

19-PC-07-13

**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

Name of Applicant JANICE M WHITE
Mailing Address: 1854 VIRGINIA AVE STE 2, College Park GA 30337
Telephone (404) 964-5922 Mobile # _____ Email allpreppermit@yahoo.com
Property Owner (s) GUSTAVO PERDIGON / GPCUBE, LLC
Mailing Address 2505 GATEWATER CT, Cumming, GA 30040
Telephone 954-278-1687 Mobile # _____
Address/Location of Property: 644 Coleman Street
Parcel I.D. # (INFORMATION MUST BE PROVIDED): 14-009900031503
Present Zoning Classification: R-3 ^{K-SF} Size of Tract: 0.114 acre(s)
Present Land Use: VACANT LOT

Please check the following as it applies to this application

☒ Site Plan Review
☐ Conditional Use Permit
☐ Temporary Use Permit
Other (Please State) _____

I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered too. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

Janice M. White
Applicant's signature

Date: _____

Sworn to and subscribed before me

This 11th day of June, 2019.

Eddie W Sellers
Notary Public

EDDIE W SELLERS
Notary Public, Fulton County, Georgia
My Commission Expires June 29, 2020

CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION

WRITTEN SUMMARY

In detail, provide a summary of the proposed project in the space provided below. (Please type or print legibly.)

NEW CONSTRUCTION OF A SINGLE-FAMILY
HOME. 4-BEDROOMS; 3 BATHS;
Kitchen; DINING ROOM; Living Room
2 DECKS IN the rear
1 1/2 GARAGE
CONSTRUCTION - FALL

CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

Gustavo Pendigon GPCUBO LLC
644 Coleman Street

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant JANICE M White

Address of Applicant 1854 VIRGINIA AVE #2, College Park, GA 30337

Telephone of Applicant (404) 964-5922



Signature of Owner

Gustavo Pendigon

Print Name of Owner

Personally Appeared Before Me this 1th day of June, 2019.

Eddie W. Sellers
Notary Public

EDDIE W SELLERS
Notary Public, Fulton County, Georgia
My Commission Expires June 29, 2020

Site Plan Checklist – Please include with your application.

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan **must** contain the following information:

(Please **initial** each item on the list above certifying the all required information has been included on the site plan)



A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.



Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.



The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.



Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional sitting of adjoining structures, etc).



The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.



The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.



Existing and proposed grades at an interval of five (5) feet or less.



The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93-2-14(y) to determine the required tree density for your lot(s).



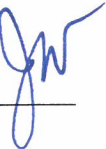
A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.



The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.



The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.



The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.

JW

Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.

JW

Location and size of all signs. Detached single-family residential development may be exempt from this requirement.

JW

Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.

JW

Site area (square feet and acres).

Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.

JW

Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.

JW

Total floor area ratio and/or residential density distribution.

JW

Number of parking spaces and area of paved surface for parking and circulation

At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please **initial** each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature:

Date 6/10/2019

James M. White

A D
AD Designs

GP Cube Investments

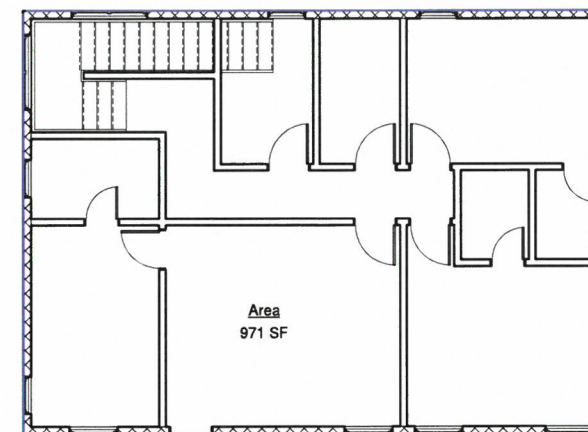
1944 sqft (Heated)



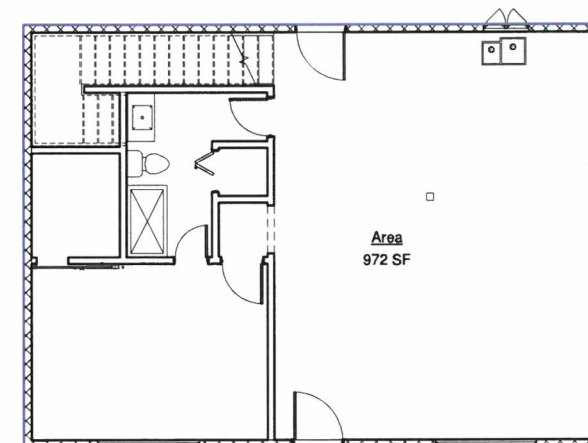
④ 3D View 2

Sheet Number	Sheet Name
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A101	Proposed Plan
A102	Elevation
A100	Cover Sheet
A103	Foundation Plan
A104	Framing Plan
A105	Roof Plan
A106	Deck Plan



③ Level 2
3/16" = 1'-0"



② Foundation
3/16" = 1'-0"

Code Summary

International Residential Code, 2012 Edition,
with Georgia Amendments (2014) (2015) (2017)

Release For Construction



8/4/2019

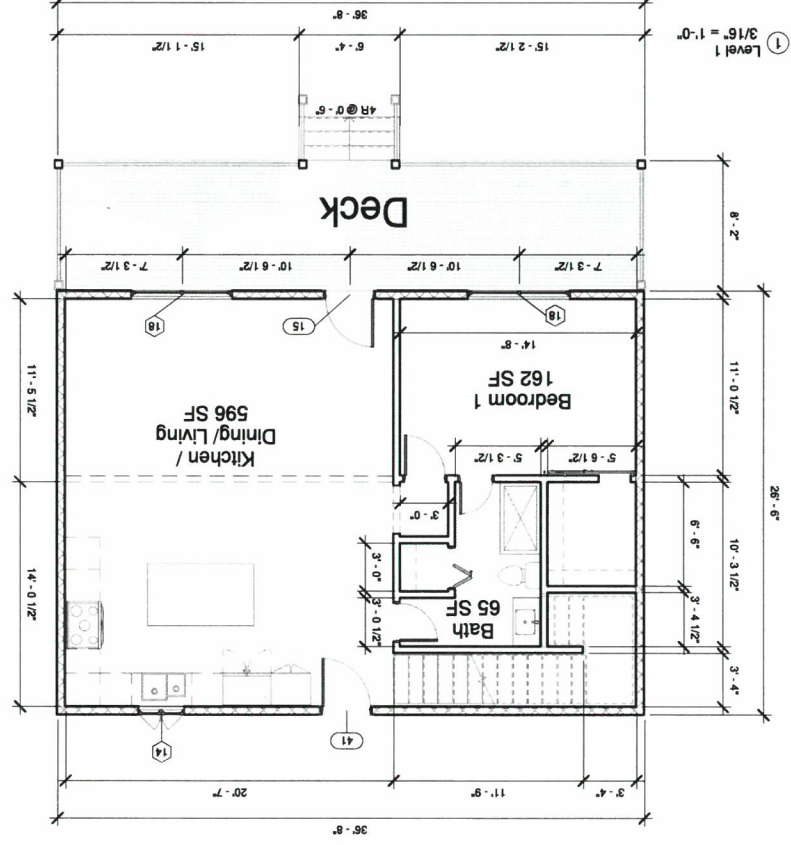
Cover Sheet

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker
A100	
Scale	3/16" = 1'-0"

