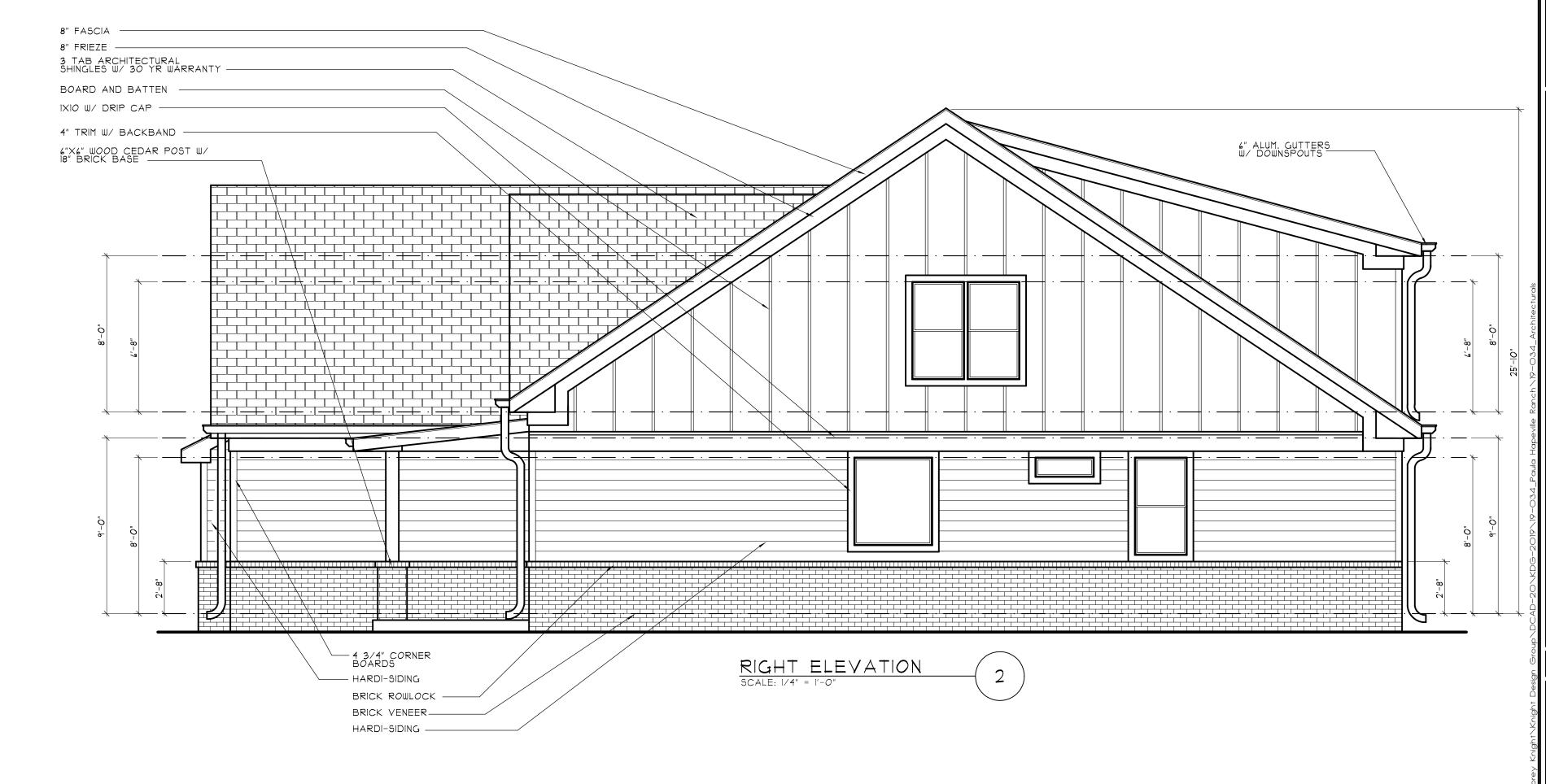
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