

DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: August 14, 2019
TO: Tonya Hutson
FROM: Lynn Patterson
RE: Design Review – 3429 Rainey Avenue Remodel

Key:

Compliant:
Not Compliant:
Incomplete:

Not Applicable: ○

BACKGROUND

The City of Hapeville has received a design review application from Andy Steele to renovate an existing one-story single-family dwelling located at 3429 Rainey Avenue. The renovations would add a second story extending above a new screened in porch on the north side of the house. The final proposed floor area has not been provided. The finished height of the dwelling will be 32'. The property is zoned R-SF, Residential Single-Family, and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

(a) Site development standards

- Except where indicated, setbacks shall be established by zoning.
- On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- Minimum building heights shall be established by zoning.
- Within subareas D and E maximum building heights shall be as established by zoning, except that:
 - Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.
 - Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.
 - Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.
 - Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.
- Outside of subareas D and E maximum building heights shall be as established by zoning.
- All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.

- Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
 - Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.
 - Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.
 - The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

• Existing property is set back 3' from the northern property line, which does not conform with the 5' side setback requirement of the R-SF zone. The applicant has applied for a variance to allow construction within 5' of the property line.

(b) Supplemental Area and Fence Standards

- Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.
- O Chain link fencing is not permitted in areas visible from a public right-of-way.
- On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- Services adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
- Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- All street-facing walls shall be faced with stone, brick, or smooth stucco.
- Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

STAFF COMMENT:

(c) Utility Standards

- Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
- All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- Trees shall not be planted directly above storm drains.

- The plans do not show the location of utility mechanical features and does not specify if they are to be changed or moved during remodeling. The applicant should clarify if the scope of the project includes utilities and show utilities on the plans.
- The Applicant should include a light at the front door on plans.

(d) Parking and Traffic Standards

- One-family detached dwellings and two-family dwellings shall meet the following requirements:
 - Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.

Circular drives are permitted.

A grass strip in the middle of driveways is encouraged.

All other buildings shall meet the following requirements:

Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street. Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.

Two curb cuts serving two one-way driveways shall be counted as one curb cut.

Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.

New public streets shall not count as curb cuts.

Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street

- Carports are only permitted subject to the following requirements:
 - Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.

Carport roofs shall be supported by columns with a minimum width and depth of eight inches.

The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.

- On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting onstreet parking located along a public street.
- Solution Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT:

- The width of the existing driveway has not been provided.
- The existing non-conforming carport will remain and will be integrated into the new development.
- Parking is prohibited in the supplemental area, including on a paved driveway.
 Per zoning, R-SF requires two off-street parking spaces per dwelling. The new construction will remove most of the driveway along the side of the house and reduce the amount of provided off-street parking to approximately one space, which will require a design exception.

(e) Roof and Chimney Standards

- Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✓ Roof shingles shall be slate, cedar, or asphalt.
- Noof tiles shall be clay, terra cotta or concrete.

- - Allowed on one-family and two-family detached dwellings;
 - Permitted on multifamily and townhouse dwellings only when screened form the adjacent street by a parapet wall.
- Gutters shall be copper, aluminum or galvanized steel.
- Downspouts shall match gutters in material and finish.
- All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- O Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- Ohimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- O Chimneys on exterior building walls shall begin at grade.
- O Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

- The Applicant should provide the roof material of the existing dwelling and proposed addition and ensure the new roofing material is guaranteed for at least 30 years.
- The Applicant should indicate the location and material of gutters and downspouts.
- The Applicant should provide the distance the existing and proposed roofs extend beyond the building facades.

(f) Street Facing Facade and Style Standards.

Exterior facade materials shall be limited to:

Full-depth brick;

- √ Natural or cast stone;
- Smooth natural-wood siding and/or cement-based siding;
- ✓ Shake siding

Painted fish-scale style shingles, but only when used in front gables;

True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.

Exterior building materials shall not be:

Simulated brick veneer, such as Z-Brick;

Exterior insulation and finish systems (EIFS);

Exposed concrete block;

Metal siding or other metal exterior treatment;

Glass curtain walls;

Liquid vinyl;

T-1-11 siding;

Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.

Facade materials shall be combined horizontally, with the heavier below the lighter.

- ✓ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(q)11.
- Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✓ Porch and stoop foundations shall be enclosed.
- Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- Stoops shall provide a minimum top landing of four feet by four feet.
- ✓ Stoop stairs and landings shall be of similar width.
- ✓ Stoops may be covered or uncovered.
- ✓ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- Solution Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- © Enfronting porches may have multistory verandas, living space, or balconies above.
- ✓ Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- O Enfronting balconies shall have a minimum clear depth of four feet.
- Second Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- Salconies may be covered or uncovered.

- No changes are proposed to the size, shape, or spacing of the existing front porch.
- The front porch will have new brick stairs, which are being built from grade to the existing height of the porch.
- Although not visible from the right-of-way, the proposed side porch is screened, which is not compliant and would require a design exception.
- Porches must be made of painted or stained wood, stone, brick, or ornamental metal. The Applicant should provide the materials used in the new porch.

(g) Door and window standards.

- The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- O Doors that operate as sliders are prohibited along enfronting facades.
- Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- Where used, window shutters shall match one-half the width of the window opening.
- O Painted window or door glass is prohibited.
- Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

STAFF COMMENT:

- The Applicant should provide building numbers on the drawings adjacent to the front entrance.
- If used, the Applicant should ensure window lights are not grids-between-glass.
- Necessary information for determining compliance with window standards provided in Sec. 81-1-7(g) has not been provided. The applicant should provide the following for new and existing windows, including those on the door:
 - o Window dimensions.
 - Windowpane recession from façade.
 - O Window trim material, size, and relief from façade.
 - O Width of window mullions between grouped windows.
 - Windowsill materials.
- A window is being removed from the front facade and the proposed addition will

add a street facing wall without any windows. Windows must be provided for between 30% - 50% of the total street facing facade. The Applicant should provide the width of the street facing facade.

- (h) Detached one-family dwellings/ two-family dwellings. In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.
- First Stories. First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
- Window Sills. Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
- Wheelchair access. Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.
- * Architectural style. Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

New homes in the neighborhood conservation area should be designed to reflect the principal traditional styles found in the community. These include national folk, Queen Anne, ranch, Tudor revival, craftsman, and minimal traditional styles.

These styles, however, do not reflect the only styles historically found in Hapeville, which also includes a few occurrences of neocolonial revival. Where an applicant desires to utilize a style historically found in Hapeville, but not reflected in the six principal styles identified in subsections (4)a. through (4)e., they shall provide the Design Review Committee with photo documentation of the relevant style in Hapeville, a description of the key features of such style, and written justification of such style's appropriateness for the community.

STAFF COMMENT:

- Scope of project does not include changes to building height above grade or of first floor window height above finished floor elevation.
- The current structure is a Craftsman home. The addition will significantly alter the appearance of the building, creating an unconventional design that does not reflect any of the traditional styles found in Hapeville.
- Outbuildings. In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
- ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
- iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
- iv. Outbuildings shall be of compatible material and architectural style to the principal building.
- v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

FINDINGS

The proposed addition will alter the appearance of the dwelling, creating an unconventional, asymmetrical form that does not reflect any of the traditional styles found in Hapeville. The Applicant should provide a justification of the new style's appropriateness for the community along with photo documentation of similar designs in the city.

In addition, the following items have been found to be missing or deficient and should be addressed prior to formalizing a recommendation:

- 1. Existing property is set back 3' from the northern property line, which does not conform with the 5' side setback requirement of the R-SF zone. The applicant has applied for a variance to allow construction within 5' of the property line.
- 2. The plans do not show the location of utility mechanical features and does not specify if they are to be changed or moved during remodeling. The applicant should clarify if the scope of the project includes utilities and show utilities on the plans.
- 3. The Applicant should include a light at the front door on plans.
- 4. The width of the existing driveway has not been provided.
- 5. Parking is prohibited in the supplemental area, including on a paved driveway. Per zoning, R-SF requires two off-street parking spaces per dwelling. The new construction will remove most of the driveway along the side of the house and reduce the amount of provided off-street parking to approximately one space, which will require a design exception.
- 6. The Applicant should provide the roof material of the existing dwelling and proposed addition and ensure the new roofing material is guaranteed for at least 30 years.
- 7. The Applicant should indicate the location and material of gutters and downspouts.
- 8. The Applicant should provide the distance the existing and proposed roofs extend beyond the building facades.
- 9. Although not visible from the right-of-way, the proposed side porch is screened, which is not compliant and would require a design exception.
- 10. Porches must be made of painted or stained wood, stone, brick, or ornamental metal. The Applicant should provide the materials used in the new porch.
- 11. The Applicant should provide building numbers on the drawings adjacent to the front entrance.
- 12. If used, the Applicant should ensure window lights are not grids-between-glass.
- 13. Necessary information for determining compliance with window standards provided in Sec. 81-1-7(g) has not been provided. The applicant should provide the following for new and existing windows, including those on the door:
 - a. Window dimensions.
 - b. Windowpane recession from façade.
 - c. Window trim material, size, and relief from façade.
 - d. Width of window mullions between grouped windows.
 - e. Windowsill materials.
- 14. A window is being removed from the front facade and the proposed addition will add a street facing wall without any windows. Windows must be provided for between 30% 50% of the total street facing facade. The Applicant should provide the width of the street facing facade.

CITY OF HAPEVILLE DESIGN REVIEW APPLICATION

SUBMITTAL	DATE:JUL	1 6 2019		
NOTE:		ntative is required		Applications or an at the Design Review
	Every attempt will month's agenda supporting docume	be made to place following the sul ents; however, that	e your application for mittal of a compl	esday of each month. or review on the next eted application with be possible. The City essary.
Applicant: 🖺	ndy Steel	e	Contact Number:	
Applicants Ad	dress: <u>255</u> Eas	+ Lanier Av	e, Fayetteville	GA 30214
E-Mail Address	s: .		Zoning Classification	n: R-SF
Address of Pro	pposed Work: <u>34</u>	29 Rainey	Ave Hapevil	le GA
		/	0127000305	
Property Owne	r: Mindi Da	Iton	Contact Number:	
	ription (including of sting 2 be	droom 1 ba	add a 2th convert	story to ing it to a screen
Contractors N	lame: Pack Atta	anta Homes	Contact Numb	er:
Contact Pers	on: Andy St	rele	Contact Numb	er:
property. I do I accurate, and I application and reserves that rig I further unders full. I hereby acwite the Englis voluntarily comp	nereby swear or affirm understand that any any action taken on ht to enforce any and tand that it is my/our is knowledge that all req h language and/or this leted this application.	that the information inaccuracies may be this application. I all ordinances regard responsibility to confuirements of the City's document has bee I understand that it i	provided here and above considered just cause understand that the Cidess of any action or appoint with all of City of the family of the family and and explained to the constant of the family and the constant of the constant of the family and the constant of t	
Applicants 8	ignature		Date	

Project Class (check one):	
ResidentialCom	nmercialMixed-Use Development
Project Type:	
New Commercial Construction	Addition to Existing Commercial Building
Addition to Existing Residential St	tructureAccessory Structure
Site Plan, Grading & Landscaping	New Single Family Residential Construction
Other	
Total Square Footage of proposed New C	Construction:
Total Square Footage of existing building:	1032
Estimated Cost of Construction:	2,000
Stone porch brick foundation	sterior of the <u>existing</u> structure:
	r portion

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.

