



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: August 14, 2019
 TO: Tonya Hutson
 FROM: Lynn Patterson
 RE: **Design Review – 600 South Central Avenue ATM Addition**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Bethany Rooney on behalf of Regions Bank for the addition of a drive-up ATM to an existing building at 600 South Central Avenue. An existing drive-through teller window will be removed.

The property is zoned RMU, Residential Mixed-Use, is located within the A-D, Arts District overlay, and is subject to the requirements of the Commercial/Mixed-Use Area, Subarea B, of the Architectural Design Standards.

CODE

SEC. 81-1-6. COMMERCIAL/MIXED-USE AREA

(e) Parking and traffic standards.

- ⊘ Two curb cuts serving two one-way driveways shall be counted as one curb cut.
- ⊘ Public or private alleys or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
- ⊘ New public streets shall not count as curb cuts.
- ⊘ Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ⊘ Circular drives are prohibited, with the exception of hotel and hospital uses.
- ⊘ No curb cuts shall be permitted on North Central Avenue, South Central Avenue, Virginia Avenue or Atlanta Avenue when access can be provided from another street.
- ⊘ Driveways shall have widths of:
 - One-family attached dwellings.* A minimum of ten feet for a one-way and a maximum of 15 feet for two-way.
 - All other uses.* A maximum of 12 feet for one-way and a maximum of 24 feet for two-way.
- ⊘ Carports are only permitted subject to the following requirements:
 - Carports shall be located in the rear or side yard and shall not be visible from a public right-of-way.

Carport roofs shall be supported by columns with a minimum width and depth of eight inches.

The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.

- ⊖ Parking is prohibited in the supplemental area and between a building and the adjacent street. This shall not be interpreted as restricting on-street parking.
- ⊖ A continuous off right-of-way landscape buffer with a minimum width of ten feet shall be provided between parking and the adjacent sidewalk. This requirement shall apply when existing sidewalks not meeting this requirement are repaired or replaced.
- ⊖ Parking decks shall conceal automobiles from visibility and have the appearance of a horizontal storied building on all levels; parking structures must be faced in full-depth brick, stone, cast stone, or precast concrete faced in or having the appearance of brick or stone. Retail or restaurant fronted decks are encouraged.
- ⊖ Underground parking is allowed when possible.
- ✗ Drive-through windows and all vehicular queuing, when permitted by zoning, shall be placed to the rear or side of the building facade, shall not be visible from any public right-of-way, and shall not be located within 25 feet of the back of the required sidewalk.
- ⊖ Gasoline and service stations shall place all fuel dispensing, service canopies and service entry doors to the rear of the building and away from the public right-of-way. Said facilities and associated queuing shall not be visible from any adjacent street or located within 25 feet of the sidewalk.

NOTES: **The new drive-through would be partially visible from the right-of-way.**

(g) Facade and style standards.

- ✓ Exterior facade materials shall be limited as follows:
 - Subarea A.* Unpainted full-depth brick.
 - ✓ *Subarea B.* Full-depth brick, cast stone, hard-coat stucco, fiber-cement siding, natural-wood siding or stacked stone.
 - Subarea C.* See neighborhood conservation area.
 - Remaining commercial/mixed-use area.* Full-depth brick, cast stone, hard-coat stucco, fiber-cement siding, natural-wood siding or stacked stone.
 - Split-face block.* In addition to the above materials, split-face block may be utilized on exterior facades, but only along a non-enfronting side or rear facade that is not visible from an adjacent street, public park, or plaza.
 - [Materials on enfronting facades.]* The materials utilized along an enfronting facade shall be provided for the first 20 feet in length along adjacent non-enfronting facades.
 - [Façade colors, materials.]* Facade colors and materials shall be limited to three per facade face.
- ⊖ Where allowed, the combined enfronting facade area covered with fiber-cement siding and/or natural-wood siding shall not exceed 20 percent of the total enfronting facade area, provided that:
 - Where a development includes only one building this requirement shall apply to said building.
 - Where a development includes two or more buildings this requirement shall apply to the sum of the total enfronting facade areas. This may result in individual buildings containing front facades entirely of fiber cement siding and/or natural wood siding.
- ✓ Where allowed, hard-coat stucco shall have a smooth finish. Furthermore, architectural details such as sills, trim, pediments, cornices, railings, door enframements, or similar details shall not be of stucco.

