



DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: August 9, 2019
TO: Tonya Hutson
FROM: Michael Smith
VIA: Lynn Patterson
RE: **Design Inspection – 3312 Myrtle Street**

BACKGROUND

Section 93-24-3. - *Certificate of occupancy* of the City of Hapeville Zoning Ordinance prohibits the issuance of a certificate of occupancy to any structure requiring a building permit if the building does not comply with the plan approved by the City, as reprinted below:

“(3) *Denial of certificate.* A certificate of occupancy shall not be issued unless the proposed use of a building or land conforms to the applicable provisions of this chapter, or unless the building, as finally constructed, complies with the sketch or plan upon which the building permit was issued.”

On August 7, 2019, staff visited 3312 Myrtle Street to verify if a recently constructed single-family dwelling complied with the design plans submitted to the City and approved by the Design Review Committee. The findings of that visit are detailed below.

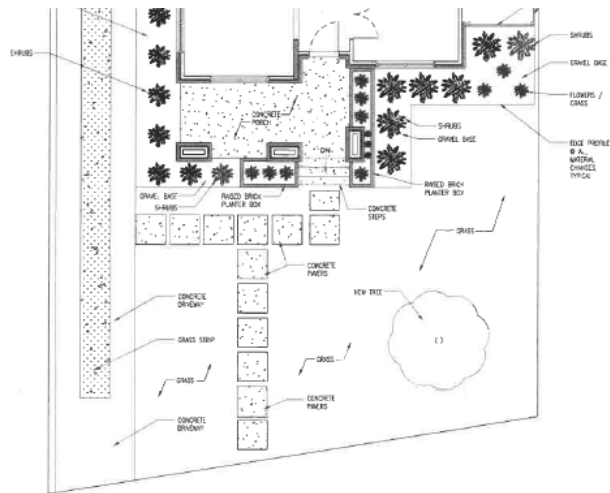
FINDINGS

The following are observed deviations in the final construction from the design plans approved by the Design Review Committee, and are not compliant with the Architectural Design Standards:

1. The house was built at-grade, rather than raised 2' as in the plans.

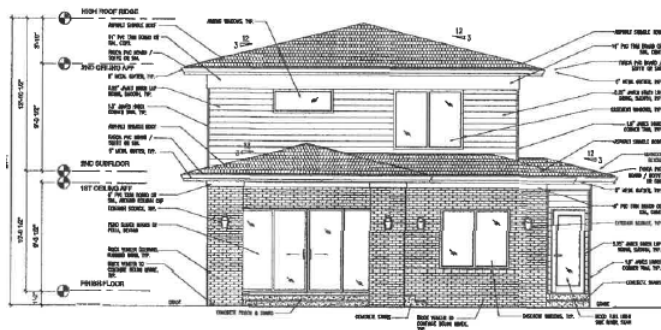


- There is no walkway connecting the front entrance to the sidewalk. The plans show a walkway made of pavers connecting the entrance to the street.



The following, while compliant with the Architectural Design Standards, are nonetheless variations from the approved plans:

- Mechanical has been relocated (it is not visible from the right-of-way but is not screened).
- Landscaping does not match the landscape plan.
- The rear façade is now Hardie Board rather than brick.



FINDINGS

The final design of the house as constructed deviates from the approved designs and is not compliant with the Architectural Design Standards. The applicant must submit revised plans to the City and present the plans for approval to the Design Review Committee.

NEW CONSTRUCTION

3312 MYRTLE ST
HAPEVILLE, GEORGIA 30534

SITE PLANS

A0.1

Issued Date 08.10.2018

Project No. -

Drawn By: DH Checked By: -

Revisions

No.	Date	Description

Released for Construction

PAVERS NOT
INSTALLED
DUE TO BUDGET
CONSTRAINTS

SIDEWALK NOT
INSTALLED
DUE TO BUDGET
CONSTRAINTS

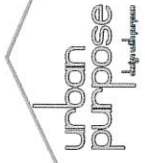
PAVERS NOT
INSTALLED
DUE TO BUDGET
CONSTRAINTS