(Please Print & Initial)



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with following:	n my signature and submission to the	e City of Hapeville, I have done the
proposed project. The Archi	Architectural Design Guidelines and retectural Design Guidelines may be fo hapeville/codes/code of ordinances	und here:
Ensured that my proposed proof Ordinances.	roject meets all of the required criter	ria per the City of Hapeville Code
Submitted my application ma Design Review Committee m	aterials in full by the published deadli leeting.	ine for review by Staff prior to the
	leficiencies or components of the pro rth in the Code. This explanation sho	
	ncies in the application must be resol leeting or the application may not be	
Submitted architectural draw Community Services or Plann	vings and details for all projects unles ing & Zoning Department.	ss allowed in writing by the
Agreed to submit any require	ed revisions by the Design Review Co	mmittee with updated drawings
to the Community Services D	Department for review prior to reque	sting any permits.
Andy Steele	And teet	7-15-19
Printed Name	Signature	Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

Deed Book 39550 Pg 440 Filed and Recorded Mar-88-2805 82:80pa 2005-0104942 Real Estate Transfer Tax \$118.00 Juanita Hicks Clerk of Superior Court Fulton County, Georgia

RETURN TO: Morris & Schneider, P.C. 2401 Lake Park Drive, Suite 160 Smyrna, Georgia 30080 Final Documents File #: JON-050200140S

WARRANTY DEED

STATE OF GEORGIA COUNTY OF CLAYTON

THIS INDENTURE made this 24th day of February, 2005, between SAMUEL LOVING AND KRISTIN A. LOVING, as party or parties of the first part, hereinafter called Grantor, and MELINDA S. DALTON, as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of TEN AND 00/100 DOLLARS (\$10.00) and other good and valuable consideration in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee, the following described property:

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN THE CITY OF HAPEVILLE, GEORGIA, BEING LAND LOT 127, 14TH DISTRICT, FULTON COUNTY, GEORGIA, BEING LOT 105 OF THE VIRGINIA PARK SUBDIVISION, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WEST SIDE OF RAINEY AVENUE, A DISTANCE OF 100 FEET NORTH OF THE NORTHWEST CORNER OF ORCHARD STREET AND RAINEY AVENUE AT THE NORTHEAST CORNER OF LOT 106; RUNNING THENCE NORTH ALONG THE WEST SID EOF RAINEY AVENUE, A DISTANCE OF 50 FEET TO LOT 104; THENCE WEST OF SOUTH LINE OF SAID LOT, A DISTANCE OF 150 FEET TO LOT 96; THENCE SOUTH ALONG THE EAST LINE OF LOT 96, A DISTANCE OF 50 FEET TO LOT 106; THENCE EAST ALONG THE NORTH LINE OF SAID LOT 150 FEET TO THE POINT OF BEGINNING ON THE WEST SIDE OF RAINEY AVENUE, BEING IMPROVED PROPERTY KNOWN AS 3429 RAINEY AVENUE, HAPEVILLE, GEORGIA 30354 ACCORDING TO THE SYSTEM OF NUMBERING HOUSES IN FULTON COUNTY, GEORGIA AND BEING THE SAME PROPERTY CONVEYED TO KRISTIN R. ANDERSON BY VIRTUE OF WARRANTY DEED DATED ON MARCH 16, 2000 AND RECORDED IN DEED BOOK 28931, PAGE 199; FULTON COUNTY, RECORDS.

Subject to all easements and restrictions of record.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee, forever in FEE SIMPLE.

AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal this day and year first above written.

(Seal)

(Seal)

Signed, sealed and delivered

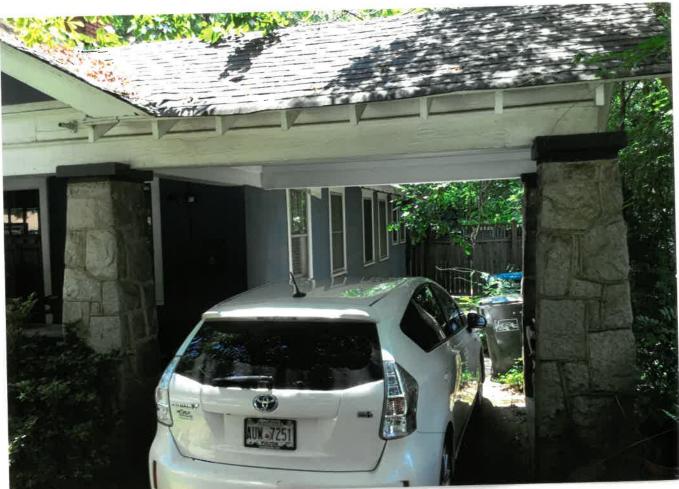
in the presence of:

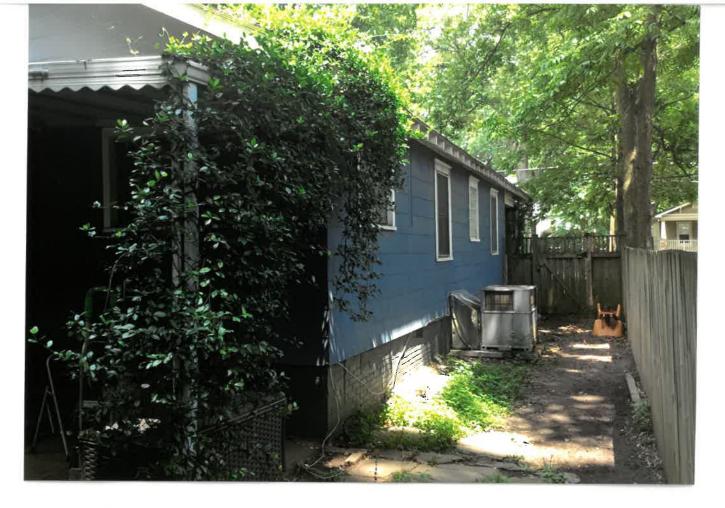
Unofficial Witness

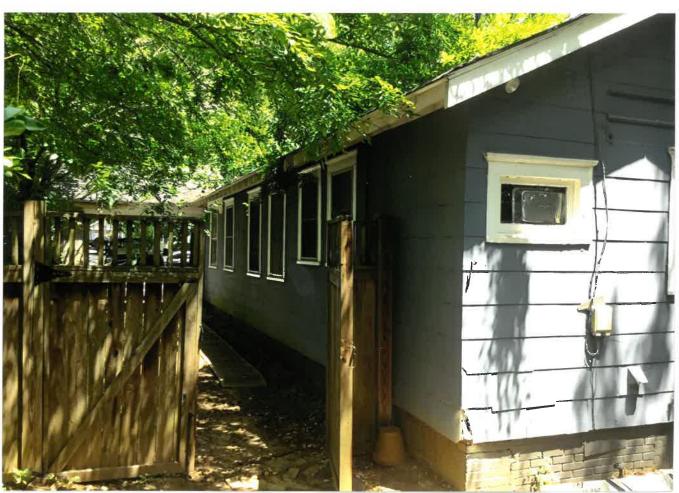
Deed_Ga_WarrantyDood

JON-050200140S

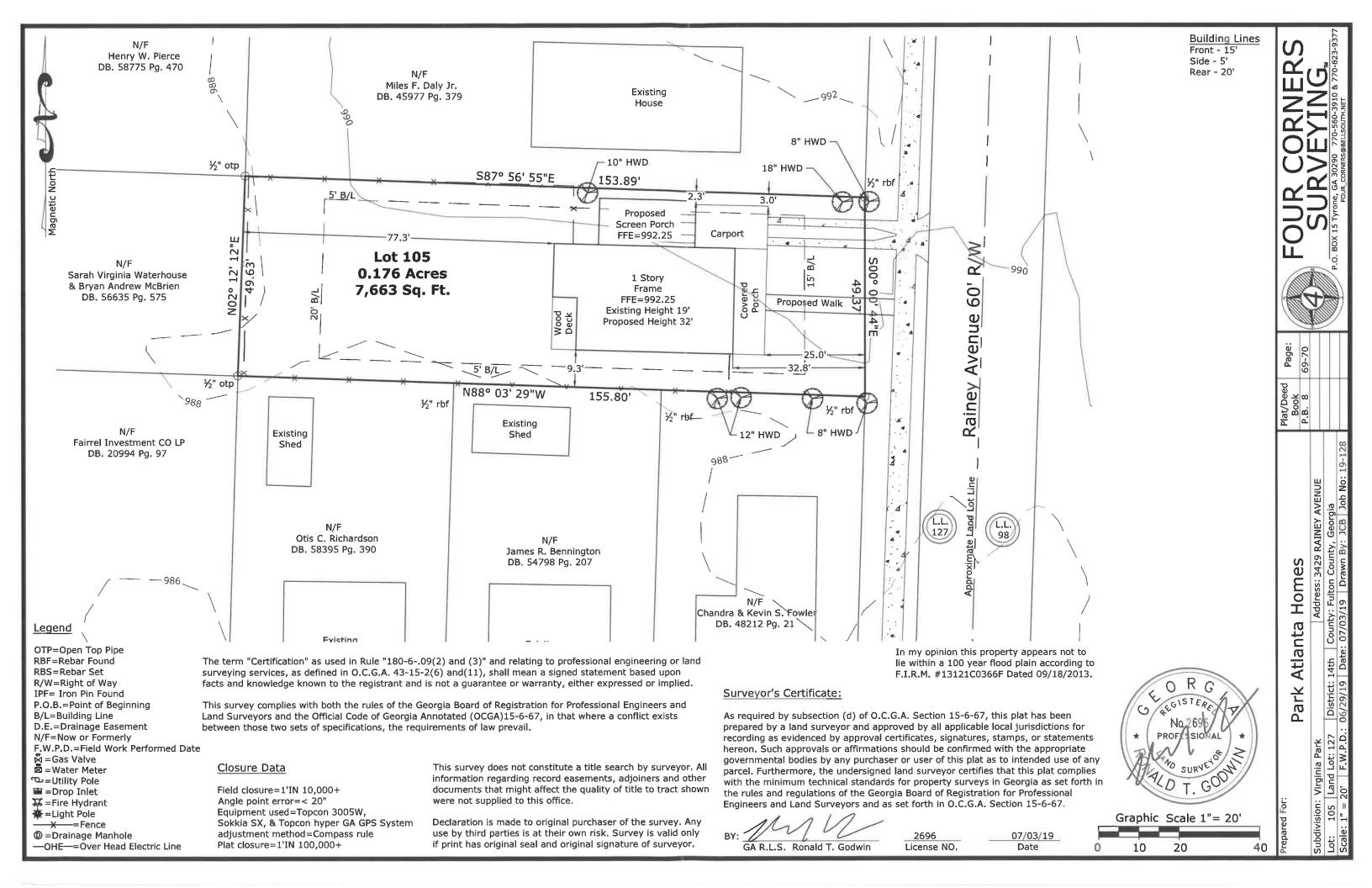












3 Phases of erosion control plan

INITIAL PHASE of Sediment , Erosion Control & Pollution Control Measures:

The initial phase of erosion control measures shall involve the following: clearing as necessary to install the type "C or C-PoP" sill fence as shown on this plan.

INTERMEDIATE PHASE of Erosion, Sediment & Pollution Control Measures

After all Initial measures are in place full grading can commence, this shall include grading for the foundation pad, sidewalk, and surrounding lawn grading. If any area is left exposed for more than 14 days, it shall be atabatical with mulch and /or seeded with emperary seeding (refer to the seeding schoolide and rated charge). The builder or contractor should inspect the site including all eredion control measures to include the deducts after each rate when the control resources to the control resources the control resou

FINAL PHASE of Erosion, Sediment & Pollution Control Measures:

"The design professional who prepared the estape plan is to inspect the installation of the perimeter control bmp's within 7 days after installation."

"Non exempt activities shall not be constructed within the 25 foot undisturbed buffer as measured from the top of pond bank without first aquiring the necessary variances and permits."

