



## DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: August 14, 2019  
 TO: Tonya Hutson  
 FROM: Lynn Patterson  
 RE: **Design Review – 3429 Rainey Avenue Remodel**

### Key:

Compliant: ✓  
 Not Compliant: ✗  
 Incomplete: ✎  
 Not Applicable: ⊗

### BACKGROUND

The City of Hapeville has received a design review application from Andy Steele to renovate an existing one-story single-family dwelling located at 3429 Rainey Avenue. The renovations would add a second story extending above a new screened in porch on the north side of the house. The final proposed floor area has not been provided. The finished height of the dwelling will be 32'. The property is zoned R-SF, Residential Single-Family, and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

### CODE

#### SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

##### **(a) Site development standards**

- ✗ Except where indicated, setbacks shall be established by zoning.
- ⊗ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ⊗ Minimum building heights shall be established by zoning.
- ⊗ Within subareas D and E maximum building heights shall be as established by zoning, except that:
  - Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.
  - Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.
  - Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.
  - Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.
- ✓ Outside of subareas D and E maximum building heights shall be as established by zoning.
- ✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.

- ✓ Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
- ✓ Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.  
Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.  
The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

**STAFF COMMENT:**

- Existing property is set back 3' from the northern property line, which does not conform with the 5' side setback requirement of the R-SF zone. The applicant has applied for a variance to allow construction within 5' of the property line.

**(b) Supplemental Area and Fence Standards**

- ✓ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.
- ⊙ Chain link fencing is not permitted in areas visible from a public right-of-way.
- ⊙ On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- ⊙ Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
- ⊙ Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- ⊙ All street-facing walls shall be faced with stone, brick, or smooth stucco.
- ⊙ Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

**STAFF COMMENT:**

**(c) Utility Standards**

- ✋ Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- ⊙ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- ⊙ Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
- ✗ All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- ⊙ Trees shall not be planted directly above storm drains.

**STAFF COMMENT:**

- The plans do not show the location of utility mechanical features and does not specify if they are to be changed or moved during remodeling. The applicant should clarify if the scope of the project includes utilities and show utilities on the plans.
- The Applicant should include a light at the front door on plans.

**(d) Parking and Traffic Standards**

👉 One-family detached dwellings and two-family dwellings shall meet the following requirements:

👉 Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.

Circular drives are permitted.

A grass strip in the middle of driveways is encouraged.

⊖ All other buildings shall meet the following requirements:

Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.

Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.

Two curb cuts serving two one-way driveways shall be counted as one curb cut.

Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.

New public streets shall not count as curb cuts.

Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.

✗ Carports are only permitted subject to the following requirements:

✗ Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.

Carport roofs shall be supported by columns with a minimum width and depth of eight inches.

The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.

✗ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.

⊖ Garage access on single-family lots shall be prohibited in the front yard of the home.

**STAFF COMMENT:**

- The width of the existing driveway has not been provided.
- The existing non-conforming carport will remain and will be integrated into the new development.
- Parking is prohibited in the supplemental area, including on a paved driveway. Per zoning, R-SF requires two off-street parking spaces per dwelling. The new construction will remove most of the driveway along the side of the house and reduce the amount of provided off-street parking to approximately one space, which will require a design exception.

**(e) Roof and Chimney Standards**

👉 Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.

✓ Roof shingles shall be slate, cedar, or asphalt.

⊖ Roof tiles shall be clay, terra cotta or concrete.

- ⊙ Metal roofs are:
  - Allowed on one-family and two-family detached dwellings;
  - Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- ✎ Gutters shall be copper, aluminum or galvanized steel.
- ✎ Downspouts shall match gutters in material and finish.
- ⊙ Roof forms shall be based on architectural style.
- ✎ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊙ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊙ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊙ Chimneys on exterior building walls shall begin at grade.
- ⊙ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

- STAFF COMMENT:**
- **The Applicant should provide the roof material of the existing dwelling and proposed addition and ensure the new roofing material is guaranteed for at least 30 years.**
  - **The Applicant should indicate the location and material of gutters and downspouts.**
  - **The Applicant should provide the distance the existing and proposed roofs extend beyond the building facades.**

***(f) Street Facing Facade and Style Standards.***

- ✓ Exterior facade materials shall be limited to:
  - Full-depth brick;
  - ✓ Natural or cast stone;
  - ✓ Smooth natural-wood siding and/or cement-based siding;
  - ✓ Shake siding;
  - Painted fish-scale style shingles, but only when used in front gables;
  - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ✓ Exterior building materials shall not be:
  - Simulated brick veneer, such as Z-Brick;
  - Exterior insulation and finish systems (EIFS);
  - Exposed concrete block;
  - Metal siding or other metal exterior treatment;
  - Glass curtain walls;
  - Liquid vinyl;
  - T-1-11 siding;
  - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.
- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.

- ✓ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- ✓ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✗ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- 👉 Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- ⊖ Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✓ Porch and stoop foundations shall be enclosed.
- ⊖ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊖ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ✓ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊖ Stoops shall provide a minimum top landing of four feet by four feet.
- ✓ Stoop stairs and landings shall be of similar width.
- ✓ Stoops may be covered or uncovered.
- ✓ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ⊖ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ✓ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Enfronting porches may have multistory verandas, living space, or balconies above.
- ✓ Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- ⊖ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊖ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊖ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Balconies may be covered or uncovered.

**STAFF COMMENT:**

- No changes are proposed to the size, shape, or spacing of the existing front porch.
- The front porch will have new brick stairs, which are being built from grade to the existing height of the porch.
- Although not visible from the right-of-way, the proposed side porch is screened, which is not compliant and would require a design exception.
- Porches must be made of painted or stained wood, stone, brick, or ornamental metal. The Applicant should provide the materials used in the new porch.

**(g) Door and window standards.**

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✓ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ✗ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- Doors that operate as sliders are prohibited along enfronting facades.
- ✎ Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- ✎ Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- ✎ Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- Where used, window shutters shall match one-half the width of the window opening.
- Painted window or door glass is prohibited.
- Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ✎ Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ✎ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- ✎ Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- ✎ Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

**STAFF COMMENT:**

- The Applicant should provide building numbers on the drawings adjacent to the front entrance.
- If used, the Applicant should ensure window lights are not grids-between-glass.
- Necessary information for determining compliance with window standards provided in Sec. 81-1-7(g) has not been provided. The applicant should provide the following for new and existing windows, including those on the door:
  - Window dimensions.
  - Windowpane recession from façade.
  - Window trim material, size, and relief from façade.
  - Width of window mullions between grouped windows.
  - Windowsill materials.
- A window is being removed from the front facade and the proposed addition will

**add a street facing wall without any windows. Windows must be provided for between 30% - 50% of the total street facing facade. The Applicant should provide the width of the street facing facade.**

**(h) Detached one-family dwellings/ two-family dwellings.** In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

- ⊙ **First Stories.** First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
- ⊙ **Window Sills.** Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
- ⊙ **Wheelchair access.** Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.
- ✗ **Architectural style.** Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

New homes in the neighborhood conservation area should be designed to reflect the principal traditional styles found in the community. These include national folk, Queen Anne, ranch, Tudor revival, craftsman, and minimal traditional styles.

These styles, however, do not reflect the only styles historically found in Hapeville, which also includes a few occurrences of neocolonial revival. Where an applicant desires to utilize a style historically found in Hapeville, but not reflected in the six principal styles identified in subsections (4)a. through (4)e., they shall provide the Design Review Committee with photo documentation of the relevant style in Hapeville, a description of the key features of such style, and written justification of such style's appropriateness for the community.

**STAFF COMMENT:**

- **Scope of project does not include changes to building height above grade or of first floor window height above finished floor elevation.**
- **The current structure is a Craftsman home. The addition will significantly alter the appearance of the building, creating an unconventional design that does not reflect any of the traditional styles found in Hapeville.**

- ⊙ **Outbuildings.** In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
- ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
- iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
- iv. Outbuildings shall be of compatible material and architectural style to the principal building.
- v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

## **STAFF COMMENT:**

### **FINDINGS**

The proposed addition will alter the appearance of the dwelling, creating an unconventional, asymmetrical form that does not reflect any of the traditional styles found in Hapeville. The Applicant should provide a justification of the new style's appropriateness for the community along with photo documentation of similar designs in the city.

In addition, the following items have been found to be missing or deficient and should be addressed prior to formalizing a recommendation:

1. Existing property is set back 3' from the northern property line, which does not conform with the 5' side setback requirement of the R-SF zone. The applicant has applied for a variance to allow construction within 5' of the property line.
2. The plans do not show the location of utility mechanical features and does not specify if they are to be changed or moved during remodeling. The applicant should clarify if the scope of the project includes utilities and show utilities on the plans.
3. The Applicant should include a light at the front door on plans.
4. The width of the existing driveway has not been provided.
5. Parking is prohibited in the supplemental area, including on a paved driveway. Per zoning, R-SF requires two off-street parking spaces per dwelling. The new construction will remove most of the driveway along the side of the house and reduce the amount of provided off-street parking to approximately one space, which will require a design exception.
6. The Applicant should provide the roof material of the existing dwelling and proposed addition and ensure the new roofing material is guaranteed for at least 30 years.
7. The Applicant should indicate the location and material of gutters and downspouts.
8. The Applicant should provide the distance the existing and proposed roofs extend beyond the building facades.
9. Although not visible from the right-of-way, the proposed side porch is screened, which is not compliant and would require a design exception.
10. Porches must be made of painted or stained wood, stone, brick, or ornamental metal. The Applicant should provide the materials used in the new porch.
11. The Applicant should provide building numbers on the drawings adjacent to the front entrance.
12. If used, the Applicant should ensure window lights are not grids-between-glass.
13. Necessary information for determining compliance with window standards provided in Sec. 81-1-7(g) has not been provided. The applicant should provide the following for new and existing windows, including those on the door:
  - a. Window dimensions.
  - b. Windowpane recession from façade.
  - c. Window trim material, size, and relief from façade.
  - d. Width of window mullions between grouped windows.
  - e. Windowsill materials.
14. A window is being removed from the front facade and the proposed addition will add a street facing wall without any windows. Windows must be provided for between 30% - 50% of the total street facing facade. The Applicant should provide the width of the street facing facade.