- ⊙ In subarea A exterior building colors shall be consistent with the existing historic characteristics of each individual building as a contributing resource from its significant period of design and style. If the building was designed to be of natural or unique brick pattern, it should be returned to this style. All mortar and brick repairs should match the material and hue. Earth hues are suggested for paint, when used on most facades of brick construction, however there may be exceptions. A palette should be established on a building-by-building basis, with a suggested complimentary hue trim color to the base color. It is highly suggested the complete building color palette be limited to three colors for field and trim selections. Two adjacent buildings may use the same color palette only if the field and trim colors are reversed on each of the buildings. No sandblasting or abrasive cleaning methods (including high-pressure washes) shall be used on facades. Final review of selected color, restoration procedures, fixtures, and applications shall be coordinated on a building-by-building analysis through individual design review of visual concepts. The DRC shall make these determinations based on these standards, taking in consideration the style of the building, the nature and marketing of the applying business, the Main Street guidelines, the secretary of the interior's guidelines for renovation, section 93-2-7 et seq. of the zoning ordinance, and the standards for historic preservation.
- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ⊙ Enfronting upper and lowers facades shall be differentiated. Potential ways to achieve this include windows, belt courses, cornice lines or similar architectural details. This is intended to prevent buildings in which individual floors cannot be identified from the building exterior; it should not be interpreted to limit architectural expression.
- ⊙ Blank, windowless walls are prohibited along enfronting facades, except where a building enfronts multiple streets. In the latter case, it was not historically uncommon for buildings (especially commercial or mixed-use ones) to orient towards the more intensely developed street. As such, along the first story of enfronting mixed-use and commercial facades this requirement may be waived by the building official along streets that are predominantly residential in character when:
 - The first 20 feet of said facade meets the above requirements, and
 - The area beyond the first 20 feet is treated with architectural detailing, such as pilasters, false windows, or similar features.
- ⊙ Enfronting upper-story windows are encouraged to be equally sized, vertically oriented, equally spaced and arranged in a grid pattern.
- ⊙ Foundations shall be constructed as a distinct building element that contrast with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in full-depth brick, natural stone, or cast stone.
- ⊙ Vending machines, video or other outdoor merchandise displays, mechanical/electrical games, amusement rides, telephones, ice machines, freestanding automated teller machines excluding automated teller machines attached to buildings or integrated into buildings by canopies, and shopping carts shall be placed within the structure of a building and shall be out of view from the public right-of-way.
- ⊙ Safety pylons, bollards, and trash receptacles in the supplemental area or along an enfronting facade shall be permitted based upon design compatibility with the main facade and neighboring comparable facilities.

(h) Door and window standards.

- ⊙ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ⊙ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ⊙ First-story doors or windows operating on sliders are only permitted when they open directly onto a required sidewalk or supplemental zone.
- ⊙ Building numbers, at least six inches in height, shall be located above or beside the street-facing pedestrian entrance.

- ⊗ Window panes serving commercial uses shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade.
- ⊗ Where window lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids between glass are prohibited.
- ⊗ Where used, window shutters shall match one-half the width of the window opening.
- ⊗ Enfronting windows shall be vertically shaped with a height greater than width, including display windows but not transoms.
- ⊗ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ⊗ Painted window or door glass is prohibited.
- ⊗ All enfronting "storefront and awning" treatments identified in Figure 3, and all enfronting facades along Atlanta Avenue, North Central Avenue, South Central Avenue, Virginia Avenue, Dogwood Drive (except within subarea C), and Sylvan Road shall provide a storefront consisting of:

A nonglass base or knee wall beginning at grade and extending not more than 24 inches above the sidewalk.