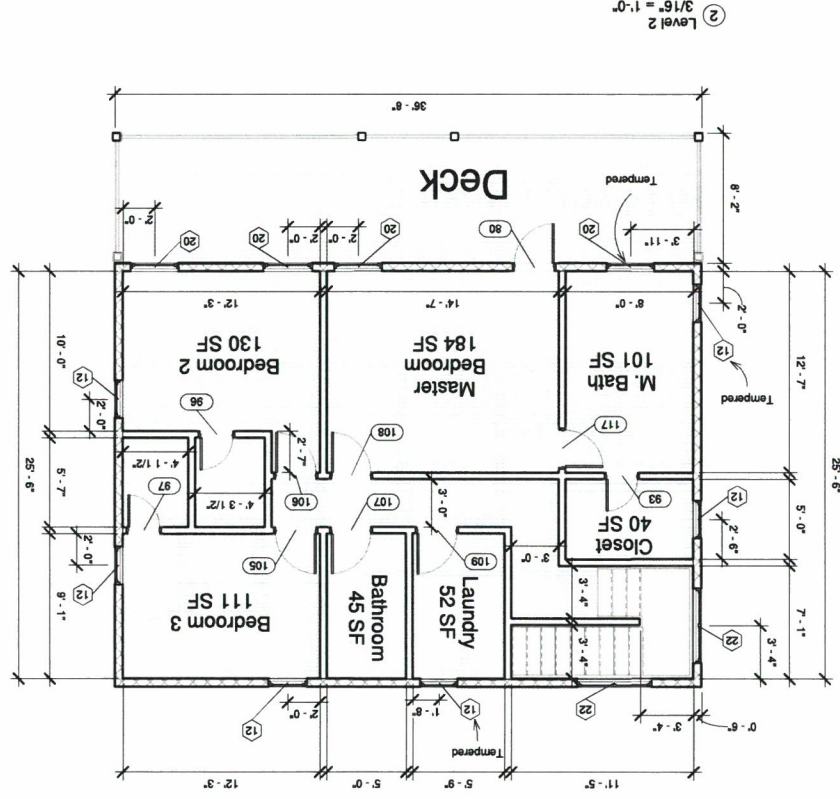
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General Notes

1. All lumber to be Southern Pine No. 2 or better
2. All concrete to have 4000 psi 28-day compressive strength
3. All deck lumber shall be pressure preservative treated in accordance with AWP
4. For the specified, product, preservative and end use. Field cut ends, notches and drilled holes of preservative treated wood shall be treated in the field in accordance with AWP M4. Preservative - treated lumber in contact with the ground shall be rated as "ground-contact."
4. Joist Hangers shall have a minimum capacity of 800 lbs.



Code Summary
International Residential Code, 2012 Edition,
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Release For Construction



Window Schedule	Type Mark
Window-Double-Hung: 28" x 46"	12
Window-Casement-Double: 34" x 36"	18
Window-Double-Hung-Double: 76" x 56"	14
Window-Double-Hung: 36" x 56"	20
Window-Double-Hung-Double: 56" x 52"	22

Door Schedule	Family and Type	Mark
Door-Exterior-Single-Emry-Half Flat Glass-Wood Clad: 36" x 80"		15
Door-Interior-Single-Full Glass-Wood: 36" x 84"		40
Door-Interior-Single-Full Glass-Wood: 30" x 80"		81
Door-Interior-Single-3 "Panel-Vert-Wood: 30" x 80"		86
Interior Barn door: 18732: Interior Barn door: 18732		87
Door-Clopping: 36" x 80"		89
Door-Interior-Single-1 "Panel-Wood: 24" x 80"		93
Door-Interior-Single-1 "Panel-Wood: 24" x 80"		96
Door-Interior-Single-1 "Panel-Wood: 24" x 80"		97
Door-Interior-Single-1 "Panel-Wood: 24" x 80"		98
Door-Interior-Single-1 "Panel-Wood: 28" x 80"		103
2 "Panel Biold Door: 18618: 30" x 84"		104
Door-Interior-Single-3 "Panel-Vert-Wood: 30" x 80"		105
Door-Interior-Single-3 "Panel-Vert-Wood: 30" x 80"		106
Door-Interior-Single-3 "Panel-Vert-Wood: 30" x 80"		107
Door-Interior-Single-3 "Panel-Vert-Wood: 30" x 80"		108
Door-Interior-Single-3 "Panel-Vert-Wood: 30" x 80"		109
Door-Interior-Single-1 "Panel-Wood: 28" x 80"		117



8/4/2019

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644 Colman St.

GP Cube Investments

AD
AD Design

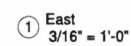


644 Colman St.

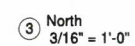
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Elevation

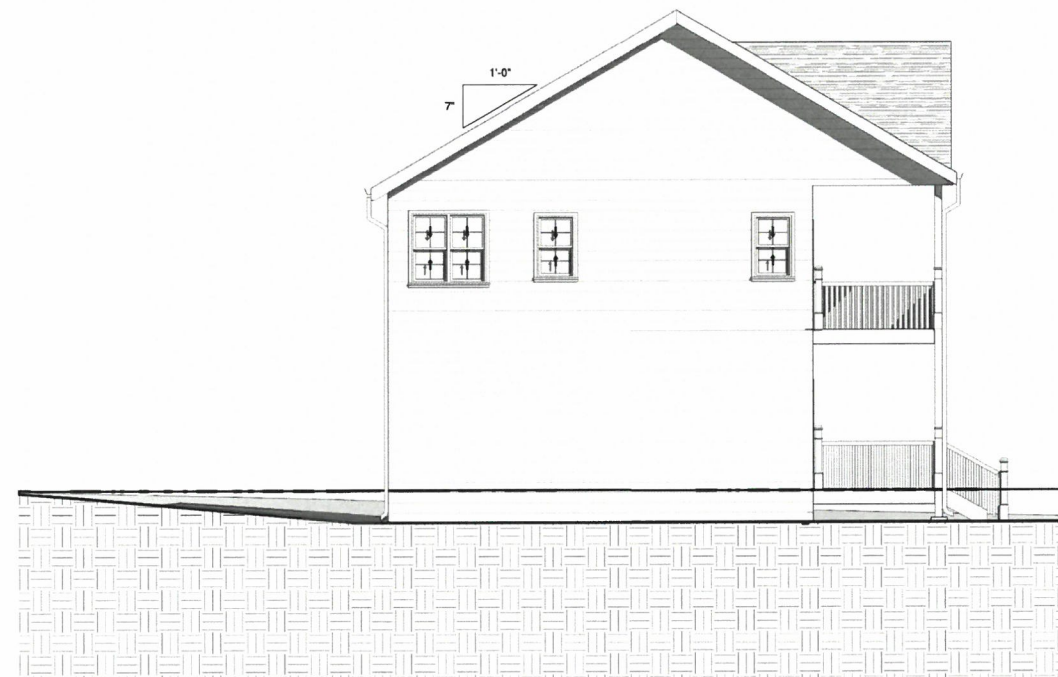
Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker
A102	
Scale	3/16" = 1'-0"