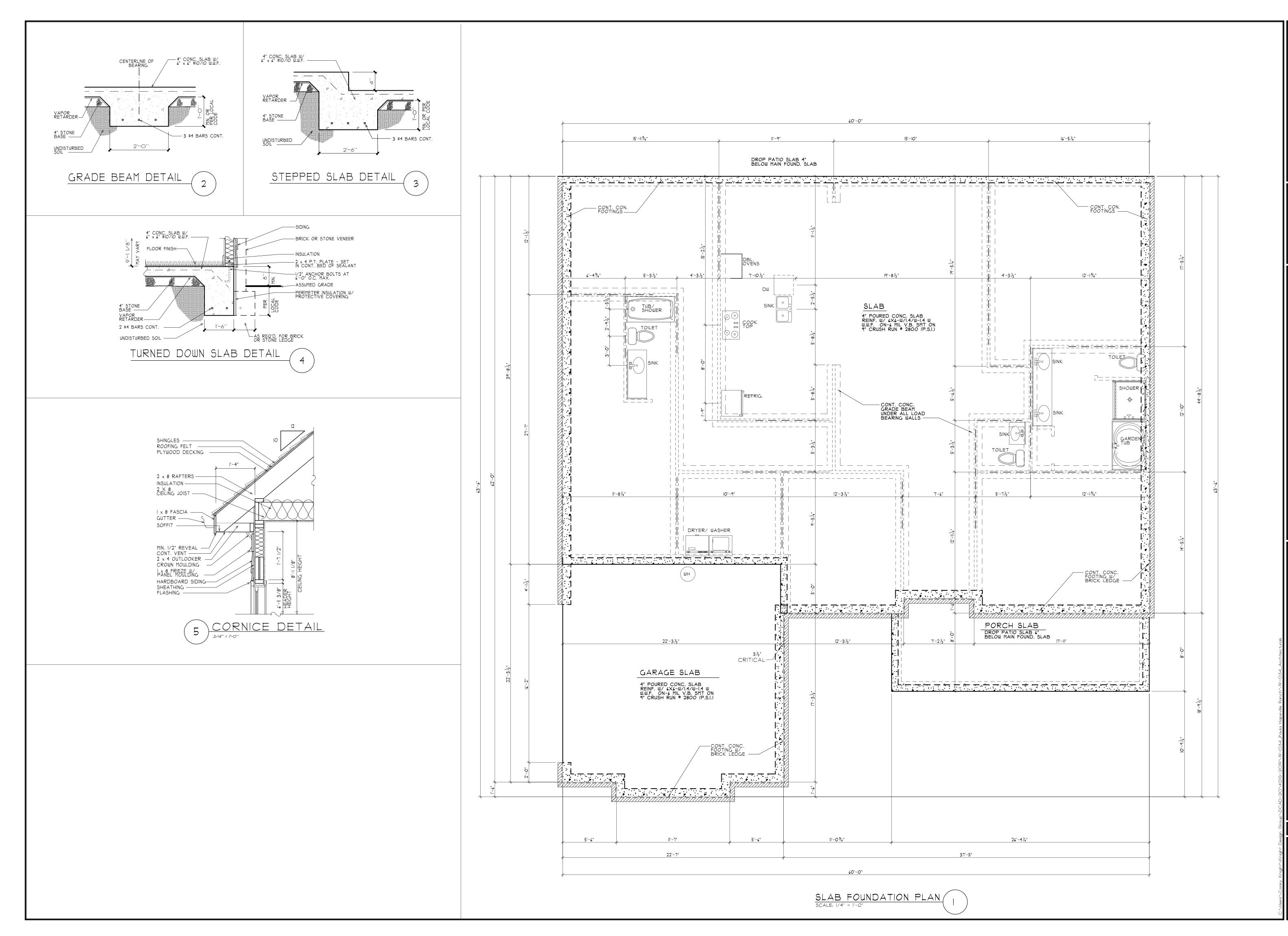
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DATE OF THIS PLOT