A glass display window beginning at the top of the bulkhead or knee wall, to a height not less than ten feet and not more than 12 feet above the adjacent required sidewalk. Such glass shall provide views into display windows having a minimum depth of two and one-half feet and that are accessible from the building interior.

A main entry door remaining unlocked during normal business hours, and having a surface area that is a minimum of 70 percent glass.

A glass transom located above the glass display window having a minimum height of 18 inches and a maximum height of 36 inches.

A minimum of 75 percent of the length of the enfronted portion of the build-to line shall be provided in glass, including glass doors and display windows.

No linear distance of more than ten feet without intervening glass display windows or glass doors.

First-story drop ceilings recessed a minimum of 18 inches from the display window opening.

- ✗ Awnings projecting from buildings, serving as an entry canopy and/or providing identification to the business, are allowed, provided that:

- ✗ Awnings shall be at least five feet deep as measured from the building's front facade.
- ⊗ Awnings serving as an entry canopy shall match adjacent business awnings in depth and height.
- ✓ Valance width and height must align horizontally.
- ⊗ Frame construction on awnings should be square aluminum tubes. Thin, one-and-one-half-inch-diameter round aluminum tube frames are not permitted. It is suggested that Steel Stitch™ brand be used.
- ⊗ Valance on awnings should always be loose as valances should not be rigidly framed.
- ⊗ Approved awnings may be externally lighted with light fixtures in keeping with the style of the building, as approved by the DRC.
- ✓ Light fixtures in awnings may light the ground surface or storefront below, however, light fixtures may not be visible from the public right-of-way.
- ⊗ Internally, back lit awnings, where the lights actually illuminate the awning fabric, are prohibited.
- ⊗ Signs on awning must meet all requirements of the sign ordinance.

NOTES: Awnings must be 5' deep. The proposed awning above the ATM is 3' deep, which is not compliant and will require a design exception

FINDINGS

Currently, drive-throughs of any kind are prohibited in the A-D overlay. A text amendment to the zoning code to allow drive-throughs specifically for banks and credit unions in A-D was submitted by staff at the request of Regions Bank and recommended for approval by the Planning Commission on August 13, 2019. However, pending the final decision of Mayor & City Council, the applicant cannot proceed with development. This design review application, if approved, must be approved conditioned on the ratification of the text amendment.

Drive-throughs shall not be visible from the public right-of-way. The existing drive-through lane window is visible from the right-of-way, as would be the proposed ATM and awning, which is not compliant and will require a design exception. A design exception will also be required to allow the provided awning to be less than 5' deep.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: JUN 18 2019

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Regions Bank (Bethany Rooney) Contact Number: 205-252-8222 x318

Applicants Address: 2100 First Avenue North, Suite 100, Birmingham, AL 35203

E-Mail Address: bethany.rooney@bdqllp.com Zoning Classification: AMU

Address of Proposed Work: 600 South Central Avenue

Parcel ID# (INFORMATION MUST BE PROVIDED): 14 009800200513

Property Owner: Regions Bank (John Earley) Contact Number: 205-560-5348

Project Description (including occupancy type): Addition of a new thru-wall ATM and removal of existing drive-thru window at existing branch location.

Contractors Name: TBD Contact Number: TBD

Contact Person: Bethany Rooney Contact Number: 205-252-8222 x318

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.