② South
3/16" = 1'-0"



④ West
3/16" = 1'-0"



Code Summary
International Residential Code, 2012 Edition,
with Georgia Amendments (2014) (2015) (2017)

Release For Construction

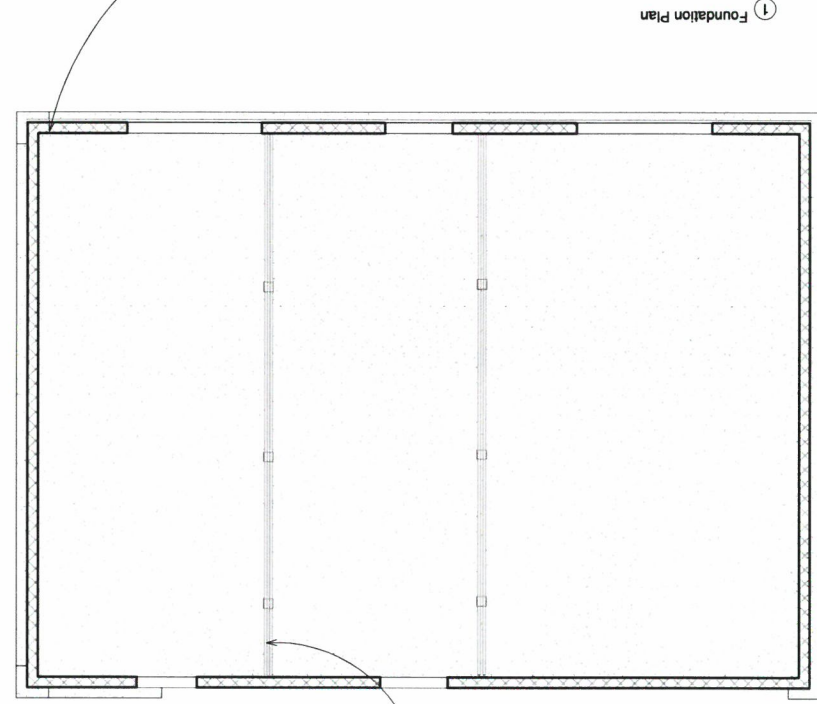


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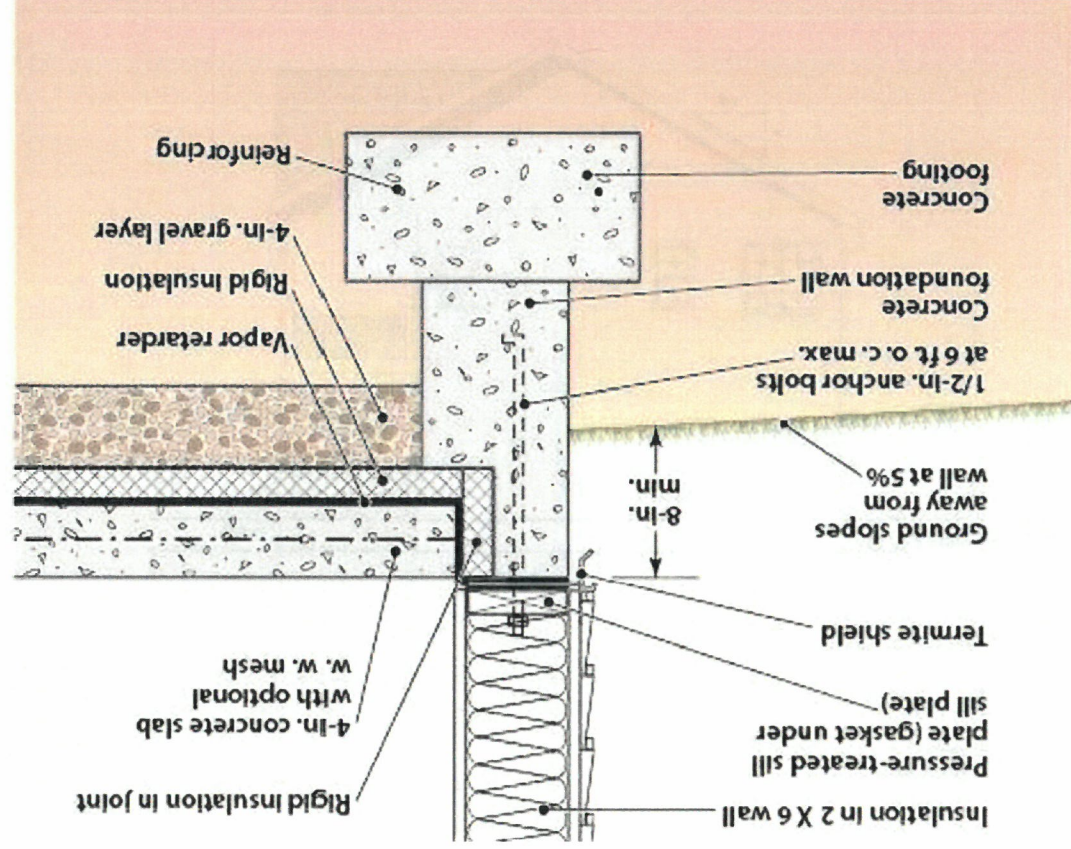
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Code Summary
International Residential Code, 2012 Edition,
with Georgia Amendments (2014) (2015) (2017)
Release For Construction

8" CMU with
18" wide 12" thick
footing 2#4 rebar
continuous



4" slab on grade with provide 6x6 W1 1.4 x W1.4 welded wire fabric Place welded wire fabric 1" below the top of the slab