uesday, July 9, 2019

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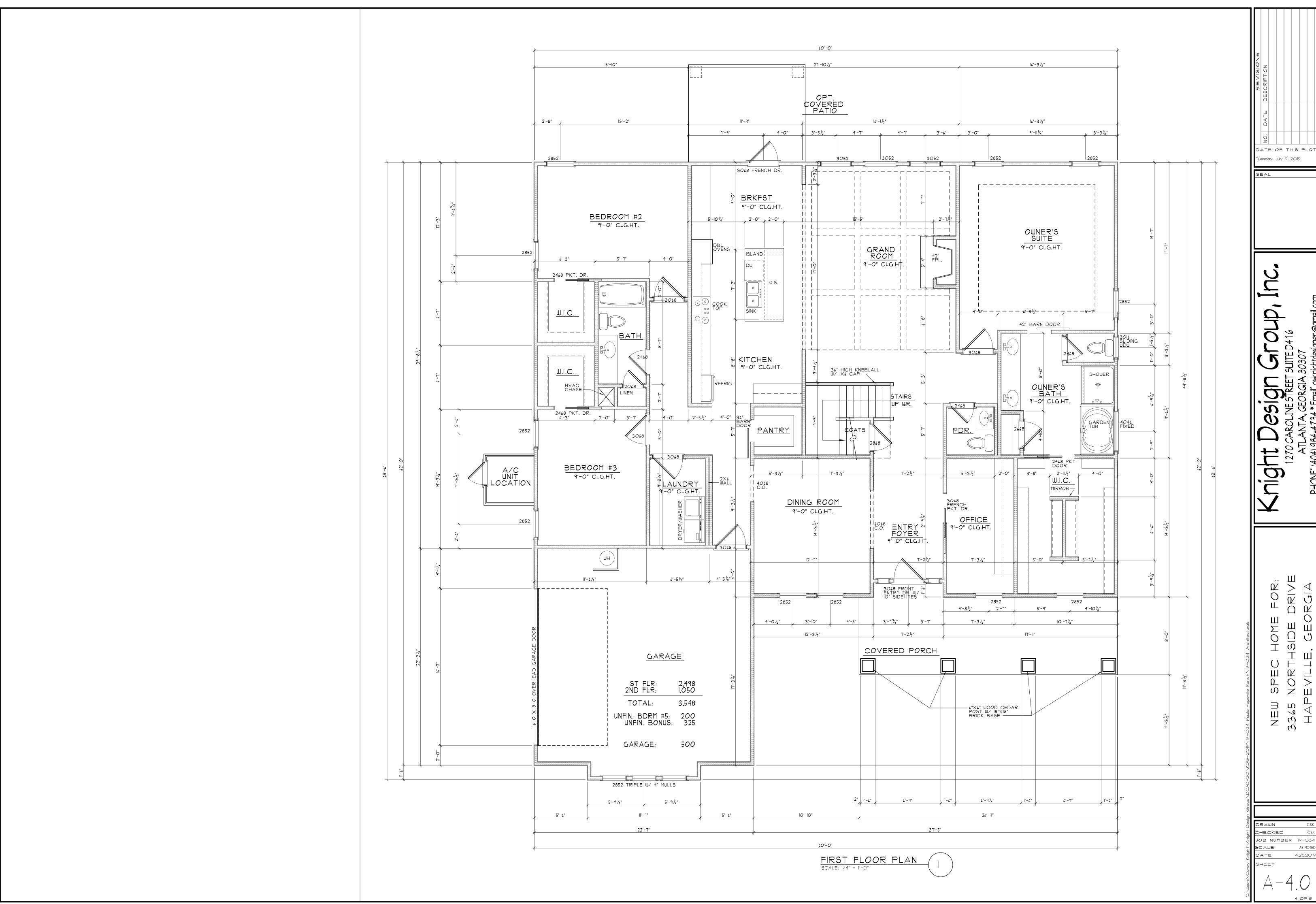
Knight Design Group, Inc.