Applicants Signature

06/17/19
Date

Project Class (check one):

☐ Residential ☒ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☒ Addition to Existing Commercial Building
☐ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☐ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: 0

Total Square Footage of existing building: _____

Estimated Cost of Construction: \$40,000.00

List/Describe Building Materials on the exterior of the **existing** structure: _____

White Stone Masonry

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

Reuse of salvaged stone masonry and minimal addition of new white stucco to match

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I BLT swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTICOOOR_CH81ARDEST
- ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

Philip M Kennedy
Printed Name

Philip M Kennedy
Signature

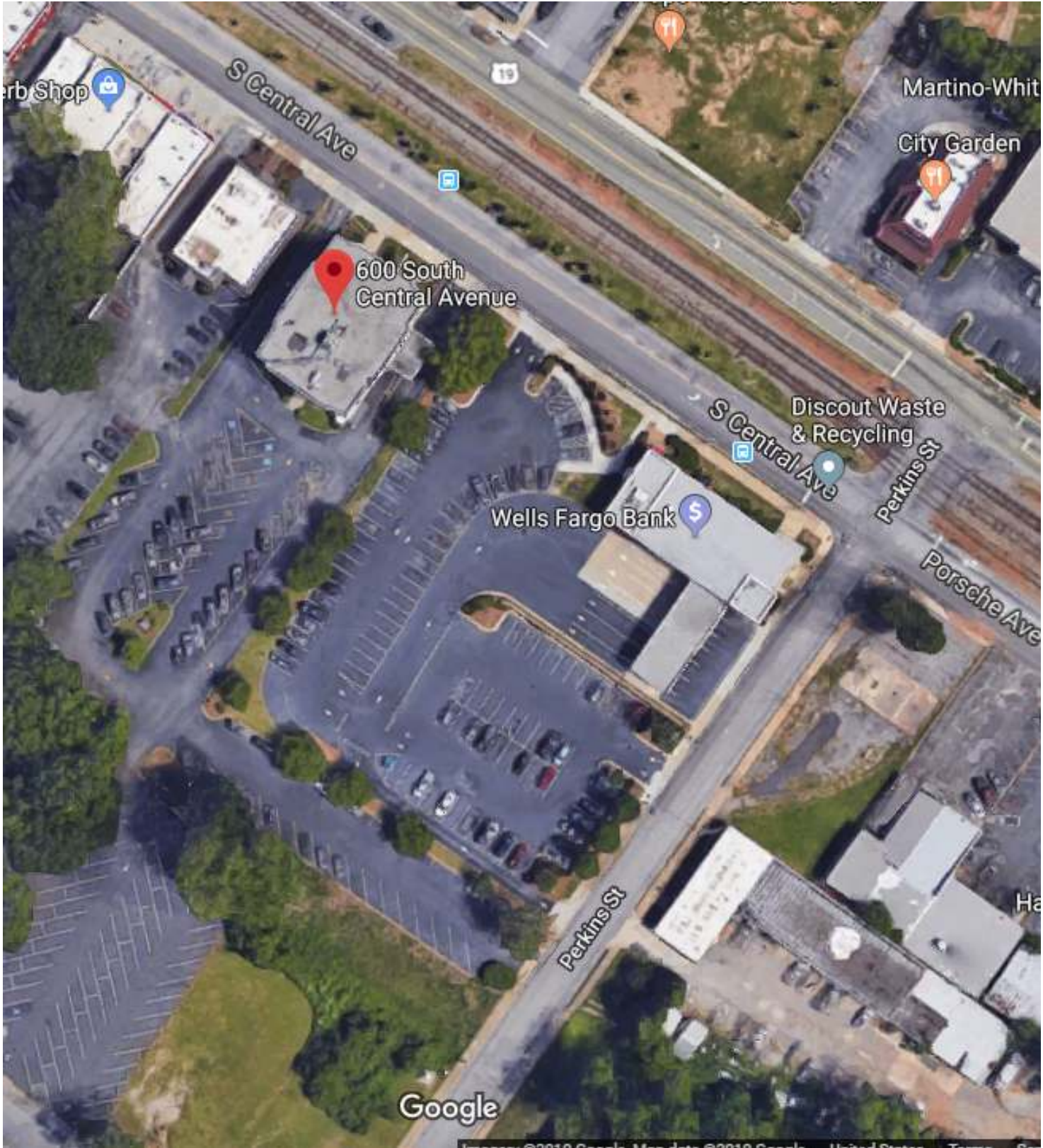
6-14-19
Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.