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GP Cube Investments	
644 Colman St.	
AD	
AD Designs	
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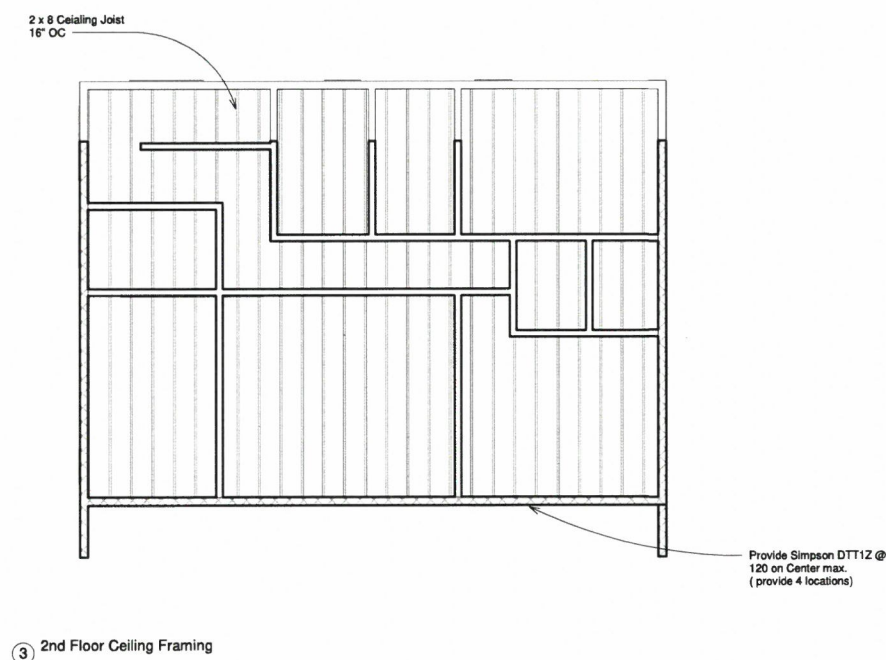
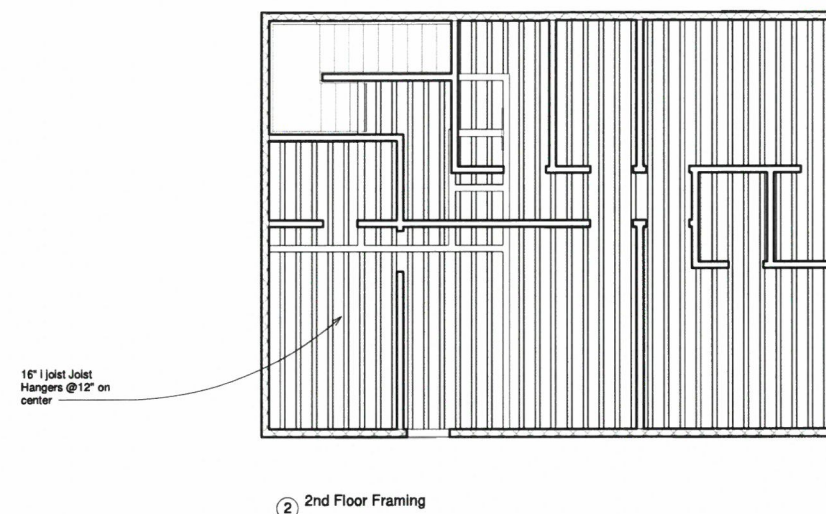
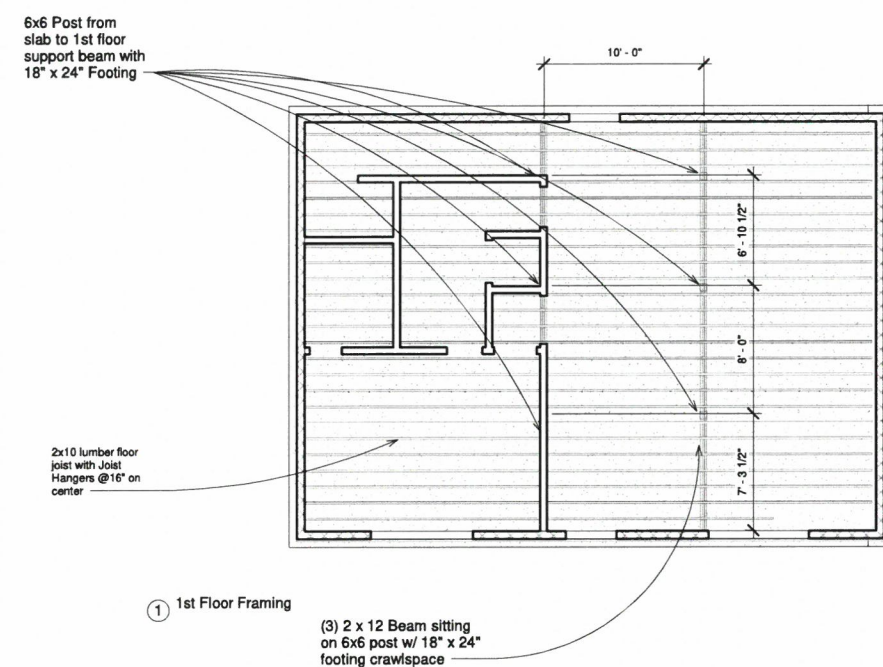


644 Colman St.

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Framing Plan

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker
A104	
Scale	3/16" = 1'

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Code Summary
International Residential Code, 2012 Edition,
with Georgia Amendments (2014) (2015) (2017)

Release For Construction

8/4/2019





LOAD-BEARING VALUE OF JOIST (psi)	1,500	2,000	3,000
1" deep	12	12	12
2" deep	15	17	17
3" deep	17	17	17
4" deep	19	19	19
5" deep	22	22	22
6" deep	24	24	24
7" deep	26	26	26
8" deep	28	28	28
9" deep	30	30	30
10" deep	32	32	32
11" deep	34	34	34
12" deep	36	36	36
13" deep	38	38	38
14" deep	40	40	40
15" deep	42	42	42
16" deep	44	44	44
17" deep	46	46	46
18" deep	48	48	48
19" deep	50	50	50
20" deep	52	52	52
21" deep	54	54	54
22" deep	56	56	56
23" deep	58	58	58
24" deep	60	60	60
25" deep	62	62	62
26" deep	64	64	64
27" deep	66	66	66
28" deep	68	68	68
29" deep	70	70	70
30" deep	72	72	72
31" deep	74	74	74
32" deep	76	76	76
33" deep	78	78	78
34" deep	80	80	80
35" deep	82	82	82
36" deep	84	84	84
37" deep	86	86	86
38" deep	88	88	88
39" deep	90	90	90
40" deep	92	92	92
41" deep	94	94	94
42" deep	96	96	96
43" deep	98	98	98
44" deep	100	100	100
45" deep	102	102	102
46" deep	104	104	104
47" deep	106	106	106
48" deep	108	108	108
49" deep	110	110	110
50" deep	112	112	112
51" deep	114	114	114
52" deep	116	116	116
53" deep	118	118	118
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69" deep	150	150	150
70" deep	152	152	152
71" deep	154	154	154
72" deep	156	156	156
73" deep	158	158	158
74" deep	160	160	160
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77" deep	166	166	166
78" deep	168	168	168
79" deep	170	170	170
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81" deep	174	174	174
82" deep	176	176	176
83" deep	178	178	178
84" deep	180	180	180
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86" deep	184	184	184
87" deep	186	186	186
88" deep	188	188	188
89" deep	190	190	190
90" deep	192	192	192
91" deep	194	194	194
92" deep	196	196	196
93" deep	198	198	198
94" deep	200	200	200
95" deep	202	20	20