Ammendments/revisions to the eathpt plan which have a significant effect on bmp's with a hydraulic component must be certified by the design professional.*

REVIEW CHECKLIST

EROSION, SEDIMENTATION & POLLUTION CONTROL PLAN CHECKLIST

c	OMMON DEVELOPMENT CONSTRUCTION SWCD: FULTON COUNTY	PROJECTS (Primary an	d Tertlary Permittees)
Project Name: LOT		Address: 3429 RAR	EY AVDIUE
City/County:	FULTON COUNTY	Date on Plans	07/03/19
Name&email of pers	son filling out checklist: RONALD T.	GODWIN RONGFOURCORNE	RSSURVEYING.COM
Plon Included	TO BE	E SHOWN ON ESAMPC P	LAN
Page # Y/N			
T	The applicable Erosion, Sedimentation and Po as of January 1 of the year in which the land (The completed Checklist must be submitted	d-diaturbing activity was pe	mitted.
1 Y 2	Level if certification number leaved by the Co (Signature, seel and Level II number must be reviewed)	mmission, algnature and sec on each sheet pertoining t	i of the certified design professional. • ES&PC plan or the Plan will not be
N/A 3	Limits of disturbance shall be no greater that the EPD District Office. If EPD approves the Include at least 4 of the BMPs listed in App (A copy of the written approval by EPD must	sendix 1 of this checklist."	
2 Y 4	The name and phone number of the 24-hour controls.	r local contect responsible f	or erosion, sedimentation and pollution
25	Provide the name, address, small address, on	d phone number of primary	permittee or tertiary permittee.
1 Y 6	Note total and disturbed acreage of the proj	ect or phase under construc	tion.
7 7	Provide the GPS location of the construction	exit for the site. Give the	Latitude and Longitude in decimal degrees.
1 & 2 Y 6	Initial date of the Plan and the dates of any revisions.	revisions made to the Plan	including the entity who requested the
1 Y 9	Description of the nature of construction act	lvity.	
Y 10	Provide vicinity map showing site's relation to necessary.	to surrounding greas. Includ	e designation of specific phase, if
Y 11	identify the project receiving waters and des residential areas, wetlands, marshlands, etc.	cribe all sensitive adjacent of which may be affected.	oregs including streams, lokes,
12	Design professional's certification statement ES&PC Plan as stated on Part IV page 23	of the permit.	
1 Y 13	Design professional's certification statement appropriate and comprehensive system of 8k Part IV pg 22 of the permit.	and signature that the per IPs and sampling to meet p	nittee's ES&PC Ptan provides for an ermit requirements as stated on
1 & 2 Y 14	Clearly note the statement that "The design installation of the initial sediment storage re- in accordance with Part IV.A.5 page 27 of the	quirements and perimeter co	ne ES&PC Plan is to inspect the ntrol BMPs within 7 days after installation."
1 Y 15	Clearly note the statement that "Non-exemp stream buffers as measured from the point of as measured from the Jurisdictional Determin	t activities shall not be con of wrested vegetation or wit ation Line without first acqu	ducted within the 25 or 50—foot undisturbed hin 25—feet of the coastal marshland buffer Iring the necessary variances and permits."
N/A 16	Provide a description of any buffer encroaching		
2 Y 17	Clearly note the statement that "Amendment BMPs with a hydraulic component must be co	s/revisions to the ES&PC Pi ertified by the design profes	an which have a significant effect on sional."*
2 Y 18	Clearly note the statement that "Waste mate authorized by a section 404 permit."*	ricia shall not be discharged	to waters of the State, except as
Ž Y 19	Clearly note statement that "The escape of a erosion and sediment control measures and p	sediment from the site shall prootices prior to tand distu	be prevented by the Installation of bing activities."
2 Y 20	Clearly note statement that "Erosion control approved Pion does not provide for effective measures shall be implemented to control or	measures will be maintained erosion control, additional e treat the sediment source."	ot all times. If full implementation of the roelan and sediment control
2 Y 21	Clearly note the statement "Any disturbed an stabilized with mulch or temporary seeding."	ed left exposed for a period	greater than 14 days shall be
N/A 22	Indication that the applicable portion of the secondary permittee prior to the secondary of shall sign the Plan or portion of the Plan ap permittees.*	primary permittees ES&PC Fonducting any construction plicable to their site. List the	ian is to be provided to each activity and that each secondary se names and addresses of all secondary
N/A 23	mile upstream of and within the same water camply with Part III. C. of the Permit, include those areas of the site which discharge to ti	orm water into an impaired thed as any portion of an E the completed Appendix 1 he impaired Stream Segmen	Stream Segment, or within 1 linear lote impaired Stream Segment, must listing all the BMPs that will be used for i.*
N/A 24	If a TMDL implementation Plan for sediment item 23 above) at least six months prior to conditions or requirements included in the TM	submitted of NOI, the ES&P	npoired Stream Segment (identified in C Plan must address any site—specific

POLLUTION CONTROL NARRATIVE

1. Petroleum based products - containers for products such as fuels, lichticants and tars will be inspected daily for leaks and splife. This includes on-site vehicle and machinery daily inspections and regular preventative maintenance of such equipment, equipment maintenance areas will be located away from state water, astural defens and storm drienge highs. In addition, temporary fueling hands shall have a secondary containment liner to prevent liners also contained and justice an

BMPs for concrete washdown of tools, concrete mixer chutes, hoppers and the rear of the vehicles. Washout of the drum at the construction site is prohibited.

Paints/Finishes/Schrents - All products will be stored in tightly sealed original containers when not in use, excess product will not a discharged to the storm water collection system. Excess product materials used with these products and product containers will be disposed of according to manufacturers specifications and

2 Y 28 Provide BMPs for the remediation of all petraleum spills and leaks.

2. No waste material will be disposed of into storm water injets or waters of the state. All waste materials will be collected and stored in a securely idided metal dumpster. The dumpster will meet all solid waste management regulations. All trask and construction debris from the site will be deposited in the dumpster will be emptded a minimum of once per week or more often if necessary and trask will be hauled as required by local regulations, no construction waster will be buried onsits.

3. Hazardous Wistes - All hazardous waste materials will be disposed of in a manner specified by local, state, and/or faderal regulations and by the mannfacturer of such products. The job atte superintendent, who will also be responsible for sealing that these specifices are followed, will instruct size a personnel in these states of the product of the subsequent product of the pr

The contractor will implement the Spill Prevention Control and Countermeasures (SPCC) plan found within this ESPCP and will train all personnel in the proper cleanup and handling of a pilled materials. No spilled hazardous materials for bazardous wastes will be allowed to come in contact with stommwater discharges. It is excluded to the contact of the contact of the contact of the contact measures for exempliance with state discharges. It shall be a the responsibility of the job site superintendent to properly train all personnel in the use of the SPCC plan.

Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding.

This plan as shown shall be considered a minimum and may be modified on field

All persons involved in land disturbance activities must be certified in erosion and sedimentation control by the GASWCC or supervised by someone who is. The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, land disturbing activities.

Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shell be implemented to control or treat the sediment.

All erosion control measures are to conform to the standards set fourth in the <u>manual for erosion and sediment control in Georgia</u> (i.e. the green book). The specifications and detail requirements of the green book and are incorporated herein by reference,

There are no state waters on or within 200' of site.

There are no wetlands on or within 200' of site.

Note: All temporary erosion and sedimentation control measures are to be removed upon final stabilization.

4 4 4 4 4 4 WASHOUT SIGN 30% STRAIN SIZE (TYPICAL) OME (TYPICAL) 3 MIL PLASTIK EXISTING GROCE CTYPICAL S' MIN MIEDURD (TYPICAL) EXISTING GROCE CTYPICAL CTYPICAL S' MIN MIEDURD CTYPICAL S' MIN MIEDURD CTYPICAL CTYPI CONCRETE WASHOUT AREA 2 Y 27 Description of practices to provide cover for building materials and building products on site.*

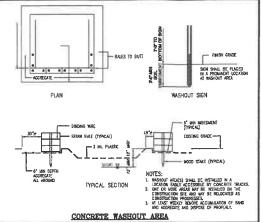
1	Y 29	Description of the pro	ctices that will be us	sed to reduce the p	oliutante in storm water dischan	ges.*
_1	<u>Y</u> 30	Description and chart portions of the site (I excavation activities, u	.e., initial perimeter (and asdiment storag	major activities which disturb a e BMPs, clearing and grubbing a lization).	olls for the major activities,
2	Y 31	Provide complete requ	rements of inspection	ne and record keepl	ng by the primary permittee or	tertiory permittee.
2	¥ 32	Provide complete requ	frements of eampling	frequency and repa	rting of sempling results.	
	N/A 33	Provide complete deta	ills for retention of re	ecords as per Part I	V.F. of the parmit.	
	N/A 34	Description of analytic	al methods to be us	ed to collect and ar	alyze the samples from each to	cation,*
	N/A 35	Appendix B rationals	for NTU values at all	outfail sampling pol	nte where applicable.*	
	N/A 38	Delinecte ali sampling which storm water is	locations, perennial a	ond intermittent stre	arms and other water bodies int	0
	N/A 37	(1) initial sediment et BMPs, and (3) final i perimeter control BM	orage requirements a BMPs. For construction	nd perimeter control on sites where there sing and drainage Bi	e implemented at the construct BMPs. (2) intermediate grading will be no mass grading and it tPs. and final BMPs are the san	and drainage the initial
	N/A 38	Plan addresses BMPs etc. regardless of who			ncluding individual building lots c clude a typical and any situatio	
	Y 39	Graphic scale and Not	th arrow.			
1	¥ 40	Existing and proposed	contour lines with c	antour lines drawn o	it an interval in accordance with	the following:
			Map Scale	Ground Slope	Contour intervals, ft	
			1 Inch = 100ft	Flat 0 - 2% Rolling 2 - 5%	0.5 or t 1 or 2	
			or larger scale	Steep 8% +	2,5 or 10	
	N/A 41	BMPs as certified by	a Design Professional	(unless disapproved	ited to be equivalent to or supe by EPD or the Georgia Soil and current found at www.gaswcc.org	Water Conservation
	N/A 42	Use of alternative SM for Erosion & Sedimen	P for application to I	the Equivolent BMP I 2016 Edition.	Jst. Please refer to Appendix A-	-2 of the Manual
1-2	Y 43	Delineation of the app buffers required by th	elicable 25—foot or 50 a Local Issuing Autho	0—foot undisturbed ority. Clearly note an	buffers adjacent to state waters id delineate all areas of impact.	and any additional
1-2	Y 44	Delineation of on-site	wetlands and all sta	ate waters located a	n and within 200 feet of the pr	oject site.
	N/A 45	Dalineation and acrea	gs of contributing dro	alnage basins on the	project site.	
	N/A 46	Provide hydrology stud	dy and maps of drain	age basins for both	the pre- and post-developed	conditions.*
	N/A 47	An estimate of the re completed.	unoff coefficient or p	eak discharge flow o	f the site prior to and after co	natruction activities or
	N/A 48		weir velocities with a		rotection to accommodate disch	arges without
	Y 49	Soll series for the pro-	ject site and their d	lelineation.		
	Y 50	The limits of disturbe	nce for each phase o	of construction.		
	N/A 51	retrefitted detention patorage volume must elte has been achieve been is not atteinable is not provided. A wif Worksheets from the obtain the required e- impoundments, permit infeable, if outst at this decision must be	nond, and/or excevet be in place prior to d. A written justificat e must be included in the justification as it Manual included for a sidiment storage when these are required to ructures that withdra- included in the plan.	ed inlet sediment tr and during all land ion explaining the di in the plan for each to why 87 cubic yar tructural BMPs and using equivalent or utilize outlet structur w water from the si	core droined using a temporor pas for each common droilings disturbance octivities until final solision to use equivalent control common droilings isocition is with a featorogis in activahibite and a storogis in and attainable into the common droilings isocition is with a featorogis in and attainable and a storogis in a technique in a storogis in a storogistic in a storo	location. Sediment attabilization of the swhen a sediment hich a sediment been must also be given. Ign professional to administrational to administrational to sediment beains and he surface, unless in justification explaining the surface.
1-2	52	Erosion and Sediment	Control in Georgio, (Jee uniform coding	th, and no less stringent than, symbols from the Manual, Chopt	er 6, with legand.
1-2	Y53	Provide detailed drawi forth in the Manual fo	nge for all structural or Erosion and Sedim	practices. Specifica ent Control in Georg	tions must, at a minimum, mee la.	t the guidelines set
1	9 64	Decide constation of	a colleg all tampers	ev and nermanest w	ecetative prestions include sour	les planting dates and

All sanitary waste units will be located in an area where the likely hood of the unit contributing to a storm water discharge is negligible. Additional containment bring's must be implemented, such as gravel bags or specially designed plastic skid containers around the base, to prevent wastes from contributing to storm water discharges. The location of sanitary waste units must be identified on the erosion control plan intermediate phase sheet by the contractor once the locations have been identified. Sanitary sewer for this project will be by specific system is completion of project.

- C. Spill prevention practices and procedures will be reviewed after a spill and adjusted as necessary to prevent future spills.

- F. For soils of an unknown amount. The National Response Center (NRC) will be contacted within 24 hours at 1-800-424-8802.
- G. For spills greater than 25 gallons and no surface water impacts, the Georgia EPD will be contacted within 24 hours.
- H. For spills less than 25 gallons and no surface water impacts, the spill will be cleaned up and local agencies will be contacted as required.