RFC #
Project Number: OP015475
Site Name:
Address: 600 South Central Ave.
City, ST, Zip: Hapeville, GA 30354
Date: 6/5/19



Site Approved: _____
Date: _____

CANOPY SPECIFICATIONS

ALUMINUM AWNING W/ DOWN LIGHTING.
ALUMINUM FRAMING & SUPPORTS PAINTED
PMS 370C ALUMINUM FRAME, WITH .080"
ALUMINUM CLADDING, CLOSED ENDS, CLOSED BACKS.
PAINTED PMS 370C.

COLOR SPECIFICATIONS

- PMS 370C GREEN
- WHITE

Allen Industries

FILE NUMBER: E212503

US

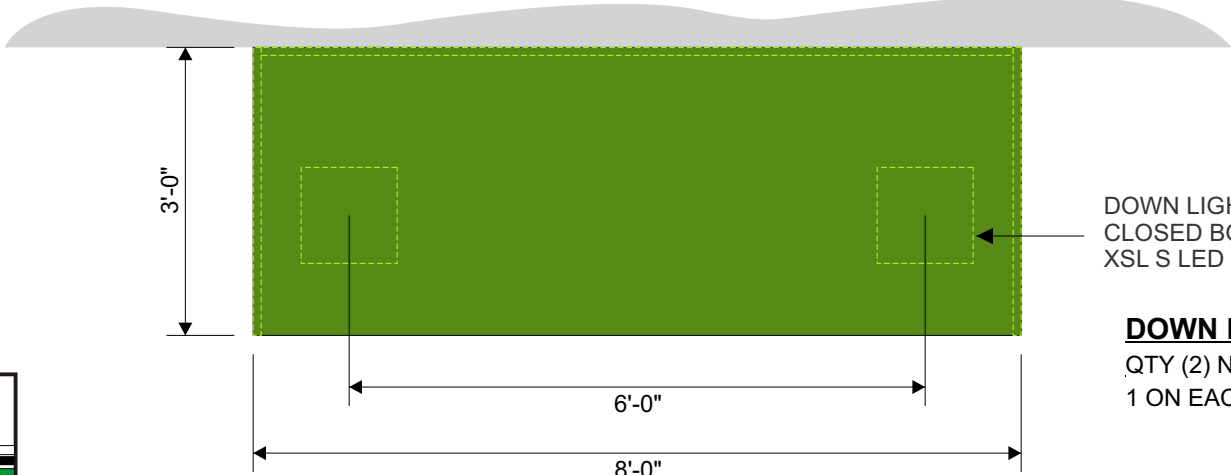
ELECTRIC SIGN

LISTED

GROUNDING

ELECTRICAL CONNECTIONS

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

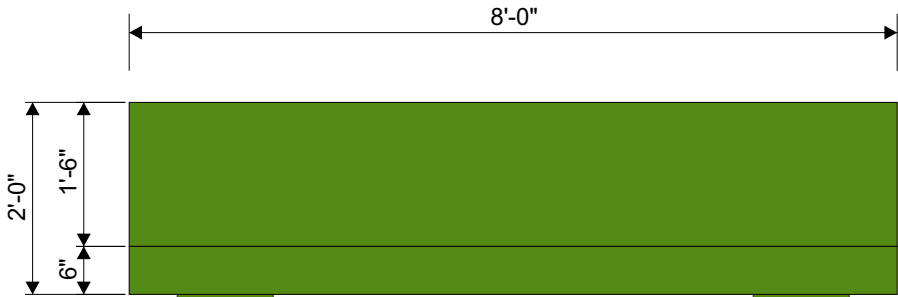


DOWN LIGHTING
CLOSED BOTTOM WITH HOLES CUT FOR
XSL S LED 50 SS CW LIGHT FIXTURES