EXISTING
TREES

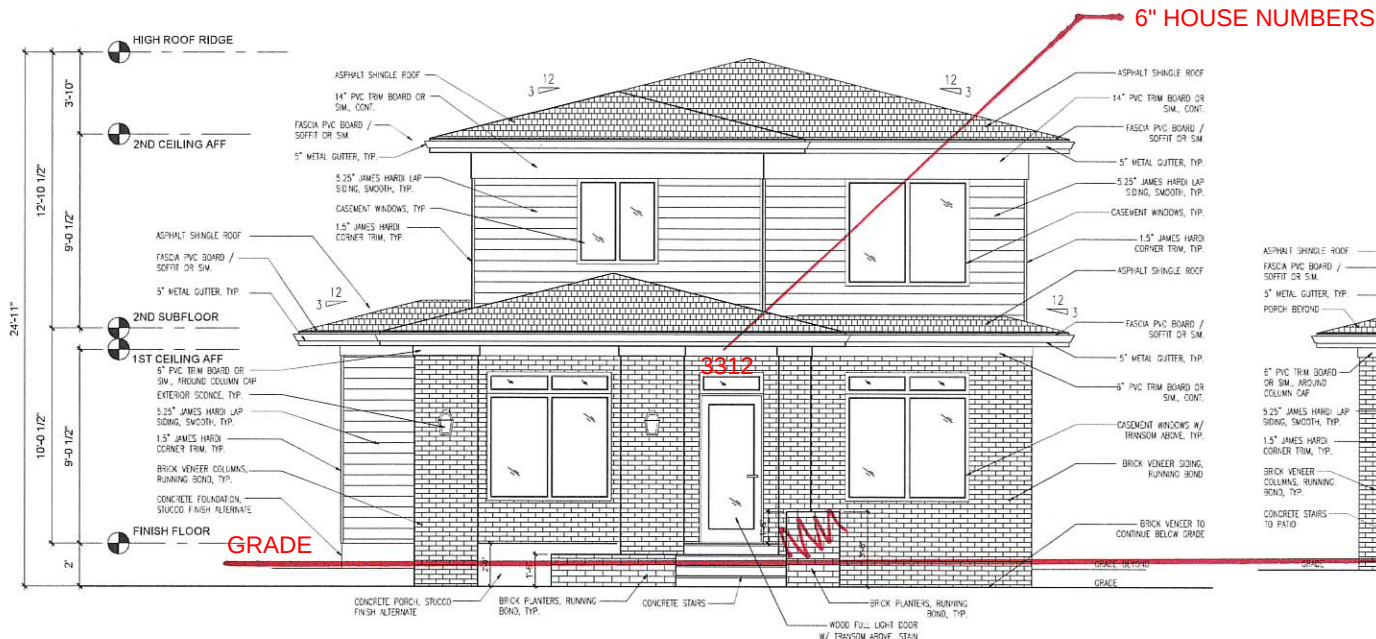
3 SCHEMATIC LANDSCAPE PLAN - REAR YARD
A0.1 SCALE 3/16" = 1'-0"