EROSION, SEDIMENTATION, & POLLUTION PLAN



2 Y 28 Description of the meditures that will be installed during the construction process to control pollutants in storm water that will occur after construction operations have been completed.*

Provide vegetative plan, noting all temporary and permanent vegetative practices, include species, planting dates and seeding, fertilizer, lime and mulching rates. Yegetative plan shall be alte specific for appropriate time of year that seeding will take place and for the appropriate geographic region of Georgia.

*This requirement of the Common Development permit is not applicable to Tertiory Permittees with a Plan(s) for a typical individual lax(s), if the total land disturbance within the construction sits is less than five (5) acres and the total land disturbance within each individual lax is less than one (1) acre. If applicable, the * checklest item would be N/A.

Effective January 1, 2019

Sankary Wastes - A minimum of one portable sankary unit will be provided for every 10 workers onsite. ALL Sankary waste will be collected from the portable units a minimum of one time per week by a licensed portable facility provider in complete compliance with local and state regulations.

A. Local, state and manufacture's recommended methods for spill cleanup will be clearly posted and procedures will be made available to site personnel. B. Material and equipment necessary for spill cleanup will be kept in the material storage areas. Typical materials and equipment lactudes, but is not limited to, brooms, destpans, mops, rags, gloves, opogies, cat litter, sand, sawdust and properly abelied plastic and metal waste containers.

The contractor shall notify the licensed professional who prepared this Plan If more than 1320 gallons of petroleum is stored onsits (this includes capacities of equipment) of if any one piece of equipment has a capacity greater than 660 gallons. The contractor will need a Spill Prevention Containment and Countermeasures Plan prepared by that licensed notifications.

24 HOUR CONTACT:

DEVELOPER/OWNER MELINDA S. DALTON 3429 RAINEY AVE HAPEVILLE GA 30354

1. EACH DAY WHER ARY TYPE OF CONSTRUCTION ACTIVITY HAS TAKEN PLACE AT A PRIMARY PERMITTES SITE, CERTIFIED PERSONNEL PROVIDED BY THE PRIMARY PERMITTES SHALL INSECT: (A) ALL AREAS AT THE PRIMARY PERMITTES SHALL INSECT: (A) ALL AREAS AT THE PRIMARY PERMITTES SITE WHERE PERMILS AND LEAST FROM VEHICLES AND EQUIPMENT AND (B) ALL LOCATIONS AT THE PRIMARY PERMITTES SITE WHERE VEHICLES ENTER OR BOTH THE FOR PRIMARY PERMITTES SHE WHERE VEHICLES ENTER INSECTIONS MUST BE CONDUCTED UNTIL A NOTICE OF TERMINATION IS SUBMITTED.

2. MEASURE AND RECORD RAINFALL WITHIN DISTURBED AREAS OF THE SITE THAT HAVE NOT NET FIRML STABILIZATION ONCE EVERY 24 HOURS EXCEPT ANY NON-WORKING SATURDAY, NON-WORKING SUNDAY AND NON-WORKING FEDERAL HOLIDAY. THE DATA COLLECTED FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONTROBE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONTROBE OF CITY IN MEASUREMENT OF RAINFALL HAVE BE SUSPENDED IF ALL AREAS OF THE SITE HAVE UNDERGORE FINAL STRAILIZATION OR ESTREISHED A CROOP OF AMPUILA VECETATION AND A SEEDING OF TARGET PERENKIALS APPROPRIATE FOR THE REGION.

REGION.

3. CERTIFIED PERSONNEL (PROVIDEO BY THE PRIMARY PERMITTEE) SHALL INSPECT THE POLLOWING AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES AND WITHIN 24 HOURS OF THE END OF THE BIRD ATTER 300 HOW AN ANY NON-WORKING FOR EARL HOLDON IN WHICH CASE THE INSPECTION SHALL BE COMPLETED BY THE BIRD OF THE HEST BUSINESS DAY AND/OR WORKING DAY, WHICHEVER OCCURS FIRST): (A) DISTURBED AREAS OF THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO THE PRIMARY PERMITTEE FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO THE PRIMARY PERMITTEE STITE SHALL BE GOSENOW HEASURES, EROSION AND SEDDMENT CONTROL INSUSPENSE IDENTIFIED IN THE PLAN APPLICABLE TO THE PRIMARY PERMITTEES STITE SHALL BE GOSENOW TO THIS OF THE PERMITTEES STITE SHALL BE GOSENOW TO THIS OF THE STORY SHALL BE CONTROL INSUSPENSE AND AND AND ADDRESSED TO THE PERMITTEES STITE SHALL BE COSENOW TO THIS OF THE PERMITTEES STITE SHALL BE COSENOW TO THE WAS APPLICABLE TO THE ACCUPANCY OF THE PERMITTEES STITE SHALL BE COSENOW TO THE WAS APPLICABLE TO THE PERMITTEES STITE SHALL BE COSENOW TO THE WAS APPLICABLE TO THE PERMITTEES STITE SHALL BE COSENOW AND HOUSE SHALL BE SHALL BE COSENOW TO THE SHALL STANDARD THE PERMITTEES STILL SHALL BE COSENOW THE SHALL SHALL BE SHALL BE

BE COMUNICIED WILL A NOTICE OF TERMANDERS SOBERITED.

A. CERTIFIED PERSONNEL, (PROVIDED BY THE PRIMARY PERMITTIES) SHALL IMPRECT AT LEAST ONCE PER MONTH DURING THE TERM OF THIS PERMIT (I.E., NUTLL A NOTICE OF TERMINATION IS RECEIVED BY PED) THE AREAS OF THE SITE THAT HAVE UNDERGONE FINAL STRABILIZATION OR ESTABLISHED A CROP OF ANNUAL VESTATION AND A SEEDING OF TRACET PERMINATED FOR A PROPERTY OF THE PROPERTY OF

S. BASED ON THE RESULTS OF BACH INSPECTION, THE STIE DESCRIPTION AND THE POLLUTION PREVENTION AND CONTROL MEASURES IDENTIFIED IN THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAY, THE PLAY SHALL BE REVISED AS APPROPRIATE NOT LATER THAN SEVEN (7) CALEMDAR DAYS OF COLLOWING EACH INSPECTION. IMPLEMENTATION OF SUCH CHANGES SHALL BE MADE AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN SEVEN (7) CALEMDAR DAYS POLLOWING EACH INSPECTION.

CALENDAR DAYS FOLLOWING EACH INSPECTION.

6. A REPORT OF EACH INSPECTION THAT INCLIDES THE NAME(8) OF CERTIFIED PERSONNEL INMORROW EACH INSPECTION, THE OWTE(8) OF EACH INSPECTION, CONSTRUCTION PHASE (8.), INTITUL, INTERNEDATE OR FIRML, MALOX CONSTRUCTION PHASE (8.), INTITUL, INTERNEDATE OR FIRML, MALOX CONSTRUCTION PHASE (8.), INTITUL, INTERNEDATE OR FIRML, MALOX CONSTRUCTION PHASE (8.), INTITUL, INTERNEDATE OR FIRM THAT INDITUDE OF THE PERMIT SHALL BE MADE AND EXPENSIVE AND AND ACTIONS TAKEN IN ACCORDANCE WITH PART IN JOA.A.(S), OF THE PERMIT SHALL BE MADE AND EXTRAINED AT THE SHE OR BE EARDILY AVAILABLE AT A DESIGNATIVE DATE INTERNATE LOCATION UNTIL THE SHIRE SHE OR THAT PORTION OF A CONNETICUTION PLAN HAVE IN A DESCRIPTION OF A CONNETICUTION PLAN HAVE IN A DESCRIPTION OF A CONNETICUTION PLAN HAVE IN A DESCRIPTION OF A CONNETICUTION PLAN HAVE BEEN AND ASSOCIATED AND AND ASSOCIATED ASSOCIATED AND ASSOCIATED ASSOCIATED AND ASSOCIATED ASSOCIATED AND ASSOCIATED ASSOCIATED ASSOCIATED

THE PRIMARY PERMITTEE SMALL RETAIN THE POLLOWING RECORDS AT THE CONSTRUCTION STIE OR THE RECORDS SHALL BE READILY AVAILABLE AT A DURTH SHALL SHE READILY AVAILABLE AT A DURTH PART VI. (1) A COPY OF ALL NOTICES OF INTENT SUBMITTEE TO EPP. (2) A COPY OF ALL SHAPPLING BEFORE OF THE PERMIT. (2) THE DESIGN PROFESSIONALS REPORT OF THE RESULTS OF THE PERMIT. (3) A COPY OF ALL SHAPPLING BIFORMATION, RESULTS, AND REPORTS (4) A COPY OF ALL INSECTION REPORTS GENERATED IN ACCORDANCE WITH PART VJ.D.A.A. OF THIS FERMIT. (7) A COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART VJ.D.A.A. OF THIS FERMIT. (9) COPY OF ALL VIOLATION SUMMARIES AND VIOLATION SUMMARY REPORTS GENERATED IN ACCORDANCE WITH PART VJ.D.A.A. (2). OF THIS PERMIT.

IV.O.4.A.(2). OF THIS PERMIT.

(2) COPIES OF ALL NOTICES OF INTENT, NOTICES OF TERMINATION, INSPECTION REPORTS, SAMPLING REPORTS (INCLIDING ALL CALIBRATION AND MAINTENANCE RCORDS AND ALL COLUMN, STATE OF AMERICAN SERVICE AND ALL CALIBRATION AND POLITION CONTROL PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THE EPA, RESORD, SEDMINISTRON AND POLITION CONTROL PLANS, RECORDS OF ALL DATA USED TO COMPLETE THE NOTICE OF INTENT TO BE COVERED BY THIS PERMIT AND ALL OTHER RECORDS NEURICE BY THIS PERMIT SHALL BE RETAINED BY THE PERMITTEE WHO ETHIER PRODUCED OR USED IT FOR A PREINDO FOR THE AST THREE VERSOR FROM THE DATE THAT THE NOT IS SUBMITTED IN ACCORDANCE WITH PARTY VI. OF THIS PERMIT. THESE RECORDS IN SIZE BE AMANTAMED AT THE PERMITTEES PRIMARY PLACE OF BUSINESS OR AT A DESIGNATED ALTERNATIVE LOCATION ONCE THE OWNER, THE PERMIT OF THE PERMIT

RETENTION OF RECORDS

INSPECTIONS

PERMITTER REQUIREMENTS

EROSION & SEDIMENT CONTROL PLAN FOR LOT 105 VIRGINIA PARK

SAMPLING REQUIREMENTS

SAPPLING REQUIREMENTS SHALL INCLUDE THE FULL VAMING. (REFERRED TO AS A TOPOGRAPHIC MAP A TOPOGRAPHIC MAP A TOPOGRAPHIC MAP TO AS A TOPOGRAPHIC MAP THAT IS A SCALE EQUIAL TO GR MORE DETAILED THAN A 12-400 MAP BEWONING THE LOCATION OF ALL PERENTIAL AND ALTERNITISTENT STREAMS AND OTHER WATER SOLDES AS SHOWN ON A USGS TOPOGRAPHIC MAP, AND ALL OTHER PERENTIAL AND INTERMITTENT STREAMS AND OTHER WATER SOLDES LOCATED DURING MANDATORY FIELD VERFICATION, INTO WHICH THE STORM WATER BODIES LOCATED DURING MANDATORY FIELD VERFICATION, INTO WHICH THE STORM WATER BD DISCOMED SAID (8) THE RECEIVING WATER AND OTHER WATER SOLDES CONCRADIC MAP AND THE REFERENTING MATERICS) IS NOT SHOWN OF UTILAL SAPPLING LOCATIONS, WHEN THE PERMITTEE MAS CHOSEN TO USE A USSS TOPOGRAPHIC MAP AND THE REFERENTING MATERICS) IS NOT SHOWN OF MISS. SOLD SECONDAY WATER AND AND THE SOLD STORM WATER AND THE PERMIT WATER SOLD SHOWN ON THE USSS TOPOGRAPHIC MAP FROM WHERE THE STORM WATER(S) ENTIRES THE RECEIVING WATER(S) TO THE STREAM SHOWN ON THE USSS TOPOGRAPHIC MAP;

2. A WRITTEN NARRATIVE OF SITE SPECIFIC ANALYTICAL METHODS USED TO COLLECT, HANDLE AND ANALYSE THE SAMPLES INCLUDING QUALITY CONTROL/QUALITY ASSURANCE PROCEDUSES. THIS NARRATIVE MUST INCLUDE PRECISE SAMPLING METHODOLOGY FOR EACH SAMPLING LOCATION;

3. WEB THE FRANTIER HAS DETERMINED THAT SOME OR ALL OUTFALLS WILL BE SAMPLED, AND AND THAT HAS BE INCLUDED ON THE PLANT FOR THE MINE THE MEMORY OF THE MAY FOR THE MINE THE MEMORY OF THE MEMORY OF THE MEMORY OF THE MEMORY OF THE SANTOMAR HUST INCLUDE THE SIZE OF THE CONSTRUCTION STEET, THE CALCULATION OF THE SIZE OF THE SURFACE WATER DRAIMAGE AREA, AND THE TYPE OF RECEIVING WATER(S) (I.E., TROUT STREAM OR SUPPORTING WARM WATER STRIKERES), AND

4. ANY ADDITIONAL INFORMATION EPD DETERMINES NECESSARY TO BE PART OF THE PLAN, EPD WILL PROVIDE WRITTEN NOTICE TO THE PERMITTEE OF THE INFORMATION NECESSARY AND THE TIME LINE FOR SUBMITTAL.