DATE OF THIS PLOT Tuesday, July 9, 2019

NEW SPEC HOME FOR: 3365 NORTHSIDE DRIVE HAPEVILLE, GEORGIA

DRAWN C.SK.
CHECKED C.SK.
JOB NUMBER 19-034
SCALE AS NOTED
DATE 4.25.2019
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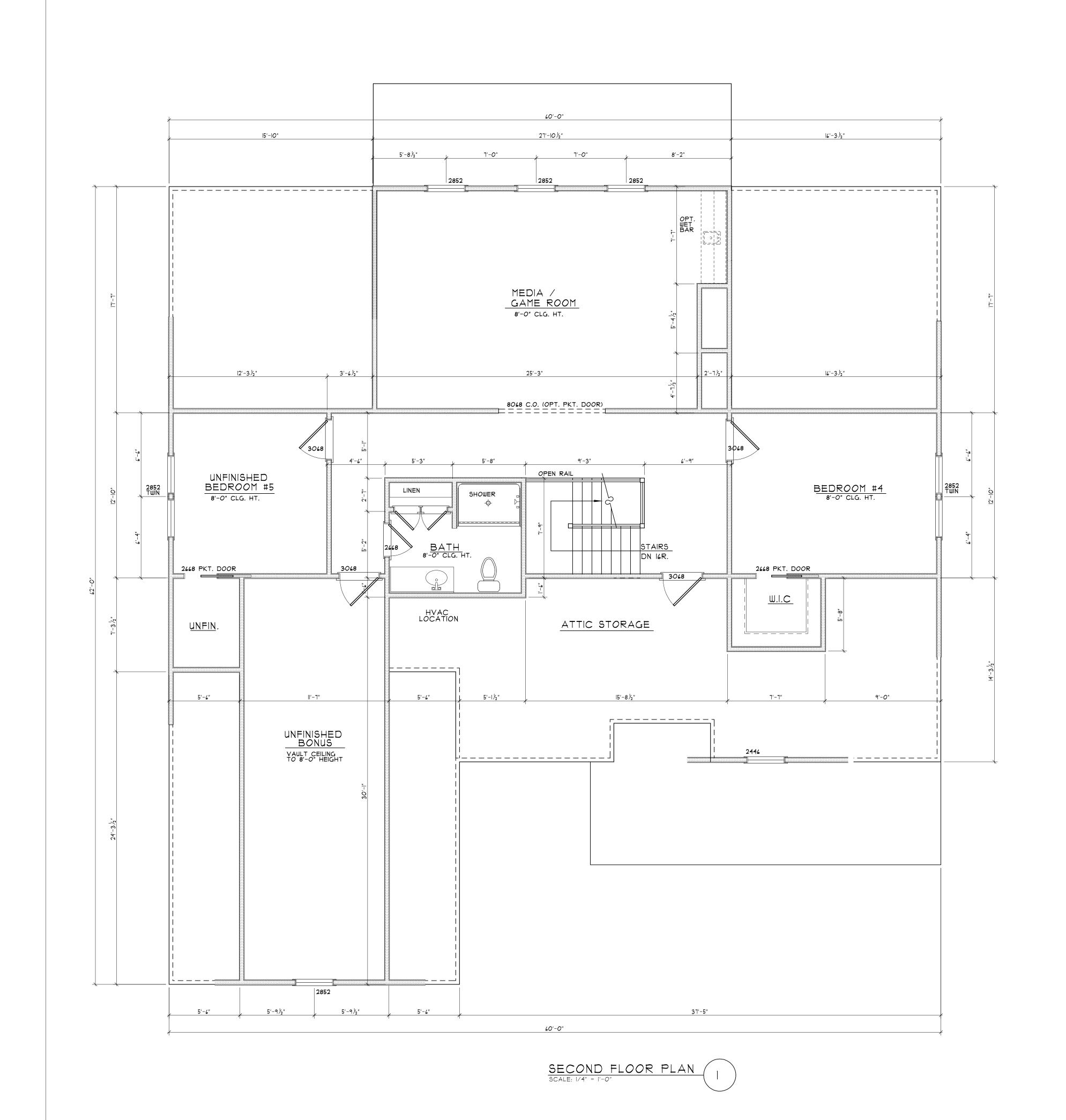
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CHECKED JOB NUMBER 19-034

SHEET



Knight Design Group, Inc
1270 CAROLINE STREET SUITE D4 16
ATLANTA, GEORGIA 30307

DATE OF THIS PLOT: Tuesday, July 9, 2019

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DRAWN C.S.K.