# CITY OF HAPEVILLE

## DESIGN REVIEW APPLICATION

SUBMITTAL DATE: JUL 16 2019

**NOTE:** All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Andy Steele Contact Number: [REDACTED]

Applicants Address: 255 East Lanier Ave, Fayetteville GA 30214

E-Mail Address: [REDACTED] Zoning Classification: R-SF

Address of Proposed Work: 3429 Rainey Ave, Hapeville GA

Parcel ID# (INFORMATION MUST BE PROVIDED): 14012700030592

Property Owner: Mindi Dalton Contact Number: [REDACTED]

Project Description (including occupancy type): add a 2nd story to an existing 2 bedroom 1 bath converting it to a SFR 4 bedroom 3 bath and adding a screen porch

Contractors Name: Park Atlanta Homes Contact Number: [REDACTED]

Contact Person: Andy Steele Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Andy Steele  
Applicants Signature

7-15-19  
Date

**Project Class (check one):**

☒ Residential      ☐ Commercial      ☐ Mixed-Use Development

**Project Type:**

☐ New Commercial Construction      ☐ Addition to Existing Commercial Building  
☒ Addition to Existing Residential Structure      ☐ Accessory Structure  
☐ Site Plan, Grading & Landscaping      ☐ New Single Family Residential Construction  
☐ Other

Total Square Footage of proposed New Construction: 1938

Total Square Footage of existing building: 1032

Estimated Cost of Construction: 230,000

List/Describe Building Materials on the exterior of the **existing** structure: \_\_\_\_\_

stone porch  
brick foundation  
Siding on all 4 sides  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

List/Describe Building Materials **proposed** for the exterior facade of the new structure: \_\_\_\_\_

Existing stone + brick to remain  
New windows + Hardi Siding  
Hardi Shakes on upper portion  
Arch. Shingles on roof  
\_\_\_\_\_  
\_\_\_\_\_

# NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

---

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I Andy Steele AS swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



**DEPARTMENT OF PLANNING AND ZONING**

**DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT**

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:  
[https://library.municode.com/ga/hapeville/codes/code\\_of\\_ordinances?nodeId=PTIICOR\\_CH81ARDEST](https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOR_CH81ARDEST)
- ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

Andy Steele

Printed Name

Andy Steele

Signature

7-15-19

Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

Deed Book 39550 Pg 440  
 Filed and Recorded Mar-08-2005 02:00pm  
 2005-0104942  
 Real Estate Transfer Tax \$118.00  
 Juanita Hicks  
 Clerk of Superior Court  
 Fulton County, Georgia

RETURN TO:  
 Morris & Schneider, P.C.  
 2401 Lake Park Drive, Suite 160  
 Smyrna, Georgia 30080  
 Final Documents  
 File #: JON-050200140S

WARRANTY DEED

STATE OF GEORGIA  
 COUNTY OF CLAYTON

THIS INDENTURE made this 24th day of February, 2005, between SAMUEL LOVING AND KRISTIN A. LOVING, as party or parties of the first part, hereinafter called Grantor, and MELINDA S. DALTON, as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of TEN AND 00/100 DOLLARS (\$10.00) and other good and valuable consideration in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee, the following described property:

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN THE CITY OF HAPEVILLE, GEORGIA, BEING LAND LOT 127, 14TH DISTRICT, FULTON COUNTY, GEORGIA, BEING LOT 105 OF THE VIRGINIA PARK SUBDIVISION, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

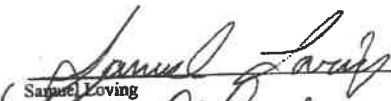
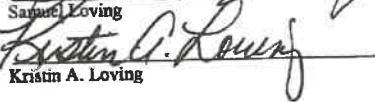
BEGINNING AT A POINT ON THE WEST SIDE OF RAINEY AVENUE, A DISTANCE OF 100 FEET NORTH OF THE NORTHWEST CORNER OF ORCHARD STREET AND RAINEY AVENUE AT THE NORTHEAST CORNER OF LOT 106; RUNNING THENCE NORTH ALONG THE WEST SIDE OF RAINEY AVENUE, A DISTANCE OF 50 FEET TO LOT 104; THENCE WEST OF SOUTH LINE OF SAID LOT, A DISTANCE OF 150 FEET TO LOT 96; THENCE SOUTH ALONG THE EAST LINE OF LOT 96, A DISTANCE OF 50 FEET TO LOT 106; THENCE EAST ALONG THE NORTH LINE OF SAID LOT 150 FEET TO THE POINT OF BEGINNING ON THE WEST SIDE OF RAINEY AVENUE, BEING IMPROVED PROPERTY KNOWN AS 3429 RAINEY AVENUE, HAPEVILLE, GEORGIA 30354 ACCORDING TO THE SYSTEM OF NUMBERING HOUSES IN FULTON COUNTY, GEORGIA AND BEING THE SAME PROPERTY CONVEYED TO KRISTIN R. ANDERSON BY VIRTUE OF WARRANTY DEED DATED ON MARCH 16, 2000 AND RECORDED IN DEED BOOK 28931, PAGE 199; FULTON COUNTY, RECORDS.

Subject to all easements and restrictions of record.

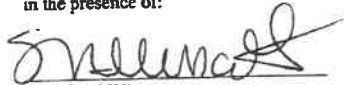
TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee, forever in FEE SIMPLE.

AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this day and year first above written.

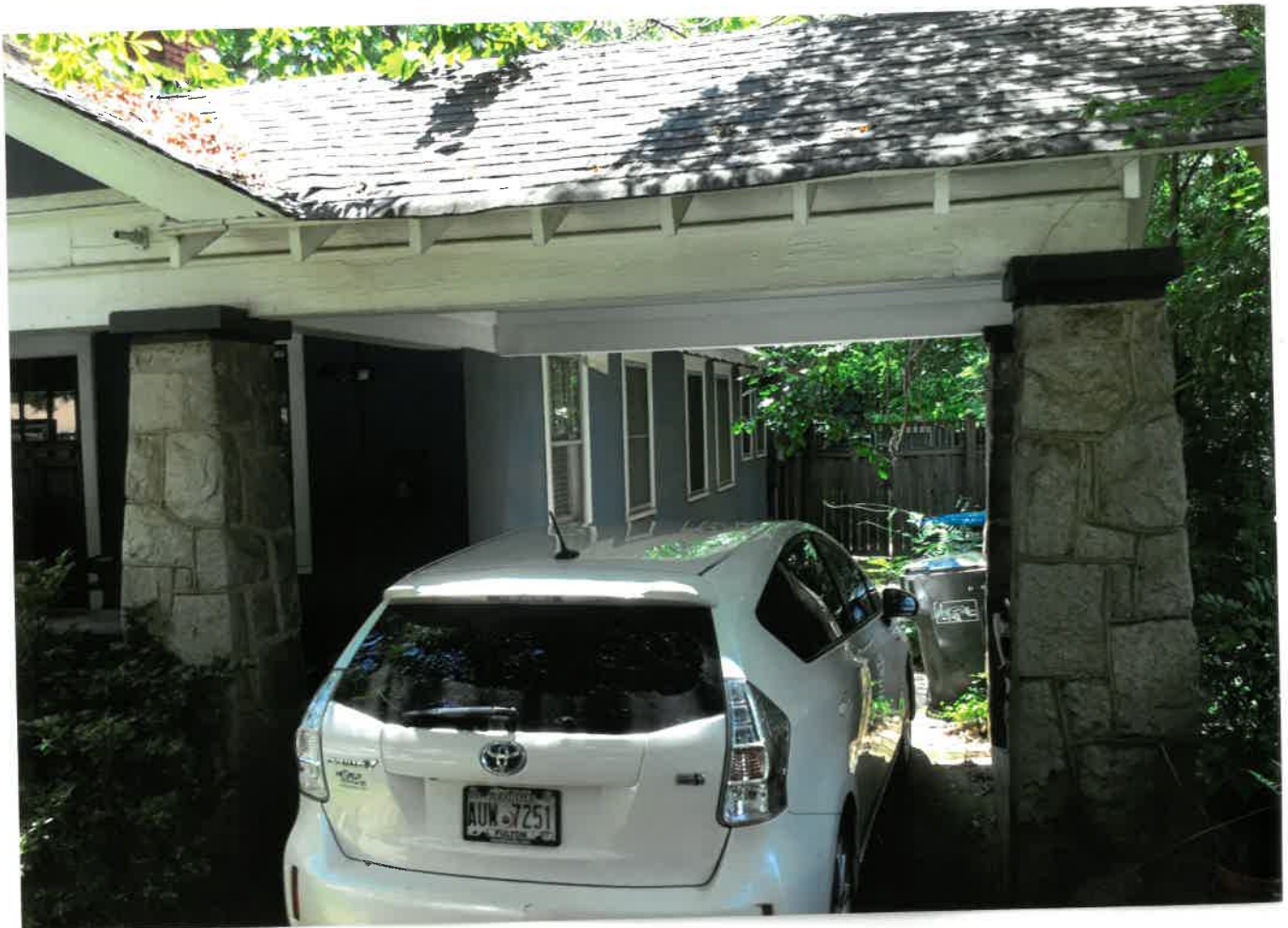
 (Seal)  
 Samuel Loving  
 (Seal)  
 Kristin A. Loving

Signed, sealed and delivered  
 in the presence of:

  
 Unofficial Witness

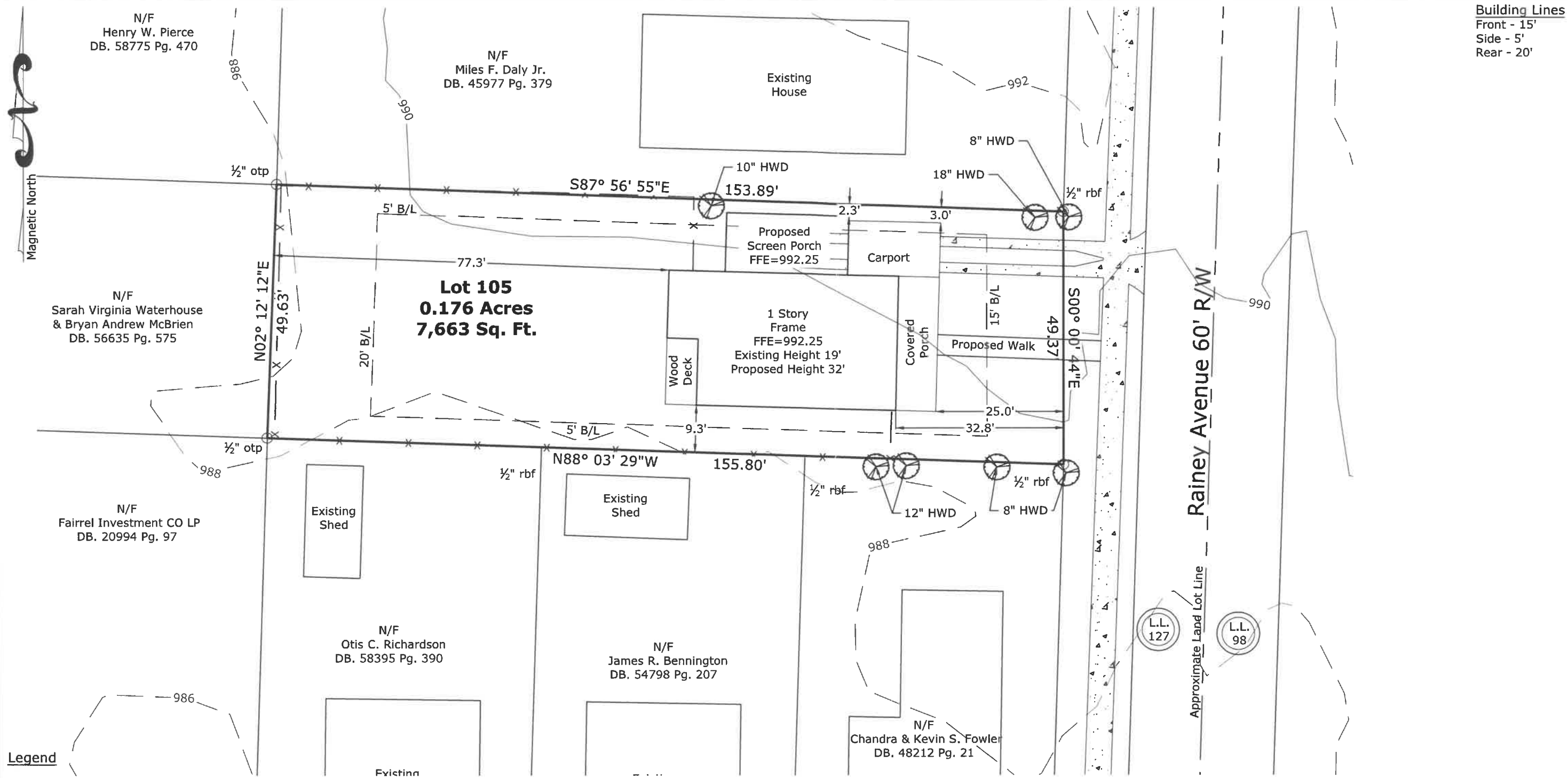
  
 Deed\_Ga\_WarrantyDeed

JON-050200140S









- Legend**
- OTP=Open Top Pipe
  - RBF=Rebar Found
  - RBS=Rebar Set
  - R/W=Right of Way
  - IPF= Iron Pin Found
  - P.O.B.=Point of Beginning
  - B/L=Building Line
  - D.E.=Drainage Easement
  - N/F=Now or Formerly
  - F.W.P.D.=Field Work Performed Date
  - ⊗=Gas Valve
  - ⊗=Water Meter
  - ⊗=Utility Pole
  - ⊗=Drop Inlet
  - ⊗=Fire Hydrant
  - ⊗=Light Pole
  - ⊗=Fence
  - ⊗=Drainage Manhole
  - OHE—=Over Head Electric Line

The term "Certification" as used in Rule "180-6-.09(2) and (3)" and relating to professional engineering or land surveying services, as defined in O.C.G.A. 43-15-2(6) and(11), shall mean a signed statement based upon facts and knowledge known to the registrant and is not a guarantee or warranty, either expressed or implied.

This survey complies with both the rules of the Georgia Board of Registration for Professional Engineers and Land Surveyors and the Official Code of Georgia Annotated (OCGA)15-6-67, in that where a conflict exists between those two sets of specifications, the requirements of law prevail.

**Closure Data**

Field closure=1'IN 10,000+  
Angle point error=< 20"  
Equipment used=Topcon 3005W,  
Sokkia SX, & Topcon hyper GA GPS System  
adjustment method=Compass rule  
Plat closure=1'IN 100,000+

This survey does not constitute a title search by surveyor. All information regarding record easements, adjoiners and other documents that might affect the quality of title to tract shown were not supplied to this office.

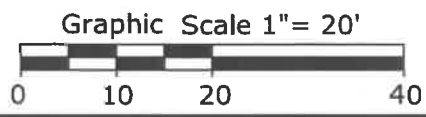
Declaration is made to original purchaser of the survey. Any use by third parties is at their own risk. Survey is valid only if print has original seal and original signature of surveyor.

**Surveyor's Certificate:**

As required by subsection (d) of O.C.G.A. Section 15-6-67, this plat has been prepared by a land surveyor and approved by all applicable local jurisdictions for recording as evidenced by approval certificates, signatures, stamps, or statements hereon. Such approvals or affirmations should be confirmed with the appropriate governmental bodies by any purchaser or user of this plat as to intended use of any parcel. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

BY:   
GA R.L.S. Ronald T. Godwin  
2696 License NO.  
07/03/19 Date

In my opinion this property appears not to lie within a 100 year flood plain according to F.I.R.M. #13121C0366F Dated 09/18/2013.



**Building Lines**  
Front - 15'  
Side - 5'  
Rear - 20'

**FOUR CORNERS SURVEYING**  
P.O. BOX 15 Tyrone, GA 30290 770-560-3910 & 770-823-9377  
FOUR\_CORNERS@BELLSOUTH.NET

**Page:** 69-70  
**Plat/Deed Book P.B. 8**

**Address:** 3429 RAINEY AVENUE  
**County:** Fulton County, Georgia  
**District:** 14th  
**Date:** 07/03/19  
**Drawn By:** JCB  
**Job No:** 19-128

**Subdivision:** Virginia Park  
**Lot:** 105  
**Land Lot:** 127  
**Scale:** 1" = 20'

**Prepared For:** Park Atlanta Homes



# EROSION, SEDIMENTATION, & POLLUTION PLAN

**DS2 LIME AND FERTILIZER**  
AGRICULTURAL LIME IS REQUIRED UNLESS SOIL TESTS INDICATE OTHERWISE. APPLY AGRICULTURAL LIME AT A RATE OF ONE TON PER ACRE. GRADED AREAS REQUIRE LIME APPLICATION. SOILS CAN BE TESTED TO DETERMINE IF FERTILIZER IS NEEDED. ON REASONABLY FERTILE SOILS OR SOIL MATERIAL, FERTILIZER IS NOT REQUIRED. FOR SOILS WITH VERY LOW FERTILITY, 500 TO 700 POUNDS OF 10-10-10 FERTILIZER OR THE EQUIVALENT PER ACRE (12-16 LBS/1000 SQ.FT.) SHALL BE APPLIED. FERTILIZER SHOULD BE APPLIED BEFORE LAND PREPARATION AND INCORPORATED WITH A DISK, RIPPER, OR CHISEL.

**DS2 MULCHING**  
TEMPORARY VEGETATION CAN IN MOST CASES BE ESTABLISHED WITHOUT THE USE OF MULCH. MULCH WITHOUT SEEDING SHOULD BE CONSIDERED FOR SHORT TERM PROTECTION. REFER TO DS1-DISTURBED AREA STABILIZATION(WITH MULCHING).

**DS3 LIME AND FERTILIZER RATES AND ANALYSIS**  
AGRICULTURAL LIME IS REQUIRED AT THE RATE OF ONE TO TWO TONS PER ACRE UNLESS SOIL TESTS INDICATE OTHERWISE. GRADED AREAS REQUIRE LIME APPLICATION. IF LIME IS APPLIED WITHIN SIX MONTHS OF PLANTING PERMANENT PERENNIAL VEGETATION, ADDITIONAL LIME IS NOT REQUIRED. AGRICULTURAL LIME SHALL BE WITHIN THE SPECIFICATIONS OF THE GEORGIA DEPARTMENT OF AGRICULTURE.

LIME SPREAD BY CONVENTIONAL EQUIPMENT SHALL BE "GROUND LIMESTONE". GROUND LIMESTONE IS CALCITIC OR DOLOMITIC LIMESTONE GROUND SO THAT 80% OF THE MATERIAL WILL PASS THROUGH A 10-MESH SIEVE, NOT LESS THAN 50% WILL PASS THROUGH A 50-MESH SIEVE AND NOT LESS THAN 25% WILL PASS THROUGH A 100-MESH SIEVE.

AGRICULTURAL LIME SPREAD BY HYDRAULIC SEEDING EQUIPMENT SHALL BE FINELY GROUND LIMESTONE. FINELY GROUND LIMESTONE IS CALCITIC OR DOLOMITIC LIMESTONE GROUND SO THAT 80% OF THE MATERIAL SHALL PASS THROUGH A 20-MESH SIEVE AND NOT LESS THAN 70% SHALL PASS THROUGH A 100-MESH SIEVE.

IT IS DESIRABLE TO USE DOLOMITIC LIMESTONE IN THE SAND HILLS, SOUTHERN COASTAL PLAIN AND ATLANTIC COAST FLATWOODS MURA'S.

AGRICULTURAL LIME IS GENERALLY NOT REQUIRED WHERE ONLY TREES ARE PLANTED.

INITIAL FERTILIZATION, NITROGEN, TOPDRESSING, AND MAINTENANCE FERTILIZER REQUIREMENTS FOR EACH SPECIES OR COMBINATION OF SPECIES ARE LISTED.