LOAD-BEARING VALUE OF JOIST (psi)	1,500	2,000	3,000
1" deep	12	12	12
2" deep	15	17	17
3" deep	17	17	17
4" deep	19	19	19
5" deep	22	22	22
6" deep	24	24	24
7" deep	26	26	26
8" deep	28	28	28
9" deep	30	30	30
10" deep	32	32	32
11" deep	34	34	34
12" deep	36	36	36
13" deep	38	38	38
14" deep	40	40	40
15" deep	42	42	42
16" deep	44	44	44
17" deep	46	46	46
18" deep	48	48	48
19" deep	50	50	50
20" deep	52	52	52
21" deep	54	54	54
22" deep	56	56	56
23" deep	58	58	58
24" deep	60	60	60
25" deep	62	62	62
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32" deep	76	76	76
33" deep	78	78	78
34" deep	80	80	80
35" deep	82	82	82
36" deep	84	84	84
37" deep	86	86	86
38" deep	88	88	88
39" deep	90	90	90
40" deep	92	92	92
41" deep	94	94	94
42" deep	96	96	96
43" deep	98	98	98
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45" deep	102	102	102
46" deep	104	104	104
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86" deep	184	184	184
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88" deep	188	188	188
89" deep	190	190	190
90" deep	192	192	192
91" deep	194	194	194
92" deep	196	196	196
93" deep	198	198	198
94" deep	200	200	200
95" deep	202	20	20

LOAD-BEARING VALUE OF JOIST (psi)	1,500	2,000	3,000
1" deep	12	12	12
2" deep	15	17	17
3" deep	17	17	17
4" deep	19	19	19
5" deep	22	22	22
6" deep	24	24	24
7" deep	26	26	26
8" deep	28	28	28
9" deep	30	30	30
10" deep	32	32	32
11" deep	34	34	34
12" deep	36	36	36
13" deep	38	38	38
14" deep	40	40	40
15" deep	42	42	42
16" deep	44	44	44
17" deep	46	46	46
18" deep	48	48	48
19" deep	50	50	50
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21" deep	54	54	54
22" deep	56	56	56
23" deep	58	58	58
24" deep	60	60	60
25" deep	62	62	62
26" deep	64	64	64
27" deep	66	66	66
28" deep	68	68	68
29" deep	70	70	70
30" deep	72	72	72
31" deep	74	74	74
32" deep	76	76	76
33" deep	78	78	78
34" deep	80	80	80
35" deep	82	82	82
36" deep	84	84	84
37" deep	86	86	86
38" deep	88	88	88
39" deep	90	90	90
40" deep	92	92	92
41" deep	94	94	94
42" deep	96	96	96
43" deep	98	98	98
44" deep	100	100	100
45" deep	102	102	102
46" deep	104	104	104
47" deep	106	106	106
48" deep	108	108	108
49" deep	110	110	110
50" deep	112	112	112
51" deep	114	114	114
52" deep	116	116	116
53" deep	118	118	118
54" deep	120	120	120
55" deep	122	122	122
56" deep	124	124	124
57" deep	126	126	126
58" deep	128	128	128
59" deep	130	130	130
60" deep	132	132	132
61" deep	134	134	134
62" deep	136	136	136
63" deep	138	138	138
64" deep	140	140	140
65" deep	142	142	142
66" deep	144	144	144
67" deep	146	146	146
68" deep	148	148	148
69" deep	150	150	150
70" deep	152	152	152
71" deep	154	154	154
72" deep	156	156	156
73" deep	158	158	158
74" deep	160	160	160
75" deep	162	162	162
76" deep	164	164	164
77" deep	166	166	166
78" deep	168	168	168
79" deep	170	170	170
80" deep	172	172	172
81" deep	174	174	174
82" deep	176	176	176
83" deep	178	178	178
84" deep	180	180	180
85" deep	182	182	182
86" deep	184	184	184
87" deep	186	186	186
88" deep	188	188	188
89" deep	190	190	190
90" deep	192	192	192
91" deep	194	194	194
92" deep	196	196	196
93" deep	198	198	198
94" deep	200	200	200
95" deep	202	20	20

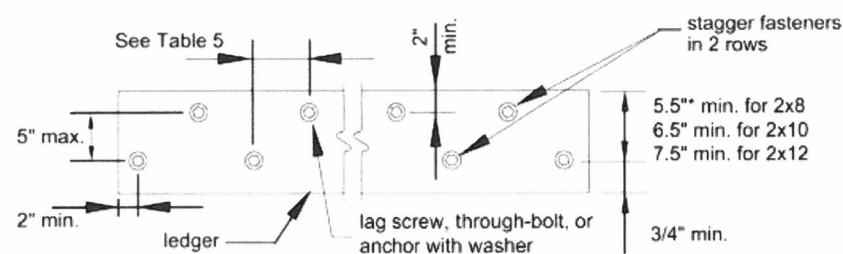
The logo for A D Designs, featuring the letters 'A' and 'D' in a large, stylized, red serif font, with 'A D Designs' in a smaller, black, sans-serif font above a horizontal line.

General Notes

1. All lumber to be Southern Pine No. 2 or better
2. All concrete to have 4000 psi 28-day compressive strength
3. All lumber shall be pressure preservative treated in accordance with AWPAC U1 for the species, product, preservative and end use. Field cut ends, notches and drilled holes of preservative treated wood shall be treated in the field in accordance with AWPAC M4. Preservative-treated lumber in contact with the ground shall be rated as "ground-contact."
4. Joist Hangers shall have a minimum capacity of 800 lbs.