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SCALE AS NOTED

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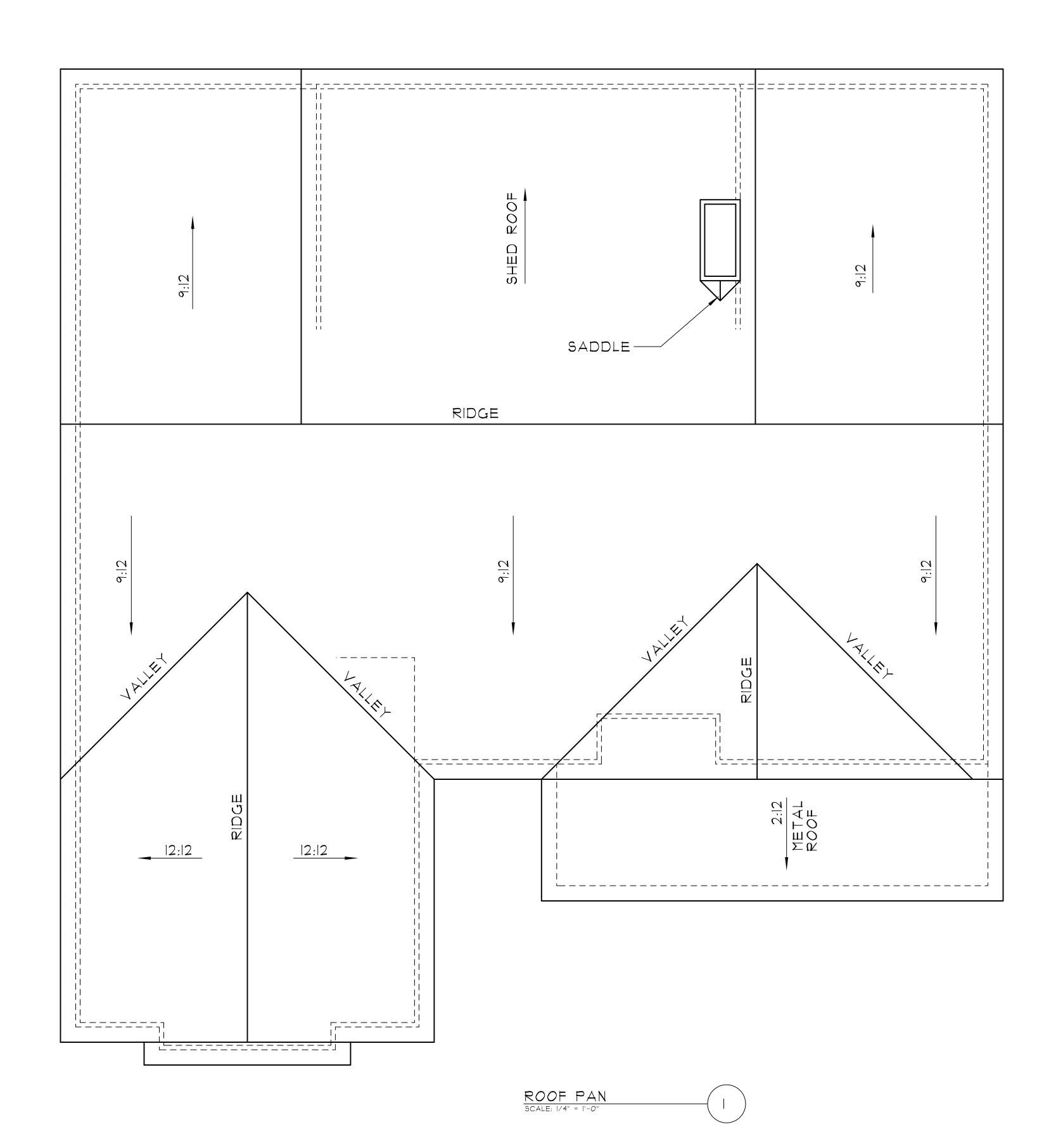
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