**DS3 MULCHING**  
MULCH IS REQUIRED FOR ALL PERMANENT VEGETATION APPLICATIONS. MULCH APPLIED TO SEEDING AREAS SHALL ACHIEVE 70% SOIL COVER. SELECT THE MULCHING MATERIAL FROM THE FOLLOWING AND APPLY AS INDICATED:

1. DRY STRAW OR DRY HAY OF GOOD QUALITY AND FREE OF WEEDS CAN BE USED. DRY STRAW SHALL BE APPLIED AT THE RATE OF 2 TONS PER ACRE.
2. WOOD CELLULOSE MULCH OR WOOD PULP FIBER SHALL BE USED WITH HYDRAULIC SEEDING. IT SHALL BE APPLIED(AT THE RATE INDICATED ABOVE) AFTER HYDRAULIC SEEDING.
3. ONE THOUSAND POUNDS OF WOOD CELLULOSE OR WOOD PULP FIBER WHICH INCLUDES TACKIFIER, SHALL BE USED WITH HYDRAULIC SEEDING ON SLOPES 3:1 OR STEEPER.
4. SERICEA LESPEDEZA HAY CONTAINING MATURE SEED SHALL BE APPLIED AT A RATE OF THREE TONS PER ACRE.
5. PINE STRAW OR PINE BARK SHALL BE AT A THICKNESS OF THREE INCHES FOR BEDDING PURPOSES. OTHER SUITABLE MATERIALS IN SUFFICIENT QUANTITY MAY BE USED WHERE ORNAMENTALS OR OTHER GROUND COVERS ARE PLANTED. THIS IS NOT APPROPRIATE FOR SEEDING AREAS.
6. WHEN USING TEMPORARY EROSION CONTROL BLANKETS OR BLACK SOO, MULCH IS NOT REQUIRED.
7. BITUMINOUS TREATED ROVING MAY BE APPLIED ON PLANTED AREAS ON SLOPES, IN DITCHES OR DRY WATERWAYS TO PREVENT EROSION. BITUMINOUS TREATED ROVING MAY BE APPLIED WITHIN 24 HOURS AFTER AN AREA HAS BEEN PLANTED. APPLICATION RATES AND MATERIALS MUST MEET GEORGIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.

WOOD CELLULOSE AND WOOD PULP FIBERS SHALL NOT CONTAIN GERMINATION OR GROWTH INHIBITING FACTORS. THEY SHALL BE EVENLY DISPERSED WHEN AGITATED IN WATER. THE FIBERS SHALL CONTAIN A DYE TO ALLOW VISUAL METERING AND AID IN UNIFORM APPLICATION DURING SEEDING.

## GENERAL NOTES:

ALL PERSONS INVOLVED IN LAND DISTURBANCE ACTIVITIES MUST BE CERTIFIED IN EROSION AND SEDIMENTATION CONTROL BY THE GSWCC OR SUPERVISED BY SOMEONE WHO IS.

DESIGN PROFESSIONAL WILL VISIT THE SITE WITHIN 7 DAYS AFTER INITIAL CONSTRUCTION ACTIVITY AND WRITE A LETTER TO THE GOVERNING AUTHORITY CONCERNING SITE CONDITIONS.

THIS SITE SHALL BE KEPT CLEAN OF ALL DEBRIS AND POLLUTANTS THAT MAY CONTAMINATE THE STORM WATER DISCHARGE (PROVIDE ON SITE DUMPSTER).

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO LAND-DISTURBANCE ACTIVITIES.

ANY DISTURBED AREAS LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

ALL EROSION CONTROL MEASURES ARE TO CONFORM TO THE STANDARDS SET FORTH IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA (I.E. THE GREEN BOOK). THE SPECIFICATIONS AND DETAIL REQUIREMENTS OF THE GREEN BOOK ARE INCORPORATED HERE IN BY REFERENCE.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

THE PROJECT RECEIVING WATERS IS AN UNNAMED TRIBUTARY OF FLINT RIVER.

THERE ARE NO WETLANDS ON THIS SITE AS PER THE U.S. FISH & WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY WETLANDS MAPPER.

THERE ARE NO STATE WATERS LOCATED WITHIN 200 FEET OF THIS SITE.

NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN 25 OR 50-FOOT OF UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.

AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.

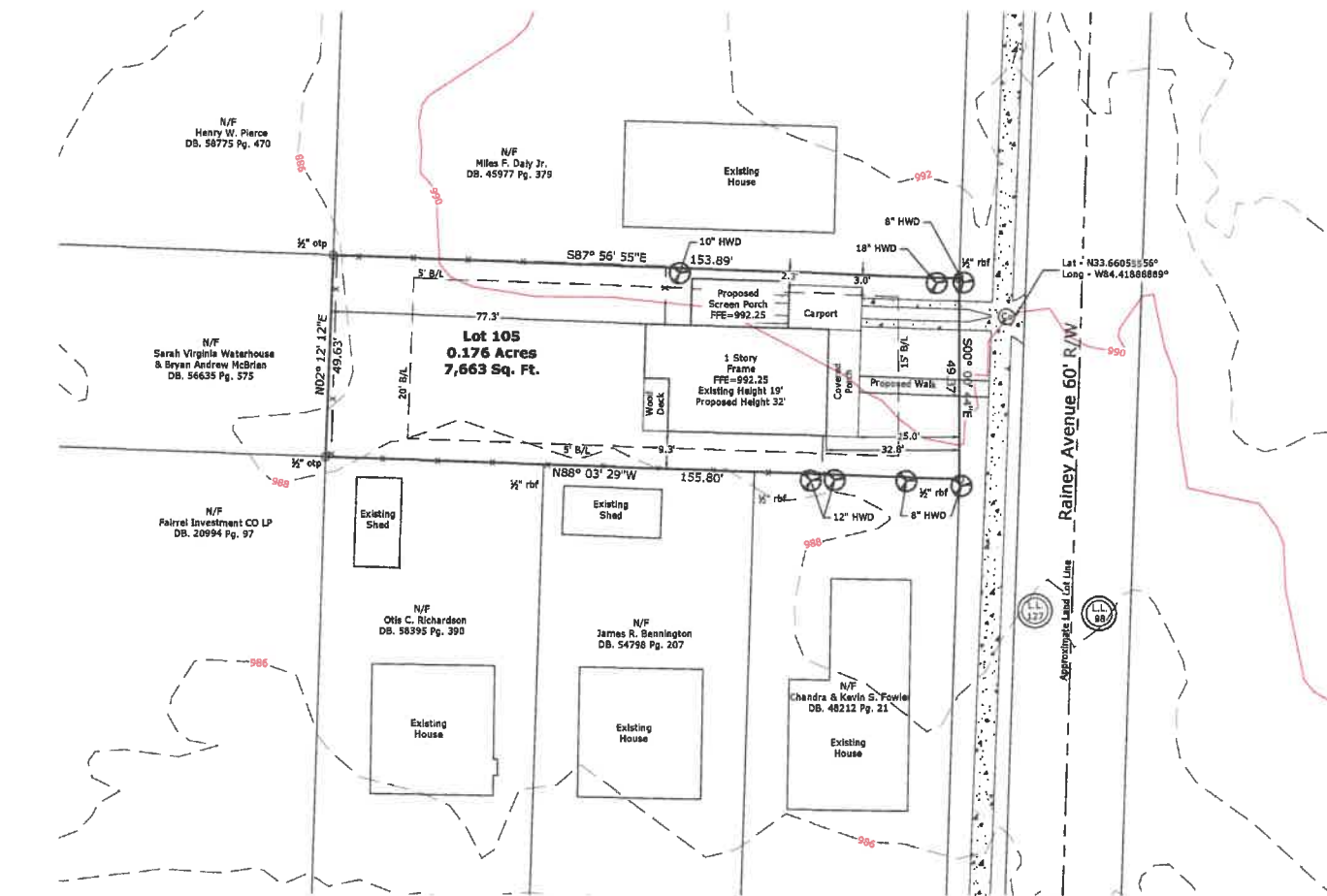
WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION.

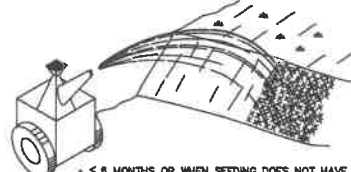
I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT/MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA (MANUAL) PUBLISHED BY THE STATE OF GEORGIA AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED. PROVIDES FOR THE SAMPLING OF THE RECEIVING WATERS) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100003.

Signature: *[Signature]*

NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION OR WITHIN 25 FEET OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.



A TEMPORARY COVER OVER BASE AREAS TO PREVENT EROSION AND REDUCE RUNOFF; TO CONSERVE MOISTURE; TO PREVENT SURFACE COMPACTION OR CRUSTING; TO CONTROL UNDESIRABLE VEGETATION TO MODIFY SOIL TEMPERATURE AND TO INCREASE BIOLOGICAL ACTIVITY IN THE SOIL.



± 6 MONTHS OR WHEN SEEDING DOES NOT HAVE A SUITABLE GROWING SEASON

| MATERIAL                           | RATE                                  |
|------------------------------------|---------------------------------------|
| STRAW OR HAY                       | 2' to 4" DEEP                         |
| WOOD WASTE, CHIPS, SAWDUST OR BARK | 2"-3" DEEP (ABOUT 5 TO 8 TONS/ACRE)   |
| OUTBACK ASPHALT                    | 1200 GALLON/ACRE (1/4 GALLON/SQ. YD.) |
| POLYETHYLENE FILM                  | COMPLETELY COVER AREA                 |

± MAY BE NECESSARY TO ANCHOR

## (Ds1) DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)

| Impervious Surface Footage |               |
|----------------------------|---------------|
| Existing Drive             | 177 Sq. Ft.   |
| Existing Carport           | 199 Sq. Ft.   |
| Existing Porch             | 207 Sq. Ft.   |
| Existing Deck              | 79 Sq. Ft.    |
| Existing House             | 1,102 Sq. Ft. |
| Proposed Screen Porch      | 275 Sq. Ft.   |
| Proposed Sidewalk          | 99 Sq. Ft.    |

NOTE: THE PURPOSE OF THIS PLAN IS TO ADD A SECOND LEVEL TO EXISTING HOME. MINIMUM OR NO GRADING REQUIRED. NO ADDITION LANDSCAPING REQUIRED.

FLOOD STATEMENT: ACCORDING TO FEMA FLOOD INSURANCE RATE MAP HAPEVILLE, CITY OF DATED SEPTEMBER 18, 2013 MAP #13121C0366F. IN MY OPINION THIS PROPERTY APPEARS NOT TO LIE WITHIN A SPECIAL FLOOD HAZARD AREA.

NOTE: THIS PLAN WAS PREPARED FOR PERMITTING PURPOSES ONLY. IT IS NOT TO BE USED FOR TITLE TRANSFER AND IS TO BE USED SOLELY BY THE ORIGINAL PURCHASER.