Table 5. Fastener Spacing for a Southern Pine, Douglas Fir-Larch, or Hem-Fir Deck Ledger or Band or Rim Joist and a 2-inch Nominal Solid-Sawn Spruce-Pine-Fir Band Joist or EWP Rim Joist. ^{3,4,5,6,8}
(Deck Live Load = 40 psf, Deck Dead Load = 10 psf)

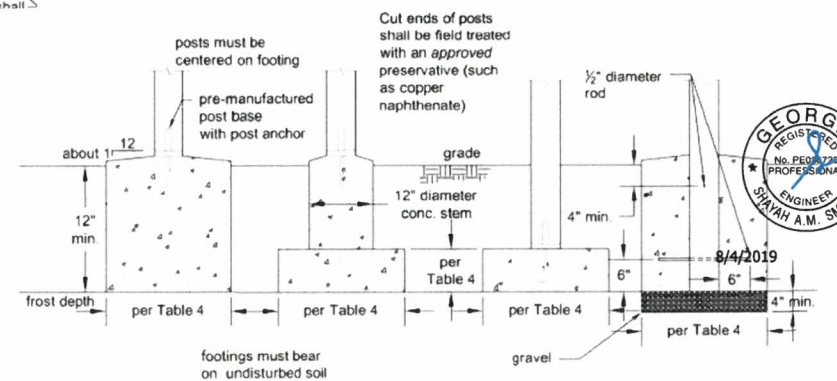
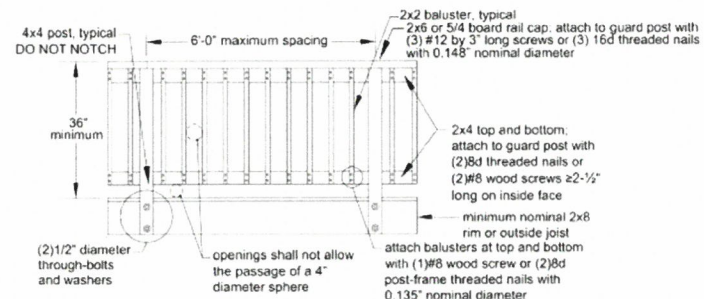
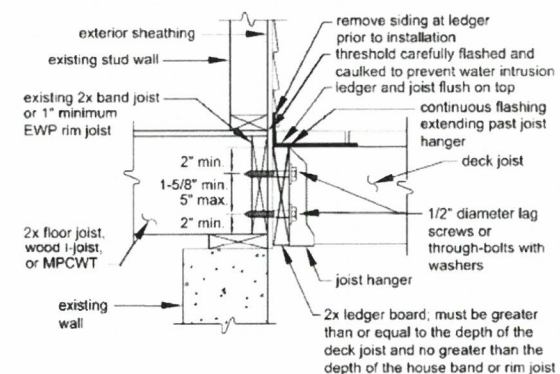
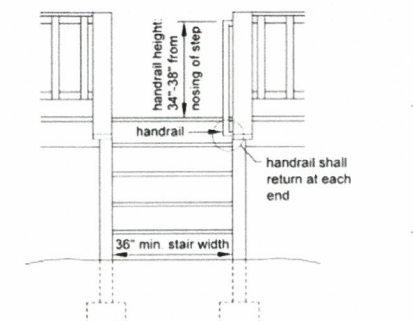
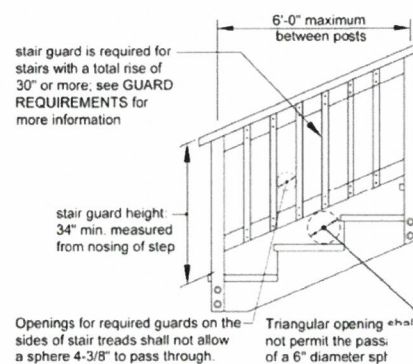
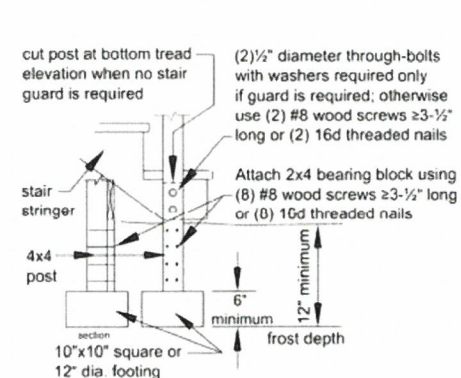
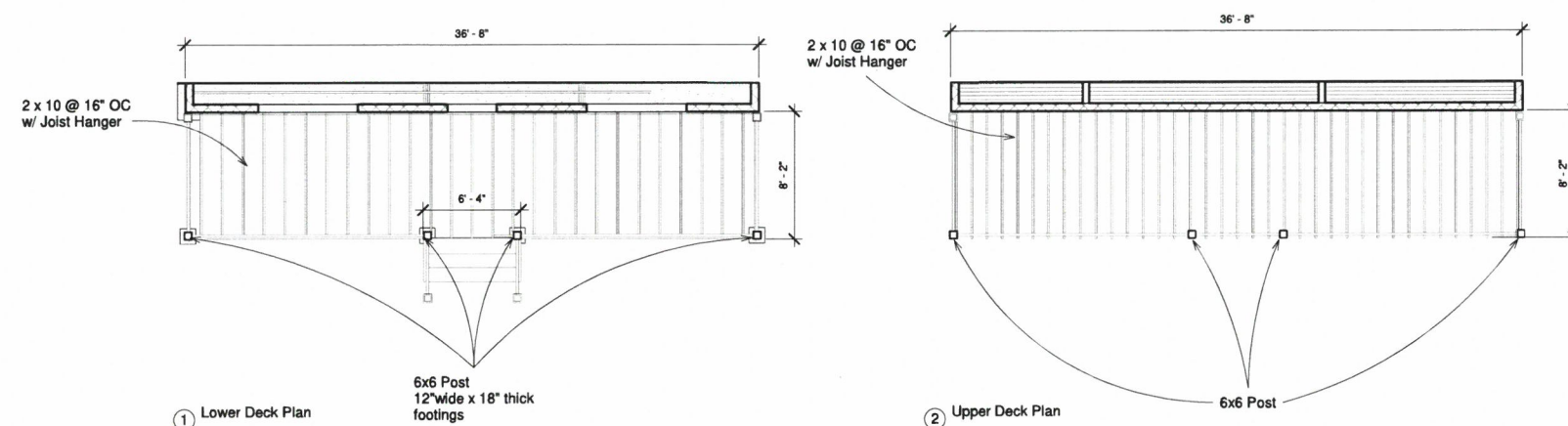
(Deck Live Load = 40 psf, Deck Dead Load = 10 psf)								
Joist Span	Rim Joist or Band Joist	6'-0" and less	6'-1" to 8'-0"	8'-1" to 10'-0"	10'-1" to 12'-0"	12'-1" to 14'-0"	14'-1" to 16'-0"	16'-1" to 18'-0"
Connection Details	On-Center Spacing of Fasteners							
½" diameter lag screw ¹ with 15/32" maximum sheathing	1" EWP 1-1/8" EWP 1-1/2" Lumber	24" 28" 30"	18" 21" 23"	14" 16" 18"	12" 14" 15"	10" 12" 13"	9" 10" 11"	8" 9" 10"
½" diameter bolt with 15/32" maximum sheathing	1" EWP 1-1/8" EWP 1-1/2" Lumber	24" 28" 36"	18" 21" 36"	14" 16" 34"	12" 14" 29"	10" 12" 24"	9" 10" 21"	8" 9" 19"
½" diameter bolt with 15/32" maximum sheathing and ¼" stacked washers ^{2,7}	1-1/2" Lumber	36"	36"	29"	24"	21"	18"	16"