ALL SAMPLING SIMIL SE COLLECTED BY "CRASS SAMPLES" AND THE ANALYSIS OF THESE SAMPLES HEST EXCLASSICE TO THE SAMPLES OF THE THE SAMPLES OF THE STORE WARTE SAMPLING GUIDANCE DOCUMENT, EAR SAMPLING GUIDANCE DOCUMENT THE SAMPLING GUIDANCE GUIDANCE DOCUMENT THE SAMPLING GUIDANCE GUIDANCE

1, SAMPLE CONTAINERS SHOULD BE LABELED PRIOR TO COLLECTING THE SAMPLES. 3. SAMPLES SHOULD BE WELL MIXED BEFORE TRANSFERRING TO A SECONDARY CONTAINER.

APPROVED: DATE:

GSWCC GRONDLA SCIL AND WATER COMPRISED ON COMPRISED ON

Ronald T Godwin Level II Certified Design Professional

CERTIFICATION NUMBER 0000011203 Issued: 05/23/18 Expires: 05/23/21

UTILITY POLE
REBAR SET
REBAR FOUND
REBAR SET
OPEN TOP PIPE
CRIMP TOP PIPE
LAND LOT LINE
LAND LOT LINE
LAND LOT LINE
CONCRETE MARKET
CONCRETE MARKET
DEPORATY EXPONMENT
OWNERS UTILITY LINES
FINISHED FLOOR ELEVEATION

(c) AT THE TIME OF SAMPLING PERFORMED PURSUANT TO (A) AND (B) ABOVE, IF BMPS IN ANY AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTFALL ARE NOT PROPERLY DESIGNED, INSTALLED AND MAINTAINED, CORRECTIVE ACTION SHALL BE DEFINED AND IMPLEMENTED WITTEN TWO (2) BUSINESS DAYS, AND TURBIDITY SAMPLES SHALL BE TAKEN FROM DISCHARGES FROM THAT AREA OF THE SITE FOR EACH SUBSEQUENT RAIN EVENT THAT REACHES OR EKCRED S. IS HAT OF DISCHARGES FROM THAT AREA OF THE SITE FOR EACH SUBSEQUENT.

CONTAINER. 4. LARGE MOUTH, WELL CLEANED AND RINSED GLASS OR PLASTIC JARS SHOULD BE USED FOR COLLECTING SAMPLES. THE JARS SHOULD BE CLEANED THOROUGHLY TO ANOTIC CONTAINATION. MANUAL, AUTOMATIC OR RISING STAGE SAMPLING MAY BE UTILIZED. SAMPLES REQUIRED BY THIS FERMIT SHOULD BE AMANIZED IMMEDITARLY, BUT IN NO CASE LATER THAN 48 HOURS AFTER COLLECTION. HOWEVER, SAMPLES FROM AUTOMATIC SAMPLESS MUST BE ACCUMULATION, URLESS FLOW THROUGH AUTOMATE SAMPLESS MUST BE CACCUMULATION, URLESS FLOW THROUGH AUTOMATE SAMPLES IS NOT AUTOMATIC SAMPLEND IS UTILIZED. AND THE AUTOMATE SAMPLEME IS NOT ACTIVATED DURING THE QUALITYING EVENT, THE PRENTITER MUST UTILIZE MANUAL SAMPLING OR RUSING STAGE SAMPLING DURING THE NEXT QUALITYING PROFESSION. SAMPLES MUST CONTAIN THE PROFESSION OF THE SAMPLES ARE NOT REQUIRED TO BE COOLED. SAMPLING AND ANALYSIS OF THE RECEIVING WATER(S) OR OUTFALLS BEYOND THE MINIMUM PREQUENCY STATED IN THIS PERMIT MUST BE REPORTED TO EPD AS SPECIFIED IN PART IV.E.

SAMPLING POINTS

1.FOR CONSTRUCTION ACTIVITIES THE PRIMARY PERMITTEE MUST SAMPLE ALL RECEIVING WATER(S), OR ALL OUTFALL(S), OR A COMBINATION OF RECEIVING WATER(S) AND OUTFALL(S). SAMPLES TAXEN FOR THE PURPOSE OF COMPLIANCE WITH THIS PERMIT SHALL BE REPRESENTATIVE OF THE MONITORED ACTIVITY AND REPRESENTATIVE OF THE WATER QUALITY OF THE RECEIVING WATER(S) AND/OR THE STORM WATER OUTFALLS USING THE FOLLOWING MINIMUM GUIDELINES:

(a) THE UPSTREAM SAMPLE FOR EACH RECEIVING WATER(S) MUST BE TAKEN INHIBITATELY UPSTREAM OF THE CONFLUENCE OF THE FIRST STORM WATER SISCHARGE REGION THE PRINTIFIC ACTIVITY (I.E., THE DISCHARGE FAITHEST UPSTREAM AT THE STEP BUT DOWNSTREAM OF ANY OTHER STORM WATER UPSTREAM AT THE STEP BUT DOWNSTREAM OF ANY OTHER STORM WATER UPSTREAM AT THE STEP BUT DOWNSTREAM OF ANY OTHER STORM WATER PURCHASHAN AT A STORMAT OF A STORMAT

(a)THE DOWNSTREAM SAMPLE FOR RACH RECEIVING WATER(S) NUST BE TAKEN DOWNSTREAM OF THE CONFLUENCE OF THE LAST STORM WATER DISCHARGE FROM THE FEMTHER ACTIVITY (E. THE DISCHARGE FROM THE FEMTHER ACTIVITY (E. THE DISCHARGE FROM THE STORM WATER DISCHARGE NOT ASSOCIATED WITH THE PRINTIPE ACTIVITY WHERE APPROPRIATE, SEVERAL DOWNSTREAM SAMPLES FROM ACROSS THE RECEIVING WATER(S) NAV NEED TO SE TAKEN AND THE ARTINHETIC AVERAGE OF THE TURBIDITY OF THESE SAMPLES USED FOR THE DOWNSTREAM TURBIDITY VALUE.

(c) IDEALLY THE SAMPLES SHOULD BE TAKEN FROM THE HORIZONTAL AND VERTICAL CENTER OF THE RECEIVING WATER(S) OR THE STORM WATER OUTFALL

(a) THE SAMPLING CONTAINER SHOULD BE HELD SO THAT THE OPENING FACES UPSTREAM.

(f) THE SAMPLES SHOULD BE KEPT FREE FROM FLOATING DEBRIS.

(1) THE SAMPLES SHOULD BE KEFT FREE FROM FLOATING DEBTS.

(2) PERMITTEES DO NOT HAVE TO SAMPLE SHETTLOW THAT FLOWS ONTO INNDITURISED NATURAL AREAS OR AREAS STRABILIZED BY THE FROJECT. FOR PURPOSES OF THIS SECTION, STABILIZED SHALL MEAN, FOR UNPAPED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES AND AREAS LOCATED OUTSIDE THE WASTE DISPOSAL LIMITS OF A LANDFILL CELL THAT HAS BEEN LIMITS OF A LANDFILL CELL THAT HAS LANDFILL CELL THA

(h)all sampling pursuant to this permit must be done in such a way (including generally accepted sampling methods, locations, timing, and prequency as to acciding the resulting from the construction site is in complance with the standard set forth in parts in 10.3 or in 10.4, whichever is applicable.

(1) THE PRIMARY PERMITTEE MUST SAMPLE IN ACCORDANCE WITH THE PLAN AT LESS ONCE FOR EACH RAIMPALE SWHIT DESCRIBED BELOW. FOR A STORM WATER DISCHARGE OF A MONITORED RECEIVANC WATER AND/OR FROM A MONITORED OUTFALL LOCATION WITHIN IN FORTY-FIVE (45) MINUTES OR AS SOON AS POSSIBLE.

LEGEND

UP - UTILITY POLE

(2) HOWEVER, WHERE MANUAL AND AUTOMATIC SAMPLING ARE IMPOSSIBLE (AS DEFINED IN THIS PERMIT), OR ARE BEYOND THE PERMITTEE SHOOTINGD. THE PERMITTEE SHALL TAKE SAMPLES AS SOON AS POSSIBLE, BUT IN NO CASE MORE THAN TWELVE (12) HOURS AFTER THE BEGINNING OF THE STORM WATER SISCHARGE.

(3)SAMPLING BY THE PERMITTEE SHALL OCCUR FOR THE FOLLOWING QUALIFYING EVENTS:

QUALITYMG EVENTS:

(I) FOR EACH AREA OF THE SITE THAT DISCHARGES TO A RECEIVING WATER OR FROM AN OUTPALL, THE FIRST FRAIN EVENT THAT REACHES OR EXCEEDS 0.5

FROM AN OUTPALL, THE FIRST FRAIN EVENT THAT REACHES ON EXCEEDS 0.5

BUSINESS HOURS AS DEFINED IN THIS PERANT AFTER ALL CLEARING AND GRUBBING OPERATIONS HAVE BEEN COMMETTED, BUT PRIOR TO COMPLETION OF MASS GRADING OPERATIONS, IN THE DRAIMAGE AREA OF THE LOCATION SELECTED AS THE SAMPLING LOCATION;

(b) IN ADDITION TO (A) ABOVE, FOR EACH AREA OF THE SITE THAT FRAIN EXCEEDS OF EXCEEDS 0.5 INCH WITH A STORY WATER EXPENTING THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORY WATER EXPENT HAT REACHES OR EXCEEDS 0.5 INCH WITH A STORY WATER EXPENTING THAT REACHES OR EXCEEDS 0.5 INCH WITH A STORY WATER STORY WATER

NAME EVENT THAT REACHES OR EXCEEDS 0.5 INCH DURING NORMAL BUSINESS HOURS' UNTIL THE SELECTED TURRIDITY STANDARD IS ATTAINED, OR UNTIL POST-STORM EVENT INSPECTIONS DETERMINE THAT BMPS ARE PROPERLY DESIGNED, INSTALLED AND MAINTAINED;

DESIGNED, INSTALLED AND MAINTAINED;

(1) WHERE SAMPLING PURSIANT TO (A), (B) OR (C) ABOVE IS REQUISED BUT NOT POSSIBLE (OR NOT REQUISED BECAUSE THERE WAS NO DISCHARGE), THE FERRITTER, IN ACCORDANCE WITH PART IN JO. A. (S), MUST INCLUDE A WRITTER JUSTIFICATION IN THE INSPECTION REPORT OF WHY SAMPLING WAS NOT PERFORMED. PROVIDING THIS JUSTIFICATION DOES NOT RELEVE THE PERMITTE OF ANY SUBSEQUENT SAMPLING DUGATIONS UNDER (A), (B) OR (C) ABOVE, AND CONTROLLED ACTOR TO THIS PERMIT, THAT HAVE NET THE SAMPLING CONSTRUCTION ACTOR THIS PERMIT, THAT HAVE NET THE SAMPLING REQUIRED BY (A) ABOVE SHALL SAMPLE IN ACCORDANCE WITH (B). THOSE THAT AND EXCHANGE WITH (B). THOSE SHALT AND EXCHANGE WITH (B). THOSE SHALT SAMPLING REQUIRED BY (A) ABOVE SHALL SAMPLE IN ACCORDANCE WITH (B). THOSE THAT HAVE HET THE SAMPLING REQUIRED BY (B) ABOVE SHALL IN HERE TO CONDUCT ADDITIONAL SAMPLING OTHER THAN AS REQUIRED BY (C) ABOVE.