2 SCHEMATIC LANDSCAPE PLAN - FRONT YARD
A0.1 SCALE 3/16" = 1'-0"

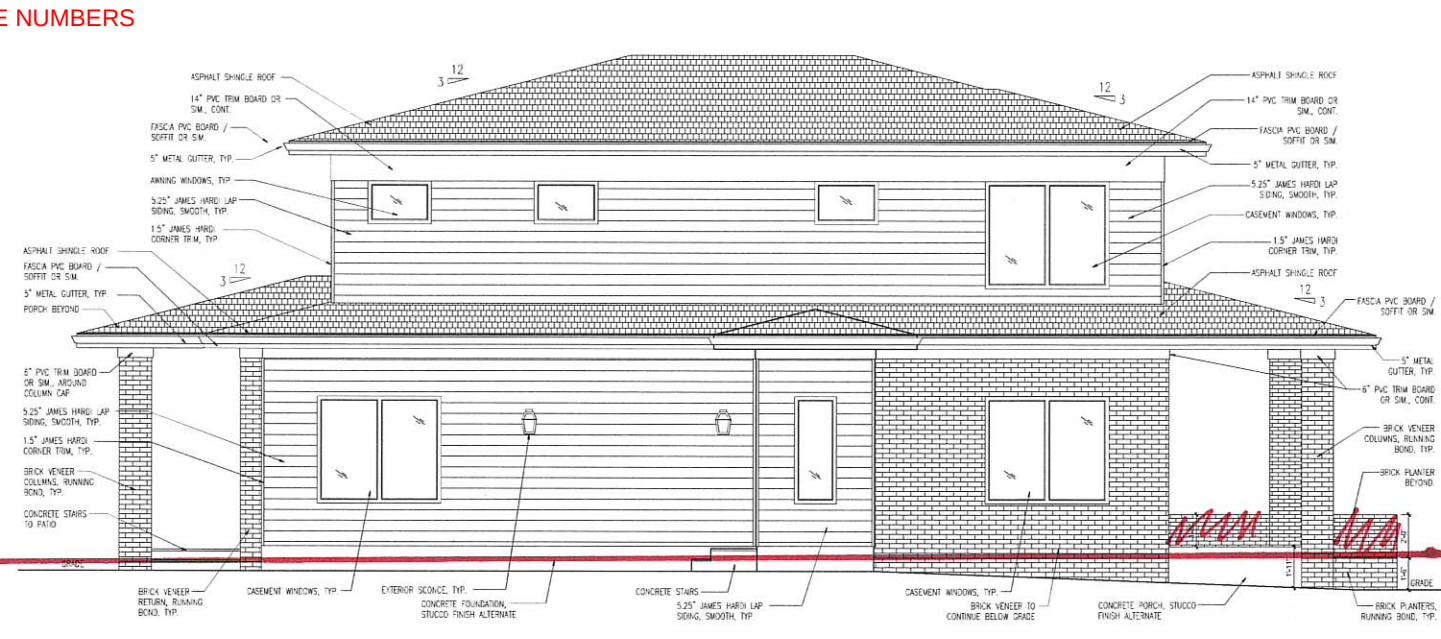
1 SCHEMATIC LANDSCAPE PLAN - OVERALL
A0.1 SCALE 3/32" = 1'-0"



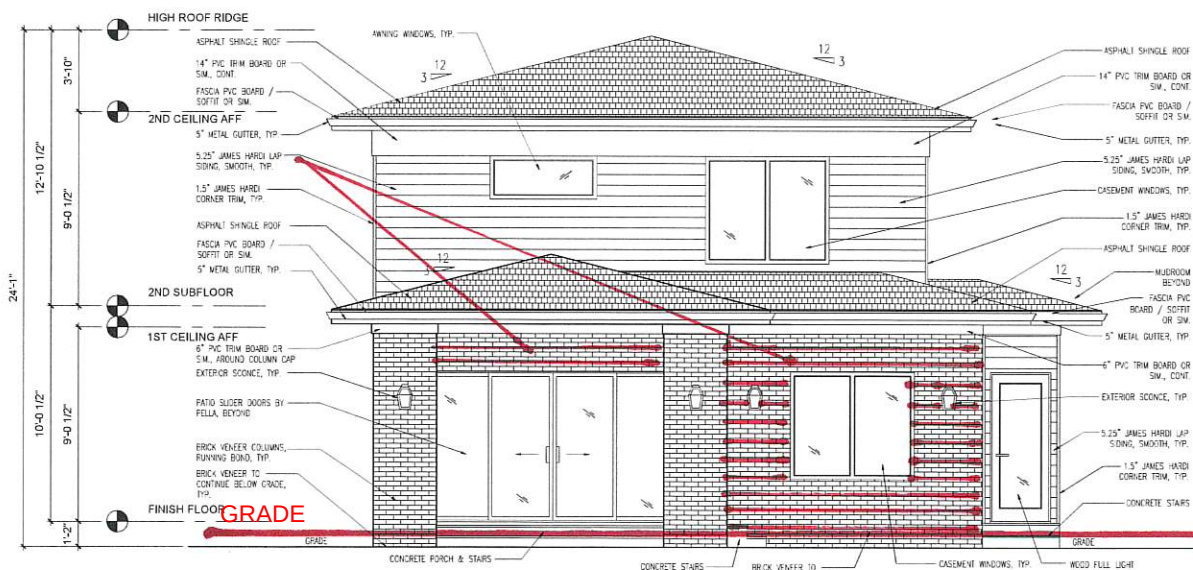
Urban Purpose Design, LLC
Design with Purpose
Live UP
120 North Candler St.
Suite 17
Decatur, GA 30030
912-944-5869
urbanpurpose.com



