



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: August 1, 2019
TO: Tonya Hutson
FROM: Michael Smith
VIA: Lynn Patterson
RE: **Design Inspection – 3408 Orchard Street**

BACKGROUND

Section 93-24-3. - *Certificate of occupancy* of the City of Hapeville Zoning Ordinance prohibits the issuance of a certificate of occupancy to any structure requiring a building permit if the building does not comply with the plan approved by the City, as reprinted below:

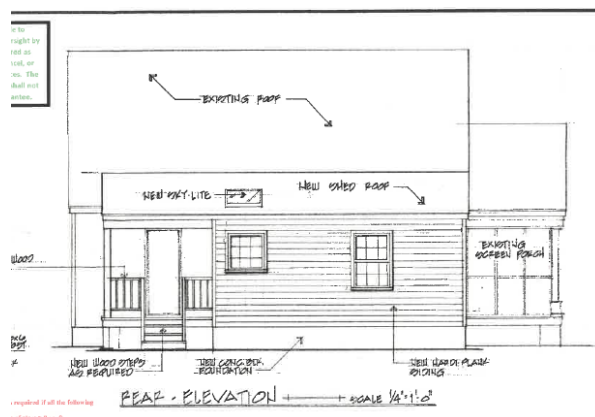
“(3) *Denial of certificate.* A certificate of occupancy shall not be issued unless the proposed use of a building or land conforms to the applicable provisions of this chapter, or unless the building, as finally constructed, complies with the sketch or plan upon which the building permit was issued.”

On August 1, 2019, staff visited 3408 Orchard Street to verify if a recently completed expansion to an existing single-family dwelling complied with the design plans submitted to the City and approved by the Design Review Committee. The findings of that visit are detailed below.

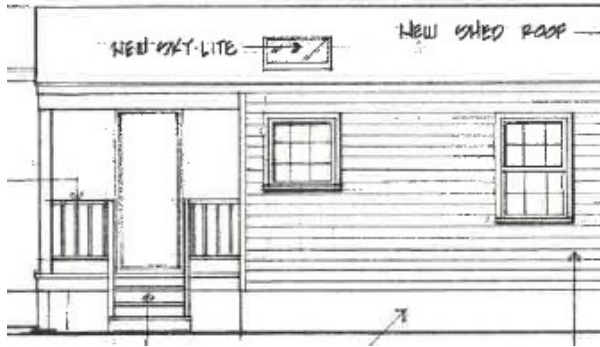
FINDINGS

The following are observed deviations in the final construction from the design plans approved by the Design Review Committee:

1. A dormer has been added to the upper floor above the new addition.



2. Window configuration has been slightly modified on the rear façade.



3. The deck has a different configuration from the approved plans, and wooden vertical members have been replaced with metal horizontal poles.