PARTIEUR OF HER HARA SE REQUIRED BY IC J NOVE.

MOTE THAT THE PERMITTER MAY CHOOSE TO HET THE REQUIREMENTS OF (A)

AND (B) ABOVE BY COLLECTING TURBIDITY SAMPLES FROM MY YAND PIEM.

THE DEPTH OF THE PERMITTER HAVE AND THE PERMITTER OF THE PERMIT HAT ARE COMBINED WITH STORM WATER DISCHARGES ASSOCIATED WITH CONTINUED AND WITH STORM WATER DISCHARGES ASSOCIATED WITH CONTINUED AND WITH STORM WATER DISCHARGES ASSOCIATED WITH CONTINUE THE DISCHARGE ASSOCIATED WITH CONTINUE CHOOSE OF THE PERMITTER DISCHARGE ASSOCIATED WITH CONTINUE THE PERMITTER OLUTION OF PERMITTER POLITION PREVENTION PREVENTION HEASURES FOR THE NON-STORM WATER COMPONENT(S) OF THE DISCHARGE.

REPORTING

(I) THE APPLICABLE PERMITTES ARE REQUIRED TO SUBMITT THE SAMPLING RESULTS TO THE EPO ATTHE ADDRESS SHOWN IN MARTC. BY THE FIFTEENTH DAY OF THE MONTH FOLLOWING THE REPORTING PRIDDS. REPORTING PREMOSS ARE HONTHS DURING WHICH SAMPLES ARE TAKEN IN ACCORDANCE WITH THIS FERRITT, SAMPLING RESULTS SHALL BE IN A CLEAP LEGIBLE FORMAT. UPON WRITTEN NOTIFICATION, EPO HAY REQUIRE THE APPLICABLE PREMITTEE TO SUMMIT THE SAMPLING RESULTS ON A MORE PREQUEST SAMELS. SAMPLING AND ANALYSIS OF ANY STORM WATER DISCHARGE(S) OR THE RECENTING WATER(S) BEFORD THE HIMMON REQUIREY STATED IN THIS PREMIT INSTETS SHUTS THE SECOND THE PROPERTY OF THE PROPERTY OF THE SAMPLING AND STATED IN THIS PREMIT HIST SER MINER TO SHOW THE SECOND THE TENDER OF THE SAMPLING ARE SUMMITTED TO PEOP UNITS. BUSH THE AS A NOT IS SUBMITTED IN ACCORDANCE WITH PART V.G.2. SAMPLING REPORTS MUST BE SUMMITTED TO PEOP UNITS. BUSH THE AS A NOT IS SUBMITTED IN

(2) ALL SAMPLING REPORTS SHALL INCLUDE THE FOLLOWING INFORMATION: (a) THE RAINFALL AMOUNT, DATE, EXACT PLACE AND TIME OF SAMPLING OR

MEASUREMENTS;
(b) THE NAME(S) OF THE CERTIFIED PERSONNEL WHO PERFORMED THE SAMPLING AND MEASUREMENTS;

Ampling and Measurements; (c) the Datte(s) analyses were performed; (d) the time(s) analyses were initiated; (a) the ease(s) of the certified personnel who performed the

ANALYSES; (f) REFERENCES AND WRITTEN PROCEDURES, WHEN AVAILABLE, FOR THE (f) REFRENCES AND WRITTEN PROCEDURES, WHEN AVAILABLE, FOR THE MAILYTICAL TECHNIQUES OR HERIDOS USED:

(g) THE RESULTS OF SUCH ANALYSES, INCLIDING THE BERCH SHEETS, DISCOURTER DISKS OR TAPES, ETC., USED TO DETERMINE THESE RESULTS;

(h) RESULTS WHICH EXCEED 1000 NTU SHALL BE REPORTED AS "EXCEEDS 1000 NTU," AND (f) CERTIFICATION STATEMENT THAT SAMPLING WAS CONDUCTED AS PER THE PLAN.

(3) ALL WRITTEN CORRESPONDENCE REQUIRED BY THIS PERMIT SHALL BE SUBMITTED BY RETURN RECEIPT CERTIFIED MAIL (OR SINUAR SERVICE) TO THE APPROPRIATE DISTRICT OPICE OF THE EPS ACCORDING TO THE SCHEDULE IN APPENDIX A OF THIS PERMIT. THE PERMITTER SHALL RETIAN ACCOPY OF THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL AT THE CONSTRUCTION SITE OR THE PROOF OF SUBMITTAL SHALL BE READLY AVAILABLE AT A DESIGNATION CONTROL OF THE PROOF OF CONSTRUCTION BUTTS SUCH THAT AS A NOT IS SUBMITTED IN ACCORDANCE WITH PARTY I. IF AN ELECTRONIC SUBMITTAL SITE MOVIDED BY FOR THEN THE WRITTEN CORRESPONDENCE MAY BE SUBMITTED THE TOWN RECEIPT OF THE THE WRITTEN CORRESPONDENCE MAY BE SUBMITTED BY RETURN RECEIPT CERTIFIED THAT OR SIGNALAS SERVICE.

Note: Concrete drum washout prohibited.

For building materials, building products, construction water, trash, landscape materials, earlies, makerials, earlies, water and other materials present on the atte, provide cover (e.g., plasts bateding, temporary roofs) to milmittee the exposure of these products to precipitation and to stermwater, or a similary effective means designed to minimize the discharge of pollutants from these areas. Maintanzation of exposure is not required in cases where exposure to



Park Atlanta Homes Subdivision: Virginia Park P.B.8 ~ PG.69-70 District: 14th F.W.P.D. 06/29/19 Lot: 105 Land Lot: 127 County: Fulton GA F.W.P.D. 06/29/19 Scole: 1" = 20' Date: 07/03/19 Job No: 19-128



P.O. BOX 15 Tyrone, GA 30290

[DS2] LIME AND FERTILIZER
AGRICULTURAL LIME IS REQUIRED UNLESS SOIL TESTS INDICATE OTHERWISE.
APPLY AGRICULTURAL LIME AT A RATE OF ONE TON PER ACRE. GRADED
ARRAS REQUIRE LIME APPLICATION. SOILS CAN BE TESTED TO DETERMINE IF
FERTILIZER IS NEEDED. ON REASONABLY FERTILE SOILS OR SOIL MATERIAL,
FERTILIZER IS NOT REQUIRED. FOR SOILS WITH MERY LOW FERTILITY, 500 TO
700 POUNDS OF 10-10-10 FERTILIZER OR THE EQUIVALENT PER ACRE (12-16
LBS/100 SQ.FT.) SHALL BE APPLED. FERTILIZER SHOULD BE APPLED BEFORE
LAND PREPARATION AND INCORPORATED WITH A DISK, RIPPER, OR CHISEL.

DS2 MULCHING
TEMPORARY VEGETATION CAN IN MOST CASES BE ESTABLISHED WITHOUT THE
USE OF MULCH. MULCH WITHOUT SEEDING SHOULD BE CONSIDERED FOR
SHORT TERM PROTECTION. REFER TO Da1-DISTURBED AREA STABILIZATION(WITH MULCHING).

DESI LIME AND FERTILIZER RATES AND ANALYSIS
AGRICULTURAL LIME IS REQUIRED AT THE RATE OF ONE TO TWO TOMS PER
AGRICULTURAL LIME IS REQUIRED AT THE RATE OF ONE TO TWO TOMS PER
AGRICULTURAL LIME IS APPLIED WITHIN SIX MONTHS OF PLANTING
PERMANENT PERSONAL VEGETATION, ADDITIONAL LIME IS NOT REQUIRED,
AGRICULTURAL LIME SHALL BE WITHIN THE SPECIFICATIONS OF THE GEORGIA
DEPARTMENT OF AGRICULTURE.

LIME SPREAD BY CONVENTIONAL EQUIPMENT SHALL BE "GROUND LIMESTONE". GROUND LIMESTONE IS CALCITIC OR DOLOMITIC LIMESTONE GROUND SO THAT BOTK OF THE MATERIAL WILL PASS THROUGH A 10-MESH SEVE, NOT LESS THAN 50% WILL PASS THROUGH A 50-MESH SEVE AND NOT LESS THAN 25% WILL PASS THROUGH A 100-MESH SIEVE AND NOT LESS THAN 25% WILL PASS THROUGH A 100-MESH SIEVE.

AGRICULTURAL LIME SPREAD BY HYDRAULIC SEEDING EQUIPMENT SHALL BE FINELY GROUND LIMESTONE IS CALCITIC OR DOLOMITIC LIMESTONE GROUND SO THAT 98% OF THE MATERIAL SHALL PASS THROUGH A 20-MESH SIEVE AND NOT LEES THAN 70% SHALL PASS THROUGH A 100-MESH SIEVE.

IT IS DESIRABLE TO USE DOLOMITIC LIMESTONE IN THE SAND HILLS, SOUTHERN COASTAL PLAIN AND ATLANTIC COAST FLATWOODS MLRA'S.

AGRICULTURAL LIME IS GENERALLY NOT REQUIRED WHERE ONLY TREES ARE PLANTED.

INITIAL FERTILIZATION, NITROGEN, TOPDRESSING, AND MAINTENANCE FERTILIZER REQUIREMENTS FOR EACH SPECIES OR COMBINATION OF SPECIES ARE LISTED.

DS3 MULCHING
SEDED AREAS SHALL ACHIEVE 75% SOIL COVER. SELECT THE MULCHING MATERIAL FROM
THE FOLLOWING AND APPLY AS INDICATED.

1. BRY STRAW OR DWY HAY OF GOOD QUAL TO NO FREE OF WEEDS CAN BE USED. DRY
2. WOOD CELLILOSE MULCH OR WOOD PULP FIRST SHALL BE USED WITH HYDRAULIC
SEEDING. IT SHALL BE APPLIED (AT THE RATE INDICATED ABOVE) AFTER HYDRAULIC
SEEDING.

SEEDING.

3. ONE THOUSAND POUNDS OF WOOD CELLILUSE OR WOOD PLUP FIBER WHICH INCLUDES TACGORE, SHALL BE USED WITH HYDRAULIC SEEDING ON SLOPES 3:1 OR STEEPER. AS SERICE LESPEDZA HAY CONTAINING MATURE SEED SHALL BE APPLED AT A RATE OF THREE TONS PER ACRE.

5. PINES STRAW OR PINE BARK SHALL BE AT A THOMNESS OF THREE INCHES FOR BEDDING PURPOSES, OTHER SUTFABLE MATERIALS IN SUFFICIENT QUANTITY MAY BE USED WHIER CONMINIONALS OF OTHER GROUND OCKERS AND PLANTED. THIS IS NOT APPORANTE FOR GROWNING THE OF OTHER GROUND OCKERS ARE PLANTED. THIS IS NOT APPORANTE FOR GROWNING THE PROPERTY EROSION CONTROL BLANKETS OR BLACK SOO, MULCH IS NOT RECOURED.

ed. Minguis treated roving may be applied on planted areas on slopes, in 6 or dry water ways to prevent eroson, bitulinguis treated roving may Led within 24 hours after an area has bed planted, application rates sterials must meet georga department of transportation, seceptoations.

WOOD CELLILOSE AND WOOD PULP FIBERS SHALL NOT CONTAIN GERMINATION OR GROWTH INHIBITING FACTORS. THEY SHALL BE EVENLY DISPERSED WHEN AGITATED IN WATER. THE FIBERS SHALL CONTAIN A DYE TO ALLOW VISUAL METERING AND AID IN UNIFORM APPLICATION DURING SEEDING.

ALL PERSONS INVOLVED IN LAND DISTURBANCE ACTIVITIES MUST BE CERTIFIED IN EROSION AND SEDIMENTATION CONTROL BY THE GASWCC OR SUPERVISED BY SOMEONE WHO IS.