Code Summary

International Residential Code, 2012 Edition,
with Georgia Amendments (2014) (2015) (2017)

Release For Construction



A D
AD Design

GP Cube Investments

644 Colman St.

[illegible]

Deck Plan

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A106

Scale

SURVEYORS NOTES

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON ADDITIONAL BURIED UTILITIES MAY BE EN COUNTERED. NO EXCAVATION WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES, BEFORE EXCAVATION ARE BEGUN, CALL THE UTILITIES PROTECTION CENTER FOR ADDITIONAL INFORMATION.
2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENT OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT A CURRENT TITLE SEARCH MAY DISCLOSE.
3. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS OR ENTITY.
4. BEARINGS SHOWN WERE COMPUTED FROM ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION.

LEGEND

- P.O.B. POINT OF BEGINNING
P.O.R. POINT OF REFERENCE
O.H.P. OVERHEAD POWER LINE
P.P. POWER POLE
L.L.L. LAND LOT LINE
I.P.F. 1/2" IRON PIN FOUND
I.P.S. 1/2" IRON PIN SET
OTPF OPEN TOP PIPE FOUND
T.L.P. TRAFFIC LIGHT POLE
C.L. CENTER LINE
⊗ LOT NUMBER
W.M. WATER METER
E/B ELECTRIC METER
T/B TELEPHONE BOX
C/B CABLE BOX
G.M. GAS METER
CTF CRIMP TOP FOUND
CLF CHAIN LINK FENCE

NOTE:

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 65,580 FEET AND AN ANGULAR ERROR OF 00 00'06"PER ANGLE POINT AND WAS ADJUSTED USING COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN 1: 182,383 FEET

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION: THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST OR ARE MARKED AS "FUTURE" THEIR LOCATION ,SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN:

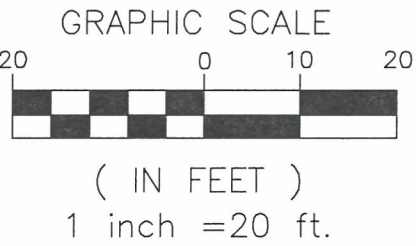


FLOOD STATEMENT

NO PORTION OF THIS PROPERTY IS LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY "F.I.A. OFFICIAL FLOOD HAZARD MAP PANEL # 13121C0366F DATE 9/18/2013

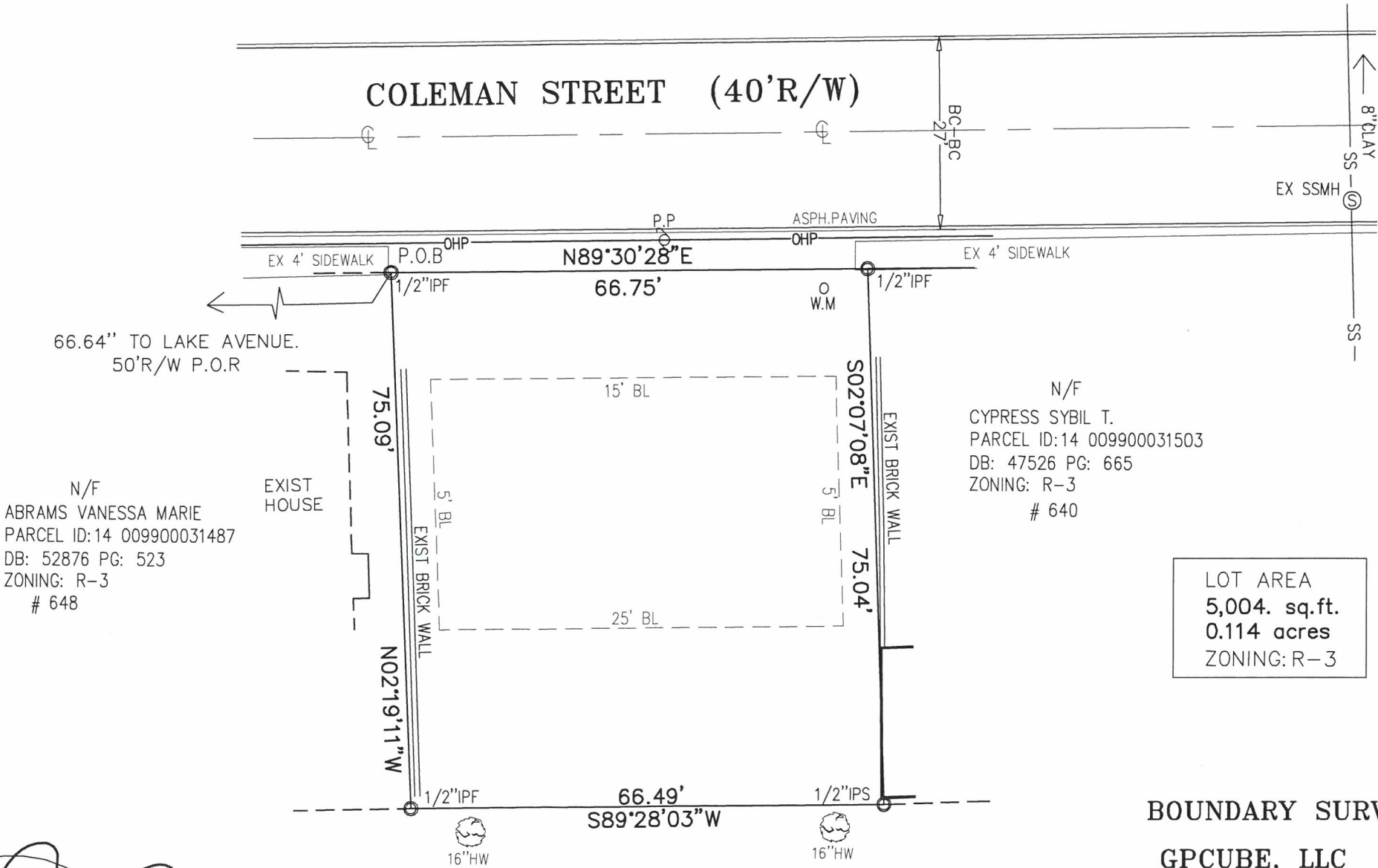
INSTRUMENT USED:

NIKON DTM-520 TOTAL STATION
REFERENCE USE PLAT 287 PAGE 31



NOTE:

THE SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67



HURD PRINCE & ASSOCIATES, INC.