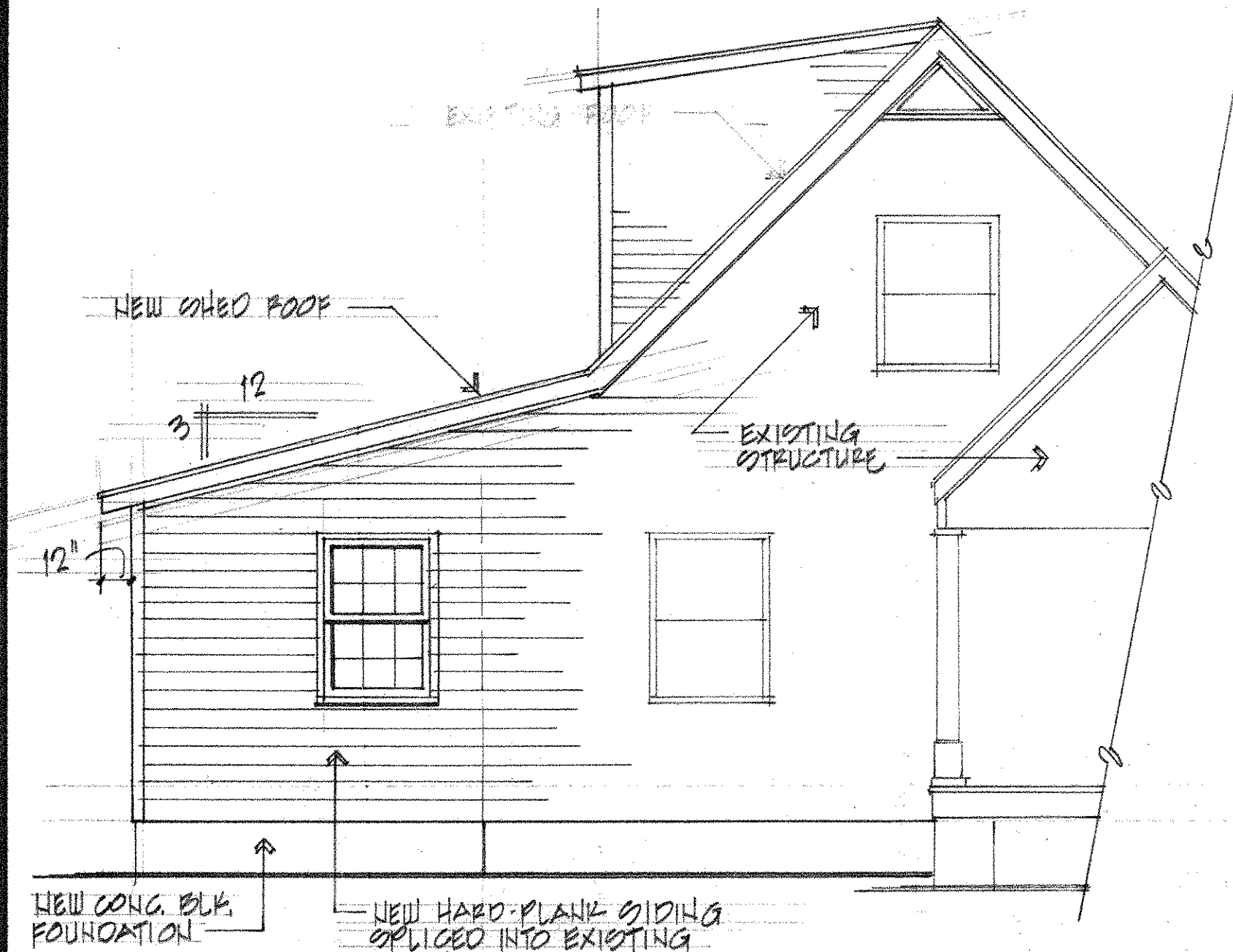


RECOMMENDATION

The final design of the house as constructed deviates from the approved designs. The applicant will need to submit revised plans to the City and present the plans for approval to the Design Review Committee.







A hand-drawn architectural sketch of a house elevation. The sketch shows a gabled roof on the left side, labeled "EXISTING ROOF". A new roof section, labeled "NEW SHED ROOF", is added to the right side of the house. The existing structure is labeled "EXISTING STRUCTURE". There are two windows on the existing structure. A deck with railings is shown on the right side, with labels for "6x6 WOOD POST", "NEW WOOD RAIL", "METAL RAIL", and "6x6 POST". The foundation is labeled "CONC. BLOCK FDR". The sketch includes various construction lines and dimensions, such as "12" and "3" for the roof pitch, and "8" and "2" for the existing structure's dimensions.

Architectural sketch of a two-story house with various annotations:

- EXISTING ROOF**: Points to the roofline of the upper section.
- EXISTING DORMER**: Points to the dormer window on the upper section.
- NEW DRY LITE**: Points to a small window on the main level.
- NEW SHED ROOF**: Points to the roofline of the main level.
- EXISTING SCREEN PORCH**: Points to the porch area on the right side.
- NEW CONC. BLK. FOUNDATION**: Points to the foundation of the main level.
- NEW HARD PLANK SIDING**: Points to the siding on the main level.

33'-0" EXISTING HOUSE

21'-4" ADDITION

9'-2"

2'-6"

1'-8"

9'-2"

2'-8"

1'-10"

10'-0" ADDITION

1'-2"

2'-10"

3'-4"

8'-0" NEW DECK

3'-4"

6'-8" EXIST.

20'-0" EXIST. HOUSE

1'-0"

2'-0"

3'-4"

5'-6"

4'-6"

14'-10"

3' x 3" P.H.

6" x 6" P.O. (PAIR 3')

EXISTING WALL TO BE REPLACED W/ NEW BEAM. 2 pr. 1 3/4" x 9 1/2" MICROLAM.

DEOROOM

EXIST. 2x8 C.J. TO REMAIN

6" x 6" P.O. (PAIR 3')

2'

2' x 2' P.O.

2'

HALL

BATH

SHOWER

6'-6" TUB

2-2x10 HEADER ABOVE

NEW SKYLITE ABOVE TUB

EXISTING LAUNDRY

EXISTING KITCHEN

EXISTING DINING

EXIST. NON-LOAD BEARING WALL TO BE REMOVED

LEGEND:

- EXIST. STUD WALLS
- NEW STUD WALLS
- REMOVED WALLS

Hand-drawn site plan for a residential property on Orchard Street. The plan shows a rectangular lot with dimensions 50.0' wide and 145.0' deep. A "NEW 24x20 GARAGE" is located at the top right. A "NEW CONC. DRIVE AND APRON" is shown as a curved path leading from the driveway to a "NEW DECK" and then to a "NEW ADDITION". The "NEW ADDITION" is a rectangular structure adjacent to the deck. Below the addition is the "EXIST. HOUSE" with a "3A0B" label. Below the house is the "EXIST. PORCH". An "EXISTING CONCRETE DRIVEWAY" is shown on the right side of the lot. The street "ORCHARD STREET" is at the bottom. Various dimensions are marked: 50.0' (width), 145.0' (depth), 24.0' (garage width), 20.0' (garage depth), 11.6' (driveway width), 2.3' (porch width), and 21.4' (house width).