NOTE: THE DESIGN PROFESSIONAL WHO PREPARED THIS ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.

NOTE: This lot lies entirely within the CECIL Soil Series (CYC2).



- ±12 MONTHS OR UNTIL ESTABLISHMENT OF FINISHED GRADE OR PERMANENT VEGETATION
- SITE PREPARATION
  - GRADING AND SHAPING
  - SEED BED PREPARATION
  - APPLY LIME AND FERTILIZER
  - PLANT SEEDLING, SELECT SPECIES BY SEASON AND REGION
  - APPLY MULCHING MATERIAL IF NEEDED
  - IRRIGATE IF NEEDED BUT NOT AT A RATE TO CAUSE EROSION
- PLANTING DATES DEPEND ON SPECIES AND REGION (MOUNTAIN, PIEDMONT OR COASTAL)

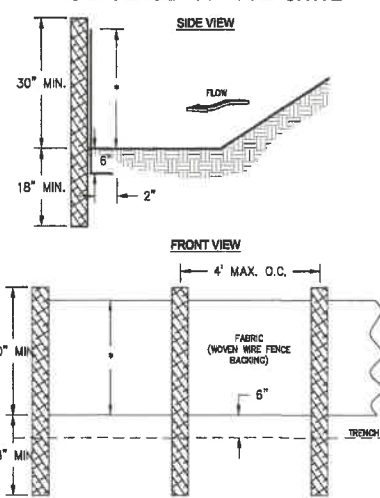
## PLANTING RATES AND PLANTING DATES FOR TEMPORARY COVER

| SPECIES           | RATE PER 1,000 SQ. FT. | RATE PER ACRE   | PLANTING DATES |
|-------------------|------------------------|-----------------|----------------|
| RYE               | 3.9 LB.                | 3 BU. (180 LBS) | 7/15-12/1      |
| RYEGRASS          | 0.9 LB.                | 40 LBS.         | 8/1-5/1        |
| ANNUAL LESPEDEZA  | 0.9 LB.                | 40 LBS.         | 2/1-5/1        |
| WEEPING LOVEGRASS | 0.1 LB.                | 4 LBS.          | 3/15-6/15      |
| SUDANGRASS        | 1.4 LB.                | 60 LBS.         | 3/1-9/1        |
| BROWN TOP WHEAT   | 0.9 LB.                | 40 LBS.         | 4/1-7/15       |
| WHEAT             | 4.1 LB.                | 3 BU. (180 LBS) | 9/1-1/1        |

UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVIER SEEDING RATES. SEEDING DATES MAY NEED TO BE ADJUSTED TO FIT TEMPERATURE VARIATIONS AND LOCAL CONDITIONS.

## (Ds2) DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDINGS)

### SILT FENCE - TYPE SENSITIVE

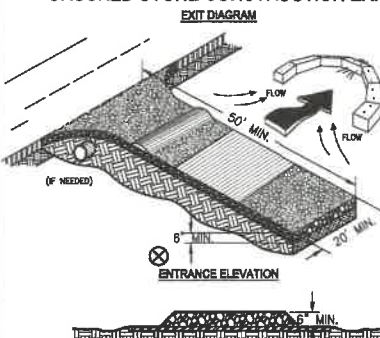


- NOTES:
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
  2. HEIGHT (H) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.

## STRUCTURAL PRACTICES

| CODE | PRACTICE                                                 | MAP SYMBOL | DESCRIPTION                                                                                                                                                                   |
|------|----------------------------------------------------------|------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Bf   | REFER BACK                                               | [Symbol]   | A copy of undisturbed original vegetation, enhanced or restored existing vegetation or the reestablishment of vegetation surrounding an area of disturbance or land clearing. |
| Co   | CONSTRUCTION EXIT                                        | [Symbol]   | A control device used to prevent sediment from leaving the construction site and to provide a place for removing sediment from the site.                                      |
| Fr   | FILTER RING                                              | [Symbol]   | A temporary stone barrier constructed at storm drain inlets and point outlets.                                                                                                |
| Rt   | RETROFITTING                                             | [Symbol]   | A device or structure placed in front of a permanent structure to prevent sediment from leaving the site.                                                                     |
| Sd1  | SEDIMENT BARRIERS                                        | [Symbol]   | A barrier to prevent sediment from leaving the construction site. It may be a stone wall, a log wall, a log wall, a log wall, or a log wall.                                  |
| St   | STORM DRAIN OUTLET PROTECTION                            | [Symbol]   | A device or structure placed in front of a storm drain outlet to prevent sediment from leaving the site.                                                                      |
| Ds1  | DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)        | [Symbol]   | Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion reducing cover.                            |
| Ds2  | DISTURBED AREA STABILIZATION (WITH SEEDINGS)             | [Symbol]   | Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.                                                                                     |
| Ds3  | DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) | [Symbol]   | Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, etc. on disturbed areas.                                                                     |
| Ds4  | DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) | [Symbol]   | Establishing a permanent vegetative grasses, and in disturbed areas.                                                                                                          |
| Du   | DRY COVER OR DISTURBED AREA                              | [Symbol]   | Controlling surface and soil movement of soil on construction site, roadways and other sites.                                                                                 |
| Mb   | EROSION CONTROL BLANKETS                                 | [Symbol]   | The installation of a protective covering (blanket) to soil stabilization and to prevent exposed areas of a steep slope, channel, or ditch.                                   |

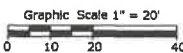
### CRUSHED STONE CONSTRUCTION EXIT



- NOTES:
1. AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS.
  2. REMOVE ALL VEGETATION AND OTHER UNDESIRABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.
  3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.25"-3.75" STONES).
  4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".
  5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VERTICAL CURVE, BUT NOT LESS THAN 20'.
  6. A DRAINAGE ROOF SHALL BE CONSTRUCTED WITH GRADE TOWARD PADDED AREA IS GREATER THAN 2%.
  7. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.
  8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (OVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).
  9. WASHRAINS AND/OR THE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND ORIGIN. IF NECESSARY, WASHRAINS DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT REMAINS WASH AND DIRT.
  10. MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.



VICINITY MAP NOT TO SCALE



## LEGEND

- UP = UTILITY POLE
- RBS = REBAR SET
- RBF = REBAR FOUND
- RBS = REBAR SET
- OTF = OPEN TOP PIPE
- CTP = CRIMP TOP PIPE
- LL.L. = LAND LOT LINE
- LL.L. = LAND LOT
- EP = EDGE OF PAVEMENT
- CMF = CONCRETE MARKER
- TBM = TEMPORARY BENCHMARK
- B/L = BUILDING SETBACK LINE
- OH = OVERHEAD UTILITY LINES
- F.F.E. = FINISHED FLOOR ELEVATION
- LOO = LIMITS OF DISTURBANCE