Consulting Engineers & Surveyors
110 MLK SR HERITAGE TRAIL
STOCKBRIDGE, GEORGIA 30281-3424
Phone (678)-782-7737

BOUNDARY SURVEY FOR:

GPCUBE, LLC

644 COLEMAN ST.
ATLANTA GA. 30354
PARCEL ID: 14 009900031495
LAND LOT: 99 14TH DISTRICT
CITY HAPEVILLE
FULTON COUNTY, GEORGIA
DATE OF FIELD SURVEY: 4-23-19
SCALE 1"=20' DATE OF PLAT 4-28-19

1. PRIOR TO ANY LAND DISTURBANCE, CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE EROSION CONTROL DEPARTMENT
2. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO CONSTRUCTION.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL MEASURES BEYOND THE APPROVED PLAN SHALL BE IMPLEMENTED AS NECESSARY.
4. DISTURBED AREAS LEFT IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION; DISTURBED AREAS IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN , AND REPAIRED AS NECESSARY.
6. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DETERMINED NECESSARY BY ON SITE INSPECTION.
7. SILT FENCE SHALL BY "TYPE C" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED.
8. DOUBLE ROW OF SDI-C REQUIRED, IF DISTURBED AREA IS WITHIN 200 FEET OF STATE WATERS.
9. NO GRADED SLOPE SHALL EXCEED 2H:1V

- 1- ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
- 2- ALL DEMOLITION DEBRIS TO BE HAULED OFF SITE.
- 3- DUMPSTER SHALL NOT BE LOCATED INSIDE OF TREE PROTECTION FENCE.
- 4- NO STANDING WATER.

DIRT STATEMENT:
CUT = 30 CU.YDS.
FILL =30 CU.YDS.
DIRT TO BE BALANCE ON SITE
DEMOLITION DEBRIS= 60 CU.YDS.

NO PORTION OF THIS PROPERTY IS LOCATED IN A FEDERAL FLOOD
AREA AS INDICATED BY "F.I.A. OFFICIAL FLOOD HAZARD MAP
PANEL # 13121C0366F DATE 9/18/2013
NO WATER OF STATE EXIST. WITHIN 200 FEET OF PROJECT SITE
INSTRUMENT USED:
NIKON DTM-520 TOTAL STATION
REFERENCE USE: PLAT: 287 PAGE: 31

1. REMOVE EXISTING PAVING USING HAND MACHINERY i.e. JACK HAMMER;
2. NO CUT OR FILL OF EARTH ALLOWED WITHIN THE CRZ;
3. LEVEL USING OPEN GRADE AGGREGATE SUCH AS 57 STONE;
4. LAY 6 MIL PLASTIC SHEET WITHIN THE CRZ BEFORE POURING CONCRETE;
5. DO NOT REMOVE CONCRETE UNTILL IT TO BE REPLACED
6. DO NOT DRIVE OR USE MACHINERY ON THE EXPOSED ROOTS OF THE CRZ.

"EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE."

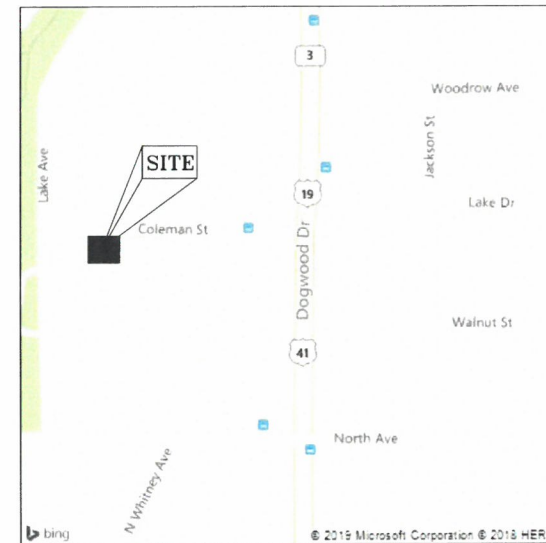
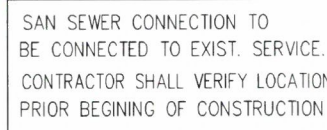
PROPOSED BUILDING		P.O.B.	POINT OF BEGINNING
EXISTING TOPOGRAPHIC CONTOURS		P.O.R.	POINT OF REFERENCE
PROPOSED TOPOGRAPHIC CONTOURS		I.P.S.	1/2" IRON PIN SET
EXISTING SPOT ELEVATIONS		O.H.P.	OVERHEAD POWER LINE
PROPOSED SPOT ELEVATIONS		P.P.	POWER POLE
SILT FENCE BARRIER.		L.L.L.	LAND LOT LINE
CONST. EXIT/ ENTRANCE.		I.P.F.	1/2" IRON PIN FOUND
		C.L.	CENTER LINE
DISTURBED AREA STABILIZATION (WITH MULCH)		LOT NUMBER	
DISTURBED AREA STABILIZATION (W/ TEMPORARY VEGETATION)		WM	WATER METER
DISTURBED AREA STABILIZATION (W/PERMANENT VEGETATION)		GM	GAS METER
DISTURBED AREA STABILIZATION (WITH SODDING)			GUY WIRE

GEORGIA SOIL AND WATER
CONSERVATION COMMISSION

WALTER PRINCE
LEVEL II CERTIFIED DESIGN PROFESSIONAL

CERTIFICATION NUMBER 00000000148

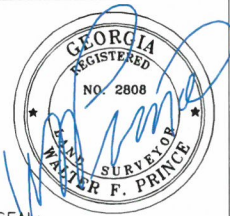
ISSUED: 06/03/2008 EXPIRES: 06/03/2020



NTS

CONTRACTOR/DEVELOPER
GUSTAVO PERDIGON
TEL: 954-278-1687

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION, THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST OR ARE MARKED AS "FUTURE", THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN.



24 HOUR CONTACT/DEVELOPER
GUSTAVO PERDIGON
TEL: 954-278-1687

HURD PRINCE & ASSOCIATES, INC.
400 W. Emerson & Superior*

PROJECT ADDRESS	LAND LOT: LAND LOT 99
644 COLEMAN STREET	DISTRICT: 14 TH DISTRICT
ATLANTA GA. 30354	COUNTY: FULTON
PARCEL ID: 14009900031495	STATE: GEORGIA

ZONING: R-3
FRONT YARD SETBACK = 15 FEET
SIDE YARD SETBACK = 5 FEET
REAR YARD SETBACK = 25 FEET

SHEET TITLE:
SITE PLAN AND SOIL
EROSION CONTROL
PLAN FOR:
GP CUBE IVESTMENTS

DATE: JUNE 7, 2019

JOB: 26628

DRAWN: W.A

CHECKED: F.P.

SHEET NUMBER:

SHEET 1 OF 2