THIS SITE SHALL BE KEPT CLEAN OF ALL DEBRIS AND POLLUTANTS THAT MAY CONTAMINATE THE STORM WATER DISCHARGE (PROVIDE ON SITE DUMPSTER).

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND-DISTURBANCE ACTIVITIES.

ALL EROSION CONTROL MEASURES ARE TO CONFORM TO THE STANDARDS SET FORTH IN THE MANUAL FOR EROSION AND SEDMENT CONTROL IN GEORGIA (I.E. THE GREEN BOOK). THE SPECIFICATIONS AND DETAIL REQUIREMENTS OF THE GREEN BOOK ARE INCORPORATED HERE IN

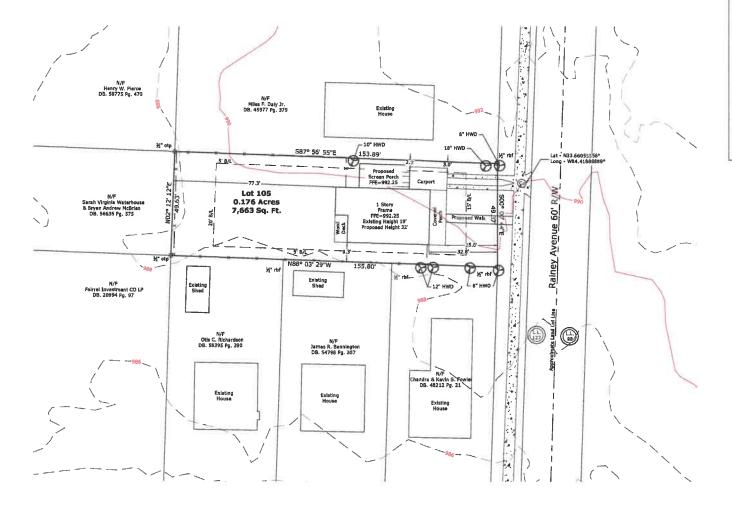
THE PROJECT RECEIVING WATERS IS AN UNNAMED TRIBUTARY OF _____FUNT__

Non-Exempt activities shall not be conducted within 25 or 50-foot of undisturbed stream buffers as massured from the point of wrested vegetation or within 25 feet of the coastal marshland buffer as measured from the jurisdictional determination line without first acquiring the necessary variances and permits.

WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.

Signature MMM

EROSION, SEDIMENTATION, & POLLUTION PLAN



≤ 8 MONTHS OR WHEN SEEDING DOES NOT HAVE A SUITABLE GROWING SEASON MATERIALS AND RATES: MATERIAL RATE MATERIAL RATE

STRAW OR HAY 2" to 4" DEEP

WOOD WASTE, CHIPS,
SAWDUST OR BARK 5 TO 9 TONS/ACKE.)

CUTBACK ASPHALT 1200 GALLON/ACRE. CUTBACK ASPHALT 1200 GALLON/AGRÉ (1/4 GALLON/CD²)
POLYETHYLENE FILM COMPLETELY COVER AREA (Ds1) DISTURBED AREA

STABILIZATION Ds1 (WITH MULCHING ONLY)

> 4.1 LB. 3 BU. 9/1-1/1 9/1-1/1 (180 LBS) UNUSUAL SITE CONDITIONS MAY REQUIRE HEAVER SEEDING RATES. SEEDING DATES MAY NEED TO BE ALTERED TO FIT TEMPERATURE VARIATIONS AND LOCAL CONDITIONS. (Ds2) DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDINGS)

ESTABLISHING A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS

STE PREPARATION
STED BED PREPARATION
SEED BED PREPARATION
SEED BED PREPARATION
PREPARATION
APPLY MULICIPING PREPARATION
APPLY MULICIPING MATERIAL IF NEEDED
IN RIGIRATE IF NEEDED BUT NOT AT A RATE TO CAUSE EROSION
PLANTING DATES DEPEND ON SPECIES AND REGION
(MOUNTAM, PEDIADATO OR OSSATIA

PLANTING RATES AND PLANTING DATES FOR TEMPORARY COVER

1.4 LB. 60 LBS. 3/1-9/1 3/1-9/1 0.9 LB. 40 LBS. 4/1-7/1 4/1-7/15

3.9 LB. 3 BU. (188 LBS) 7/15-12/1 8/15-1/1 9/1-3/1
0.9 LB. 40 LBS. 8/1-5/1 8/1-4/15 8/15-4/1

0.1 LB. 4 LBS. 3/15-6/15 3/15-8/15 2/15-6/15

PLANTING DATES

MOUNTAINS PIEDMONT 7/15-12/1 8/15-1/1 9/1-3/1

. \$12 MONTHS OR UNTIL ESTABLISHMENT OF FINISHED GRADE OR PERMANENT VEGETATION SITE PREPARATION

SPECIES RATE PER RATE PER 1,000 SQ. FT. ACRE

ANNUAL LESPEDEZA

WEEPING LOVEGRASS

WHEAT

SUDANGRASS

THE PURPOSE OF THIS PLAN IS TO ADD A SECOND LEVEL TO EXISTING HOME, MINIMUM OR NO GRADING REQUIRED. NO ADDITION LANDSCAPING REQUIRED.

FLOOD STATEMENT:
ACCORDING TO FEMA FLOOD INSURANCE RATE MAP HAPEVILLE, CITY OF

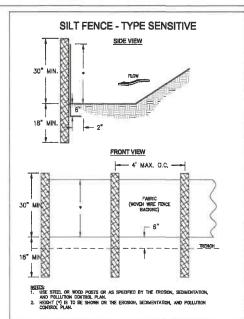
NOTE: THIS PLAN WAS PREPARED FOR PERMITTING PURPOSES ONLY. IT IS NOT TO BE USED FOR TITLE TRANSFER AND IS TO BE USED SOLY BY THE ORIGINAL

NOTE:
THE DESIGN PROFESSIONAL WHO PREPARED THIS ESAPC
PLAN IS TO INSPECT THE INSTALLATION OF THE INITAL
SEDIMENT STORAGE AND PERIMETER CONTROL BMPS
WITHIN 7 DAYS AFTER INSTALLATION.

This lot lies entirely within the CECIL Soil Series (CyC2).

STRUCTURAL PRACTICES

	Ds2 PIE	DMONT VEG	SATIVE CON	ERS ID	183			CODE	PRACTICE	SYMBOL	DESCRIPTION
IONTH	TEMPORARY SEED	RATE/A	CRE	PERMANE	ENT SEED		RATE/ACRE			2	A step at undebated wighed regulation, enhanced or
KOVEMBER	WHEAT	40-50	rs.	SERICEA FESCUE	LESPEDE.	DA ZA	8-10 LB 30-40 LB 30-50 LB	Bf	MATTER ZOIE	# E	A step of undertunded wighted regulation, enhanced or material emitting regulation of the recolabilitizated of implication steps of contraction or burdening alternate.
ECEMBER	RYE GRASS	2-3 BU 40-50 2-3 BU	LB	UNHULLE	D BERMUI	DA	8-10 LB 30-40 LB 30-50 LB	6	CONSTRUCTION EXIT	100	A creation stems part lecoled at the construction with ealt to provide a piece for removing med from then thereby preferring public structs
NUARY	RYEGRASS	40-50	LB:	SERICEA	D BERMU LESPEDE	ZA	5-10 LB 30-40 LB	(Fr)	FILTER RING		A lamparary place bestir constructed at atoms drift table.
BRUARY	RYFORASS	4050	LB	SERICEA	D BERMU		8-10 LB 32-40 LB	0		_	and point artists.
MARCH	WALL STREET	2-3 BU 4-6 B 20-35	LB	UNHULLI SERICEA	D BERMUI	DA ZA	30-50 LB 8-10 LB 30-50 LB	Rt	RETROFFTING	®₁,	il imite or otractere placed in freel of a personnel, elementar delection pand activit structure to curve as a lampurary poliment filter,
APRIL	SOUNT TOP MILETA	4-6 LB 30-25 35 LB		UNHULLE	LESPEDE.	DA ZA	8-10 LB 30-48 LB 40-88 LB	(Sd1)	SEDMENT BARRIER	A. Terre	A harrier to provent auditont from landing the contraction the fit may be sandhops, below of street or key, break, logs are adm. grand, or e aff. facts.
	MINIMUM OF 40LB SCARIF	NED SEED.	REMAIND	ER MAY B	E INSCAR	HED			STORM DRAIN	(8)	A power or short wedlers of rights channel of the welfall of
	THER COMMON SERICEA, O	R INTERST	TATE SER	CEA LESP	DEZA			(St)	OUTLET PROTECTION		sterm drain updates prosterling avoides from the concentration
		ir interst Liction ac			DEZA			(St)	OUTLET PROTECTION SPENDATION (TITE MILESON)		others deals system presenting evision from the concentrated reset? Exhibiting homorory protection for disturbed arms where another way not have a militain graving manum in produc-
					DEZA			\vdash	OUTLET PROTECTION SPENDATION (WITH MELCHAN GREA)		alors della system prosecting arbitra from the concurration resect. Establishe temporary explanation for disturbed press where
ACTIVITY	CONSTR			EDULE	DEZA 4	5	6	\vdash	OUTLET PROTECTION STREAMS STREAMS GRUD GRUD STREAMS STREAMS (WISH TELEFORMY)		others deals system prosecting articles from the concentratio reset? Exhibiting temporary protection for disturbed arrow where another may not have a militain growing manus. In produc
ACTIVITY		LUCTION AC	TIVITY SCH	EDULE MONTH		5	6	Ds1	OUTLET PROTECTION STRUCTURE (WER MALSON OUT) SCHOOL WEAR SCHOOL WEAR STRUCTURE (WHI TERRITORY) STRUCTURE S		shims chin spakes presenting eviates from the concentration result. Exhibiting hamperry production for delutered errors above another may not been a middle growley amount in predic- act arriver traveller, and a second prediction of the arriver traveller, and the second prediction according to the delutered even.
ACTIVITY INSTALL E	CONSTR	LUCTION AC	TIVITY SCH	EDULE MONTH		5	6	Ds1	CUTLET PROTECTION SREUDING (WEI MAZING OUL) RESIDENCE (WEI TENTIONY RESIDENCE RESID		sterm date system presenting availers from the concentrate reset. Establishing hymocrary production for disturbed cross whose analogs may not been a militale growing source to produ- on synthes retending cover.
ACTIVITY INSTALL E	CONSTR ROSION CONTROL AND GRUBBING	LUCTION AC	TIVITY SCH	EDULE MONTH		5	6	Ds1	OUTLET PROTECTION SPECISION (WE BLESSING OUT.) SERVICES SEEL STORY (WE SERVICES		stem des spiese presenting eissien fam the concentrale report. Edithidate bemperny prohedies for delarbeid ernes shore analiges miss and been or subthide growing measure to predic as armies resulted, cours. Edithidating or incorpancy supdishes cour with foot graning analiges on delarbeit even. Edithidating or personnet supdishes cour such as trees, denies, deue, grasses, end. or legance on delarbeit ernes.
ACTIVITY INSTALL EI CLEARING CRADING	CONSTR ROSION CONTROL AND GRUBBING	LUCTION AC	INITY SCH	EDULE MONTH		5	8	Ds1	OUTLET PROTECTION STOREGISCH STOREGISCH (WET MILESHIN GOLL) SCHOLLSCH (WES EMPSHAY) SCHOLLSCH (WES EMPSHAY) SCHOLLSCH (WES FEMPSHAY) SCHOLLSCH (WES FEMPSHAY)		stem des spiese presenting eissien fam the concentrale report. Edithidate bemperny prohedies for delarbeid ernes shore analiges miss and been or subthide growing measure to predic as armies resulted, cours. Edithidating or incorpancy supdishes cour with foot graning analiges on delarbeit even. Edithidating or personnet supdishes cour such as trees, denies, deue, grasses, end. or legance on delarbeit ernes.
ACTIVITY INSTALL EI CLEARING GRADING C TEMPORAR	CONSTR ROSSION CONTROL AND GRUBBING OPERATION	LUCTION AC	INITY SCH	EDULE MONTH		8	6	Ds1 Ds2 Ds3 Ds4	OUTLET OUTLET OF THE PROTECTION OF THE PROTECTIO		when drive spines presenting evision turn the concentrate report. Exhibiting lamporary production for delutered arms show another may not been or mittake growing amount to predic an armine removed, more. Exhibiting a lamporary separative some salts fast grands another on deluteric even. Exhibiting a parameter separative cover such as trying, during, when, gramme, and, or legames on deluteric cross. Exhibiting a parameter separative gramme, and an deluter cross.
ACTIVITY INSTALL EI CLEARING GRADING G TEMPORAR	CONSTR ROSION CONTROL AND GRUBBING 2PERATION TY GRASSING	LUCTION AC	INITY SCH	EDULE MONTH		8	8	Ds1 Ds2 Ds3	OUTLET PROTECTION SEMESTICM (REF MILESME GRA) (RESIDENCE (RESIDENC		when chies splace presenting eviates from the concentration result. Excitabling lampacity production for distributed arms above another arms and to one or mittels growing amount to produce an eviation resulting. Excitabling a foregroup supplicitive some silk fast grawing sensings and distribut cross. Excitabling a parameter supplicitive cover such as trough attention, view, gramme, cost or legation on distributed cross. Excitablishing a parameter supplicitive gramme, and as distributed as percentage supplicities gramme, and as distributed as a supplicit supplicit supplicities gramme.