Prepared For: **Park Atlanta Homes**

Subdivision: **Virginia Park**

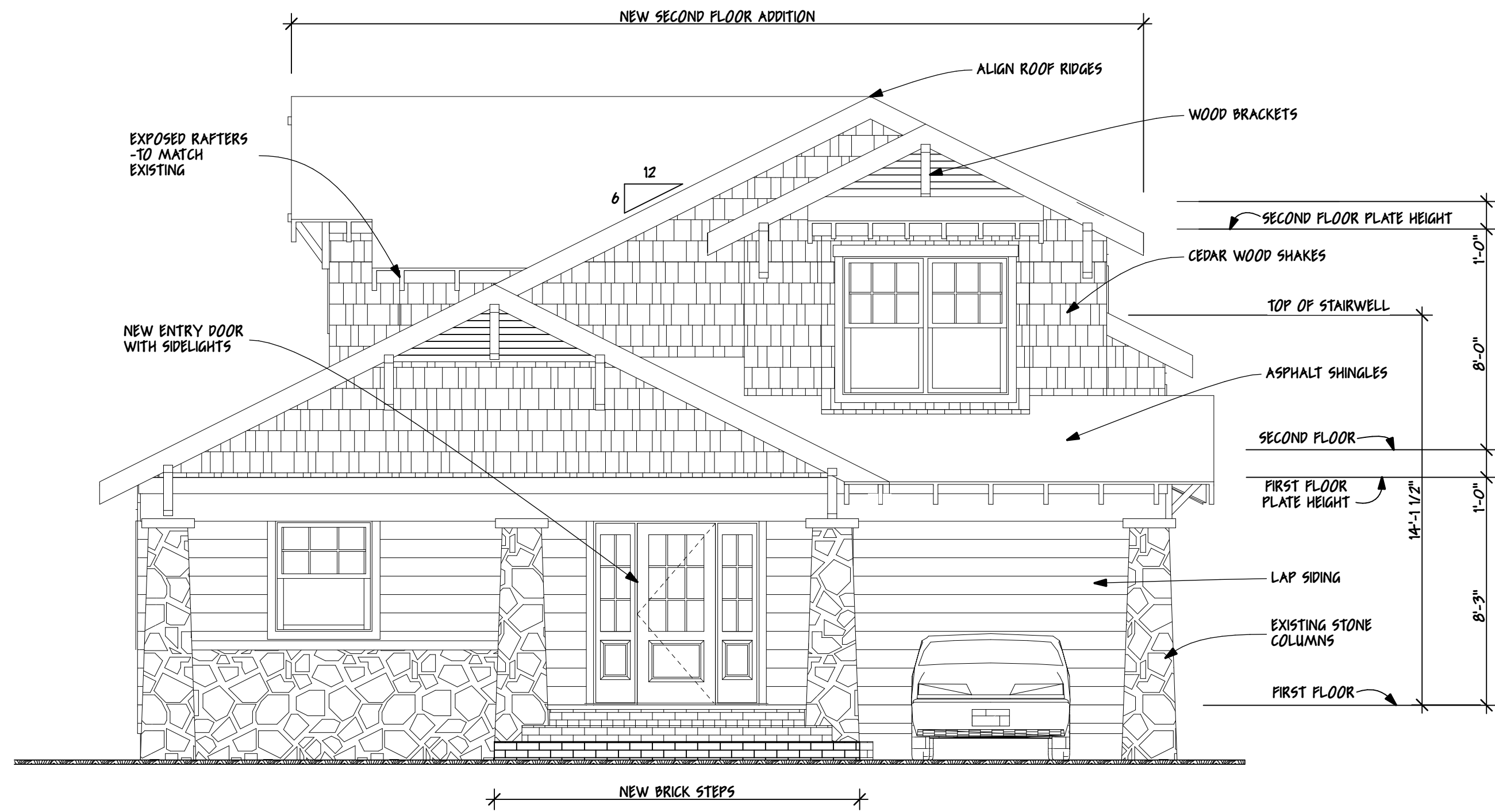
Lot: **105** P.B.8 - PG.69-70

Land Lot: **127** District: **14th**

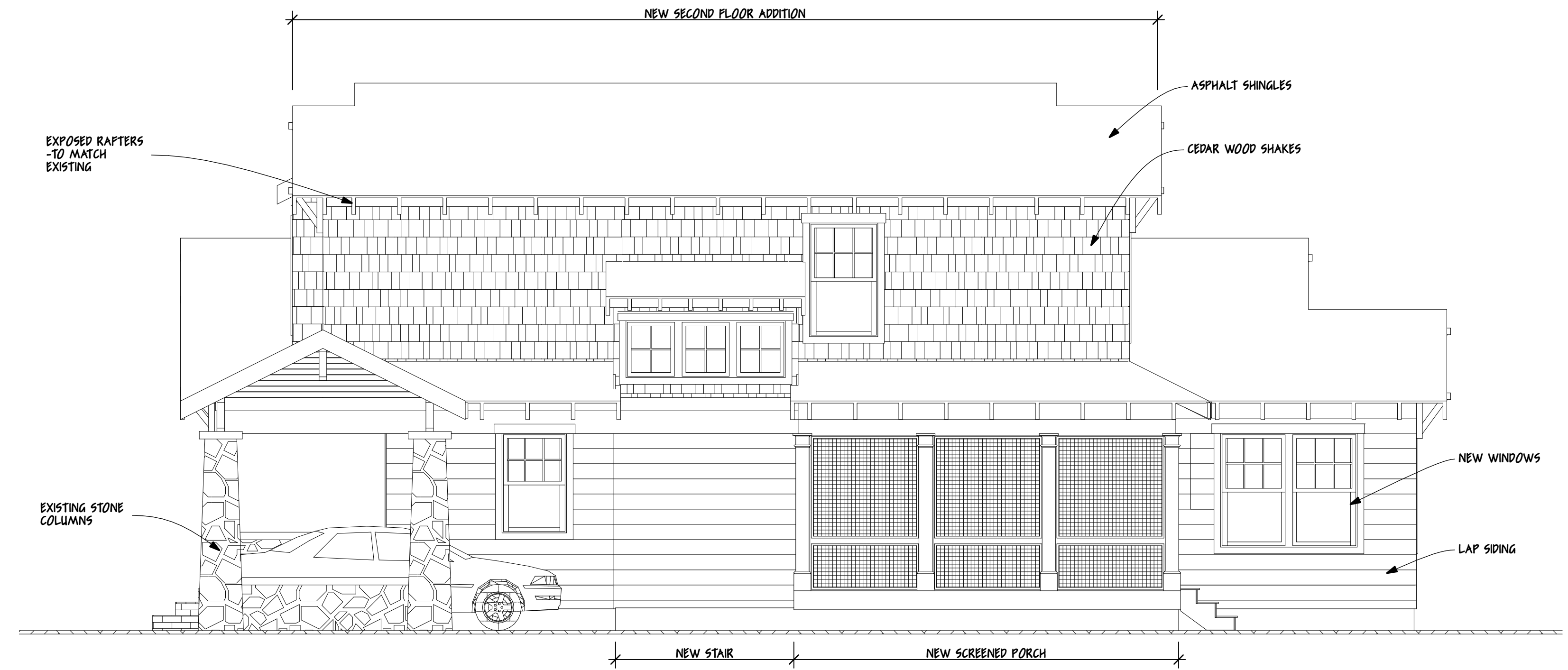
County: **Fulton, GA** F.W.P.D. **06/29/19**

Scale: **1" = 20'** Date: **07/03/19** Job No: **19-125**

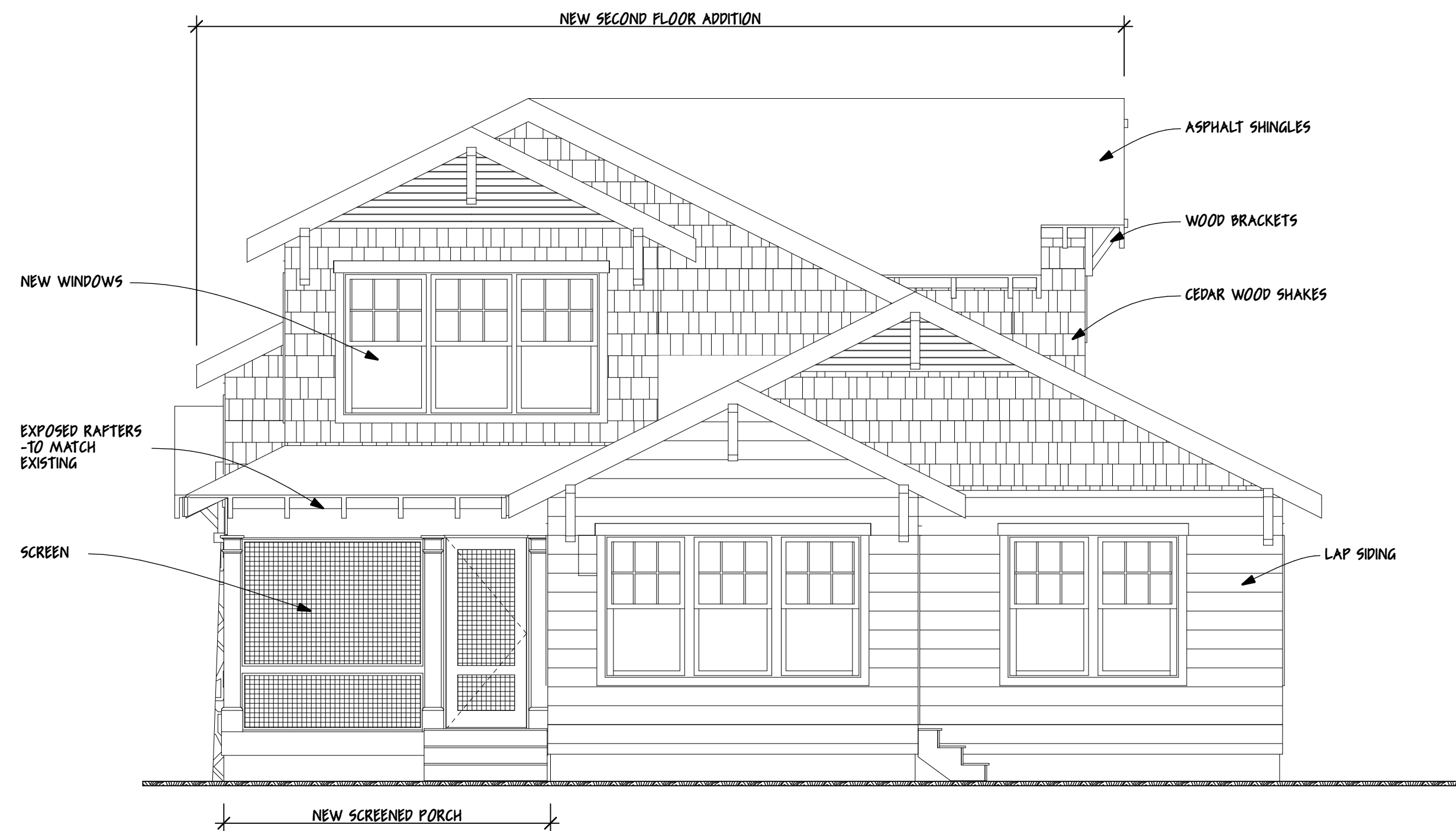




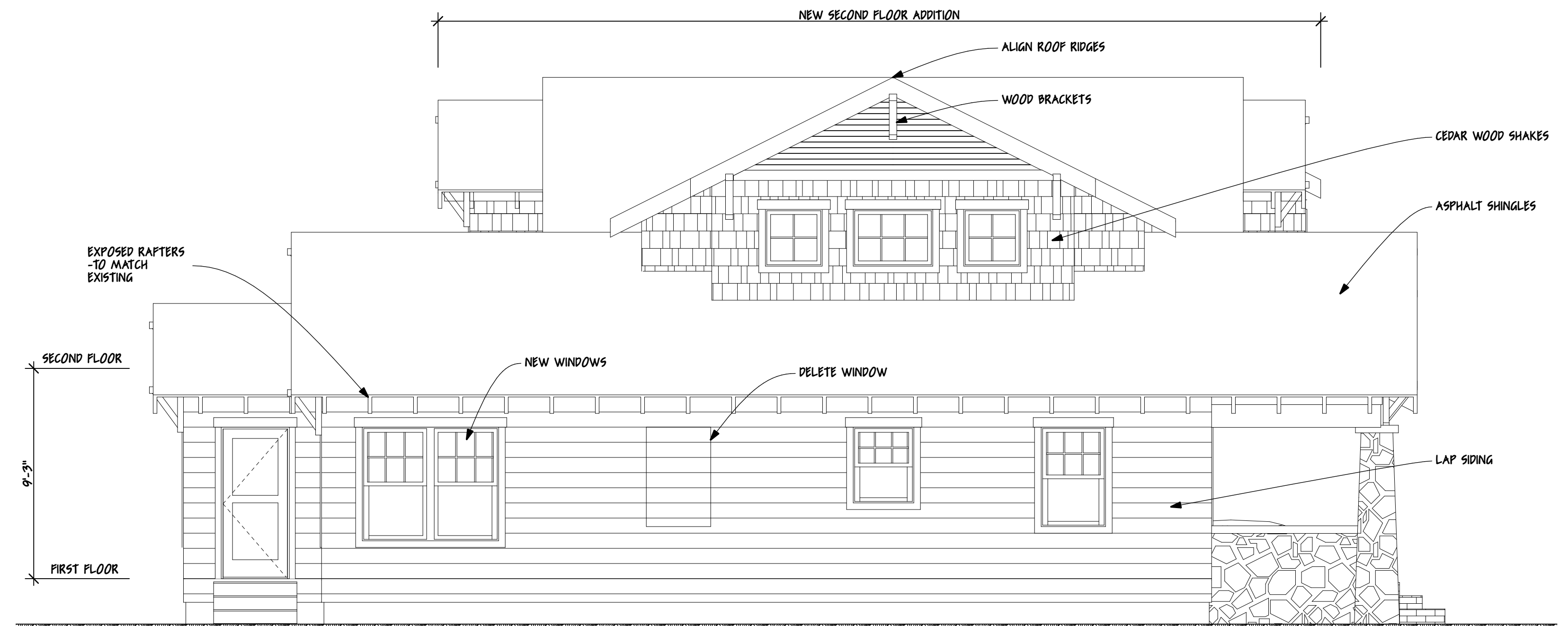
1  
A-2 FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