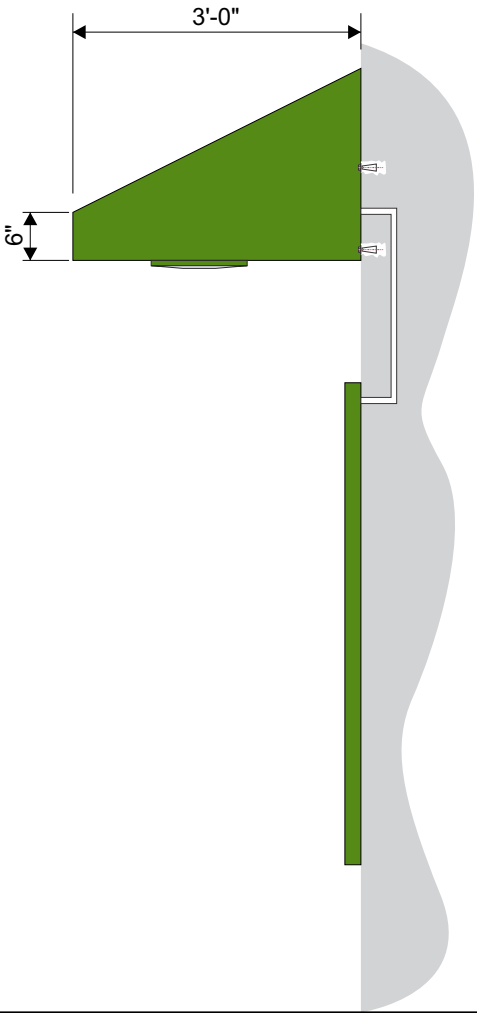
DOWN LIGHTING SPECIFICATIONS:

QTY (2) NEW XSL S LED 50 SS CW LIGHT FIXTURES FOR NEW AWNING,
1 ON EACH SIDE OF AWNING PAINTED GREEN TO MATCH AWNING

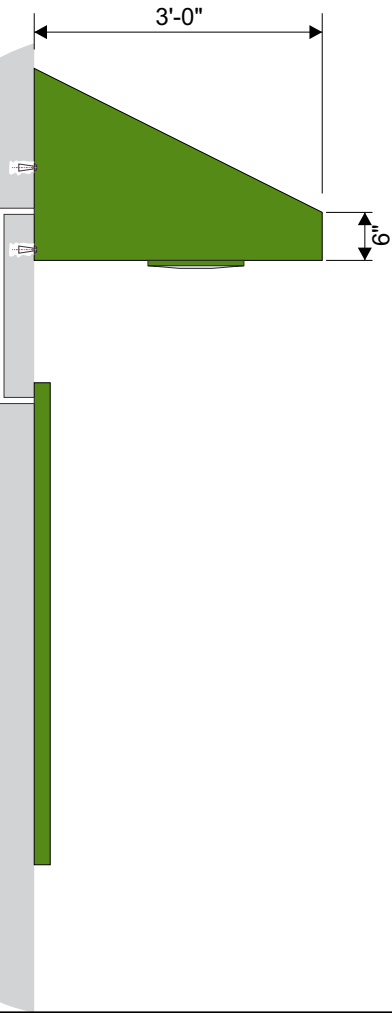
TOP VIEW
SCALE: 1/2" = 1'-0"



FRONT VIEW
SCALE: 1/2" = 1'-0"



RIGHT SIDE VIEW
SCALE: 1/2" = 1'-0"



LEFT SIDE VIEW
SCALE: 1/2" = 1'-0"



Client Review Status

Allen Industries, Inc. requires that an " ☒ Approved" drawing be obtained from the client prior to any production release or production release revision.

☐ Approved ☐ Approved as Noted ☐ Revise & Resubmit

Name _____ Date _____

Title _____

Declaration

Copyright © 2019 Allen Industries, Inc.