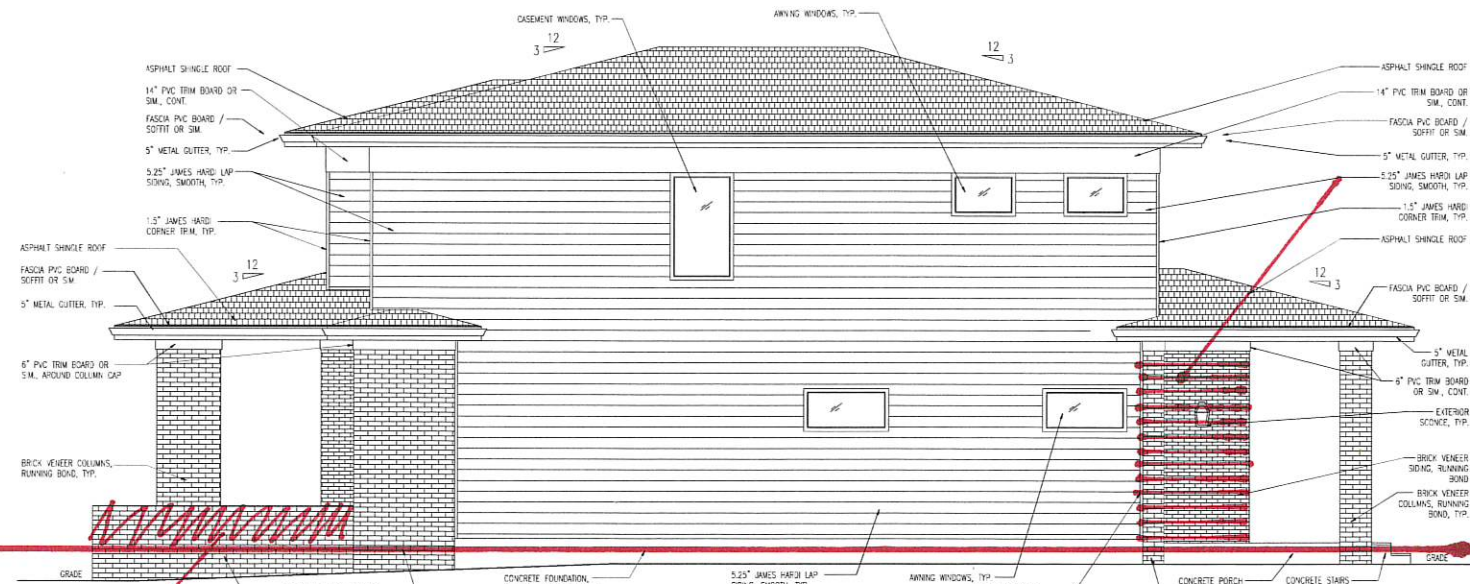
1 FRONT ELEVATION
A2.1
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
A2.1
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
A2.1
SCALE: 1/4" = 1'-0"



4 SIDE ELEVATION
A2.1
SCALE: 1/4" = 1'-0"

PLANTER NOT
INSTALLED DUE
TO BUDGET
CONSTRAINTS

NEW CONSTRUCTION

3312 MYRTLE ST
HAPEVILLE, GEORGIA 30534

EXTERIOR
ELEVATIONS

A2.1

Issued Date 08.10.2018

Project No. -

Drawn By: DH Checked By: -

Revisions

No.	Date	Description

Released for Construction