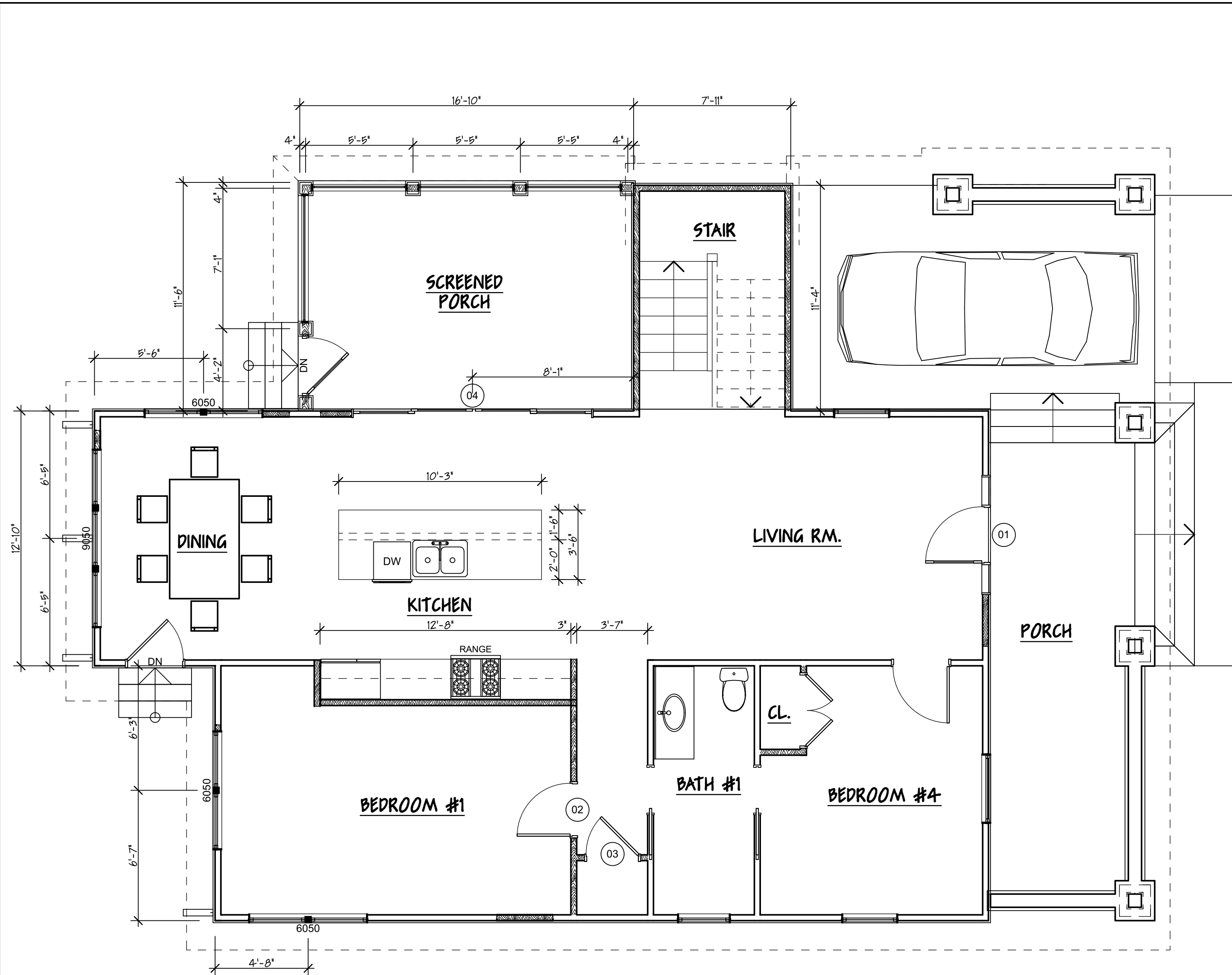
2  
A-2 RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



3  
A-2 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



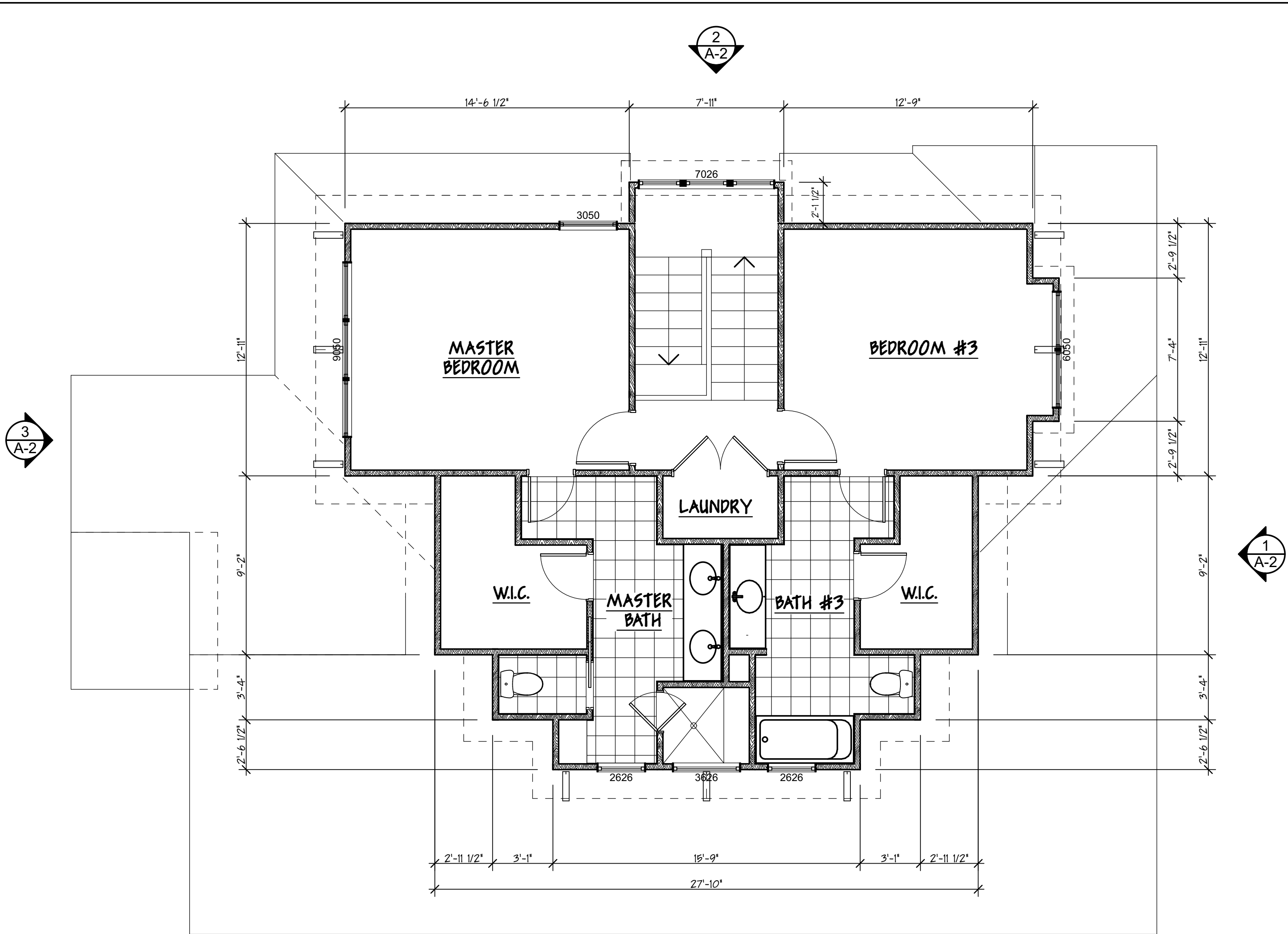
4  
A-2 LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



1  
A-1

FIRST FLOOR PLAN

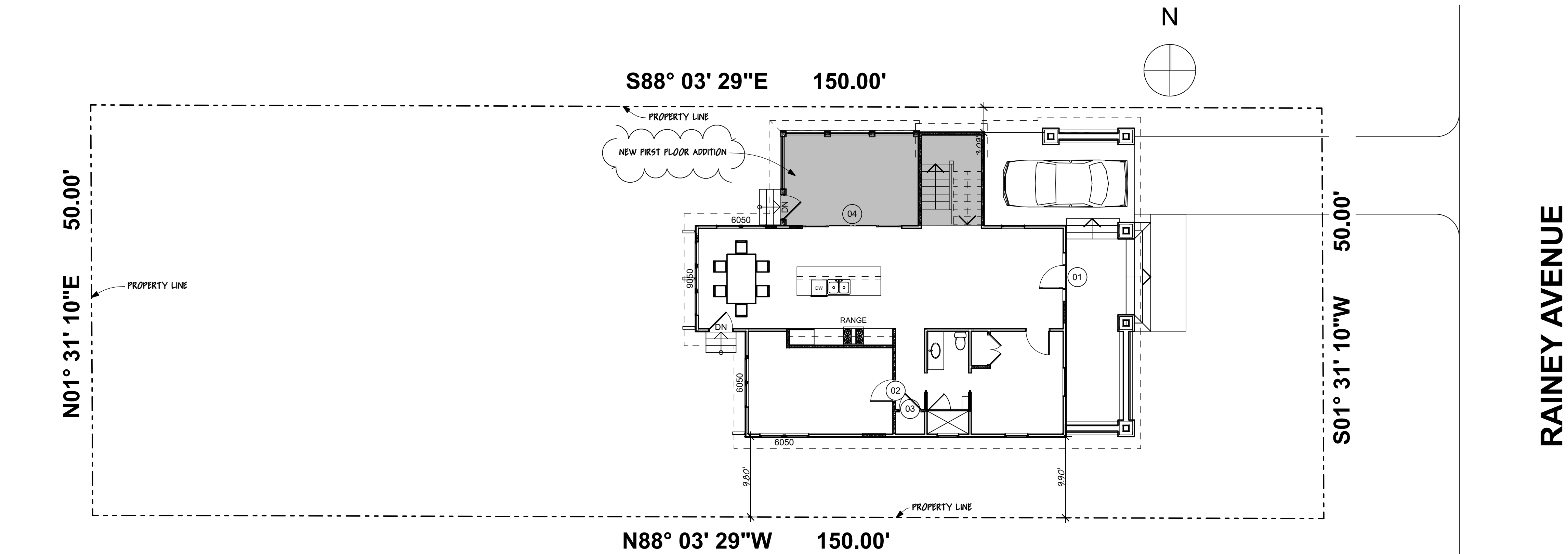
SCALE: 1/4" = 1'-0"