This is an original, unpublished drawing, created by Allen Industries, Inc. This drawing is submitted to you in confidence for your use solely in connection with the project being planned for you by Allen Industries, Inc. and is not to be shown to anyone outside your organization, nor used, reproduced, copied or exhibited in any fashion whatsoever. The designs shown on the drawing (except for any registered trademarks that may belong to a client of Allen Industries, Inc.) remain the property of Allen Industries, Inc.

Date / Description

Date	Issue	Description
6/4/19	1	Change light spec
6/5/19	2	-
-	3	-
-	4	-

Project Information

Client **Regions Bank**

600 South Central Ave.

Hapeville, GA 30354

File **OP015475 Hapeville, GA 301**

Sales **House** Design **LB** PM **JC**

PROPOSED ELEVATION



PHOTO ELEVATION DEPICTION INTENDED FOR GENERAL CONCEPT ILLUSTRATION ACTUAL SIZING, COLORS & PERSPECTIVE WILL VARY SLIGHTLY FROM IMAGE

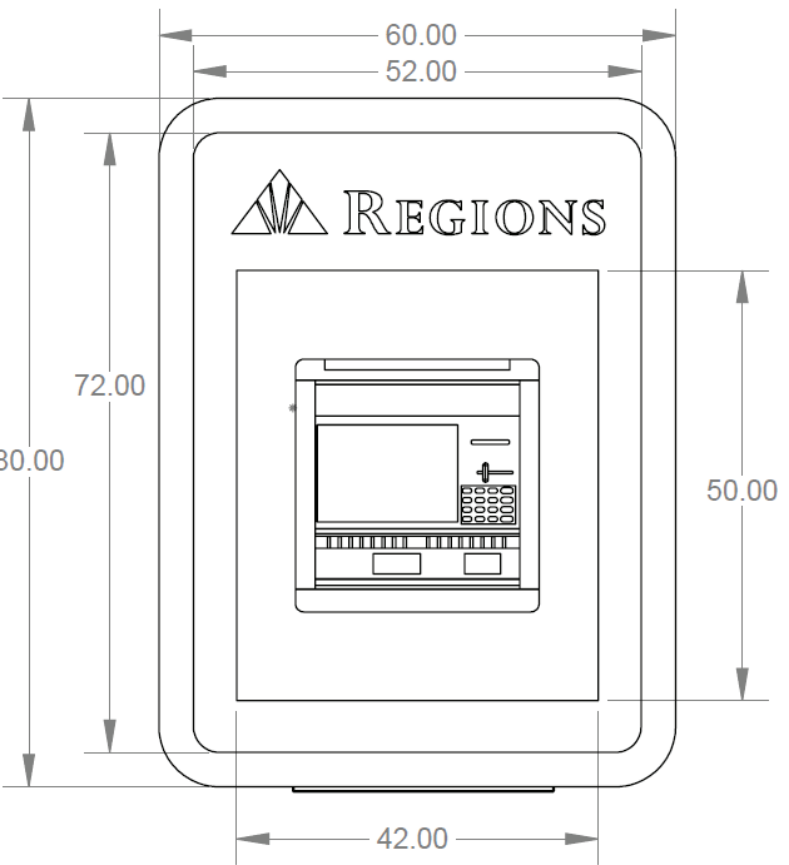


"REGIONS GREEN"
8'-0" x 3'-0" ALUMINUM
AWNING -
BOTTOM OF FRAME TO BE
10'-0" ABOVE DRIVING
SURFACE

TYPICAL SURROUND

THRU-WALL DRIVE-UP ATM

REGIONS ATM INFORMATION



ATM SURROUND DIMENSIONS
TO BE AS SHOWN ABOVE.

DIMENSIONS OF ATM UNIT ARE
AS FOLLOWS:
HEIGHT: 5' - 8"
WIDTH: 3' - 2 1/2"

THE BASE OF THE ATM WILL BE
2' - 9 1/2" ABOVE FINISHED
FLOOR.



HAPEVILLE MAIN
EXTERIOR PHOTO
NEW WORK