2  
A-1

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

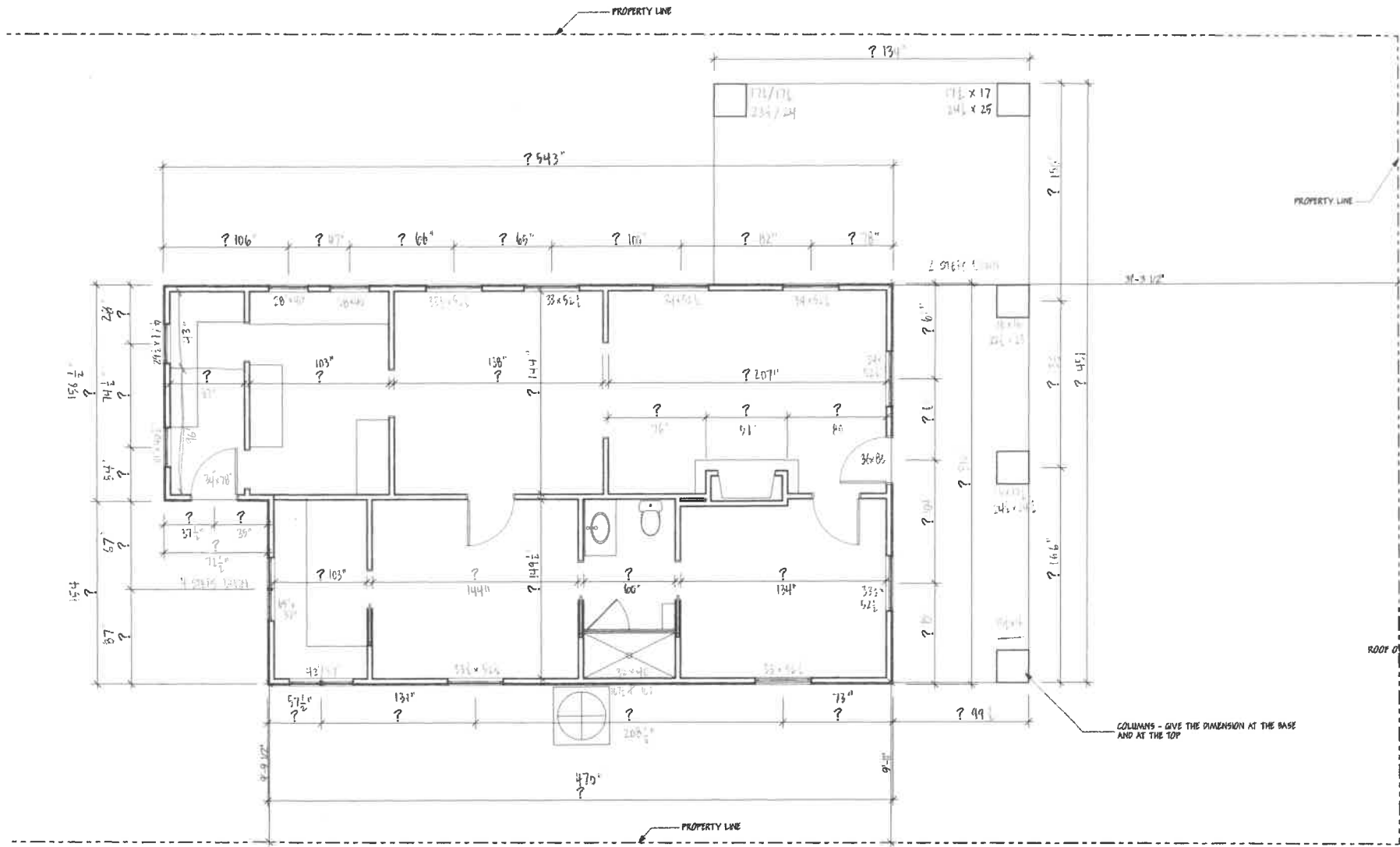


3  
A-1

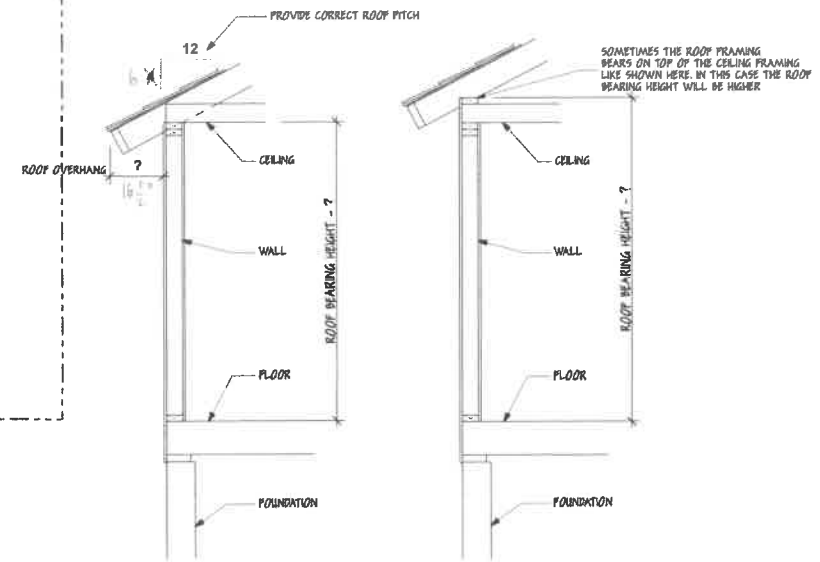
SITE PLAN

SCALE: 1/8" = 1'-0"

|                                                                                                                                                             |        |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------|--------|
| Revisions:                                                                                                                                                  | By:    |
|                                                                                                                                                             |        |
|                                                                                                                                                             |        |
|                                                                                                                                                             |        |
|                                                                                                                                                             |        |
| SAM WHEATLEY - ARCHITECT<br>CORPUS CHRISTY RD., 102 EXECUTIVE CENTERD<br>POST OFFICE BOX 6505<br>HILTON HEAD ISLAND, SOUTH CAROLINA, 29938<br>(843)785-6160 |        |
| RENOVATIONS & ADDITIONS FOR:<br>MELINDA AND BRENDAN DALTON<br>LOT #105 VIRGINIA PARK, 3429 RAINEY AVENUE<br>HAPEVILLE, GEORGIA                              |        |
| PLANS                                                                                                                                                       |        |
| Date: 12/21/2018                                                                                                                                            | Scale: |
| Drawn:                                                                                                                                                      | Job:   |
| Sheet Number:                                                                                                                                               |        |
| A-1                                                                                                                                                         |        |



- NOTES:
- 1) NEXT TO EACH WINDOW GIVE ITS SIZE WIDTH AND HEIGHT (EXAMPLE 3X5) DIMENSION TO THE CENTER OF THE WINDOWS AND DOORS.
  - 2) DIMENSION DOORS PANEL WIDTH, SINCE ALL THE HEIGHTS ARE THE SAME ONLY GIVE ME ONE HEIGHT.
  - 3) DIMENSION THE ROOF OVERHANG
  - 4) GIVE ME THE ROOF PITCH, EXAMPLE - FOR 1 FOOT HORIZONTAL HOW HIGH DOES THE ROOF GET. A 3 IN 12 R/PITCH MEANS FOR 12 INCHES HORIZONTAL THE ROOF SLOPES UP 3 INCHES.
  - 5) I NEED TO KNOW THE HEIGHT OF THE ROOF BEARING. SEE DETAIL ATTACHED.
  - 6) CORRECT ANY DIFFERENCES YOU SEE IN THE FLOOR PLAN WALLS. I CAME UP WITH THIS PLAN USING THE PIC YOU SENT ME, AND THEY MIGHT NOW BE CORRECT. I DON'T HAVE ANY DIMENSIONS SO ALL OF THE DIMENSIONS A QUESTION MARK NEED TO BE PROVIDED.
  - 7) DIMENSION OVERALL LENGTHS FIRST, SO NOT TO ACCUMULATE ERROR.



Existing Floor Plan

1  
A-1 FLOOR PLAN FOR FIELD DIMENSIONS  
SCALE: 1/4" = 1'-0"

| Revisions                                                                                                                                                  | By        |
|------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|
|                                                                                                                                                            |           |
|                                                                                                                                                            |           |
|                                                                                                                                                            |           |
|                                                                                                                                                            |           |
|                                                                                                                                                            |           |
| SAM WHEATLEY - ARCHITECT<br>CORPUS CHRISTI RD., 102 EXECUTIVE CENTER<br>POST OFFICE BOX 6505<br>HILTON HEAD ISLAND, SOUTH CAROLINA, 29938<br>(843)785-6160 |           |
| RENOVATIONS & ADDITIONS FOR:<br>MELINDA AND BRENDAN DALTON<br>LOT #105 VIRGINIA PARK, 3429 RAINEY AVENUE<br>HAPEVILLE, GEORGIA                             |           |
| FLOOR PLAN FOR<br>FIELD DIMENSIONS                                                                                                                         |           |
| Date                                                                                                                                                       | 8/28/2017 |
| Scale                                                                                                                                                      |           |
| Drawn                                                                                                                                                      |           |
| App.                                                                                                                                                       |           |
| Sheet Number                                                                                                                                               | A-1       |