CRUSHED STONE CONSTRUCTION EXIT EXIT DIAGRAM 8

NOTES

1. AND LINCATING ON STEP BLORES OR AT CHANGS ON PUBLIC ROUGE.

1. AND LINCATING ON STEP BLORES OR AT CHANGS ON PUBLIC ROUGE.

2. ADDRESS OF THE STEP SHALL BE SEN ACCORDANCE WITH NATIONAL STORE ASSOCIATION AREA, GRADE, AND COUNTY OF THE STANDARD AREA STORES OF THE STANDARD AREA STORES OF THE STANDARD AREA STORES OF THE STANDARD AREA STANDARD AREA STORES OF THE STANDARD AREA STANDARD AR

Graphic Scale 1" = 20"

P.O. BOX 15 Tyrone, GA 30290 770-560-3910 770-560-6930

GSWCC GEORGIA SOR AND WATER CONSERVATION CONNESSION

Ronald T Godwin

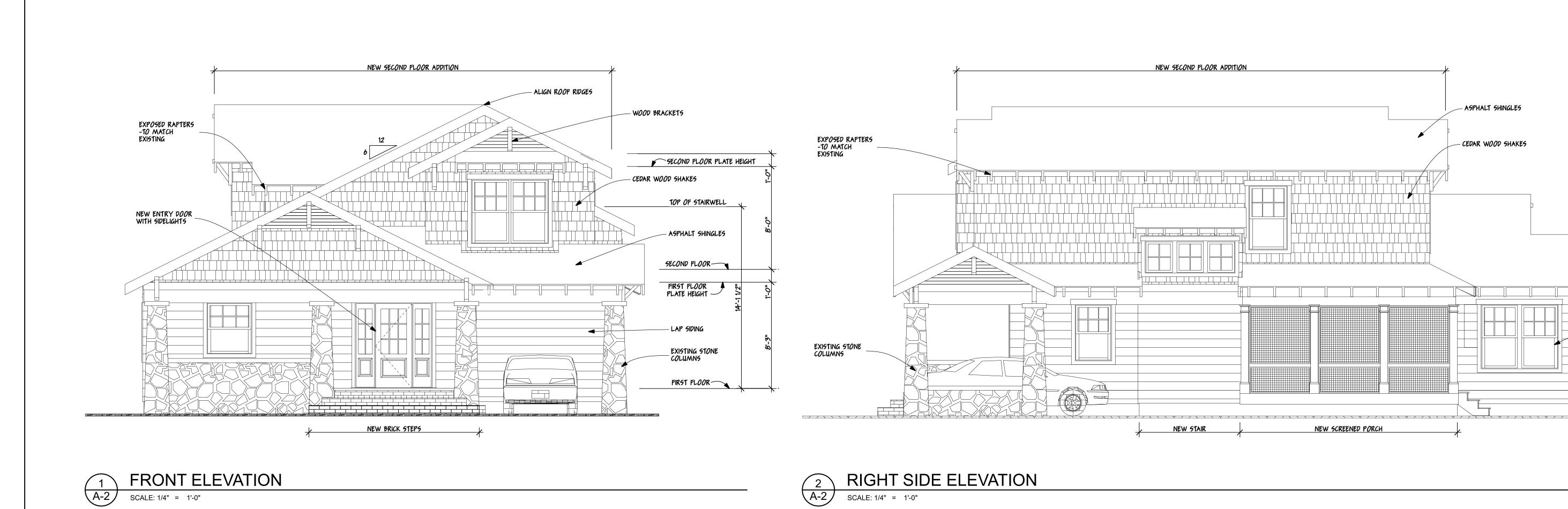
Issued: 05/23/18 Expires: 05/23/21

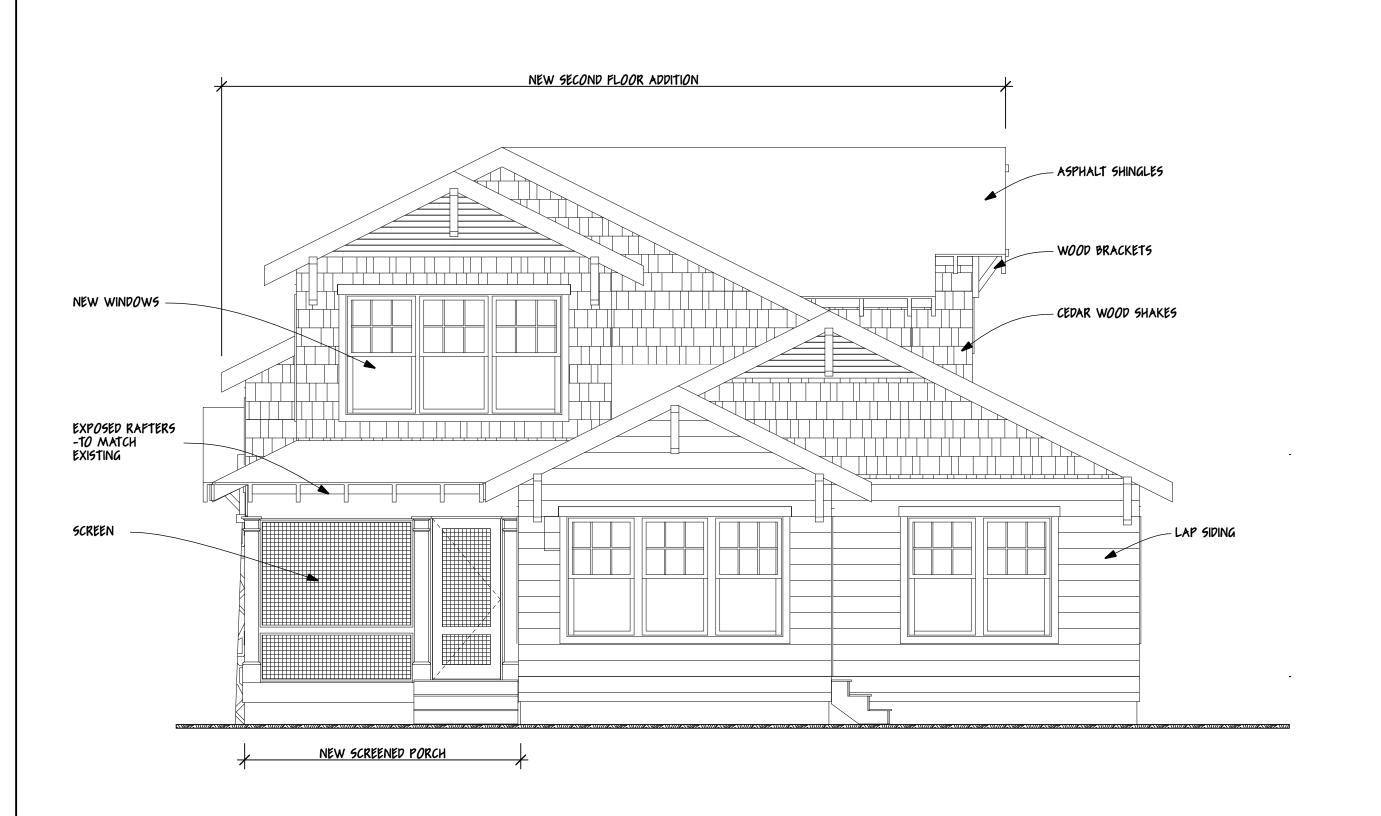
Level II Certifled Design Professiona

LEGEND UTILITY POLE
REBAR SET
REBAR FOUND
REBAR SET
REBAR FOUND
REBAR SET
REBAR SET - UTILITY POLE

Park Atlanta Homes Subdivision: Virginia Pari Lot: 105 14th Land Lot: District: 14th F.W.P.D. 06/29/19 County: Fulton,

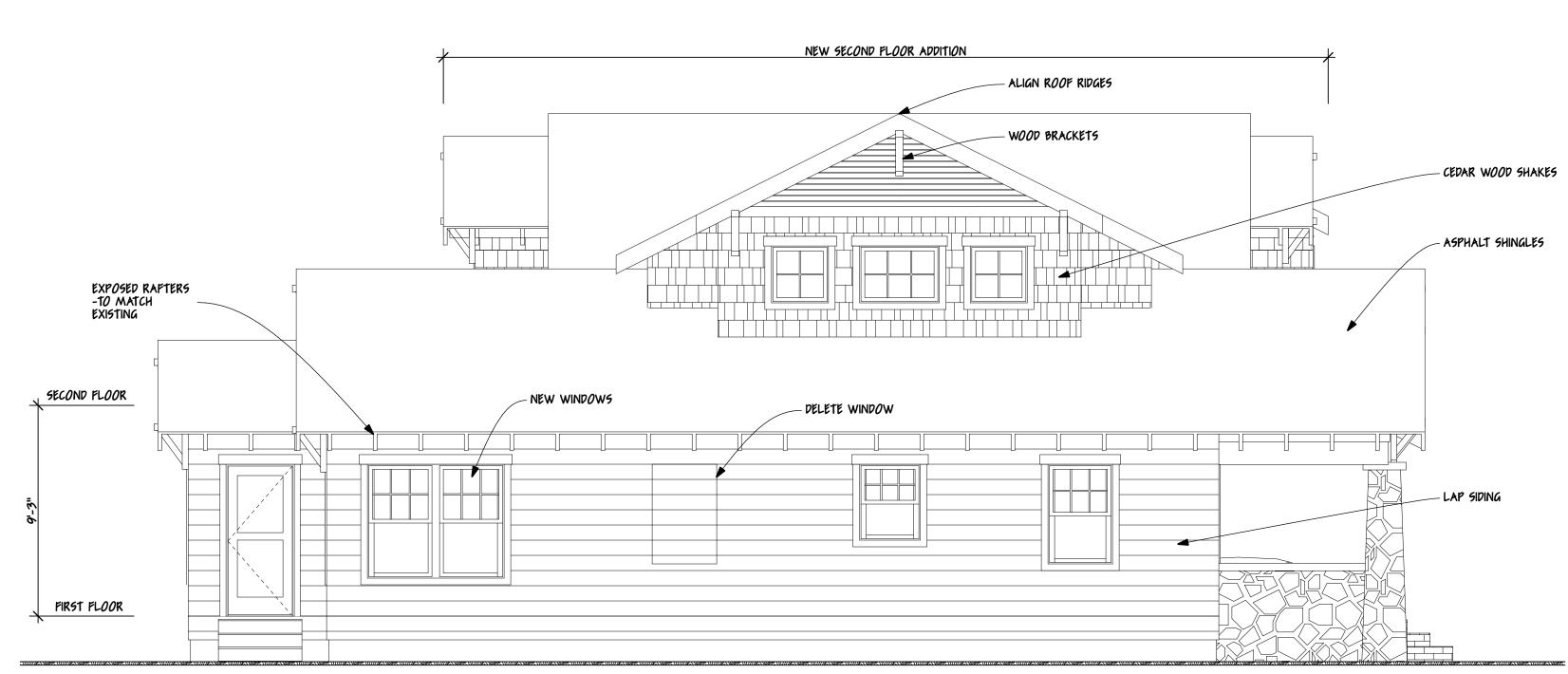


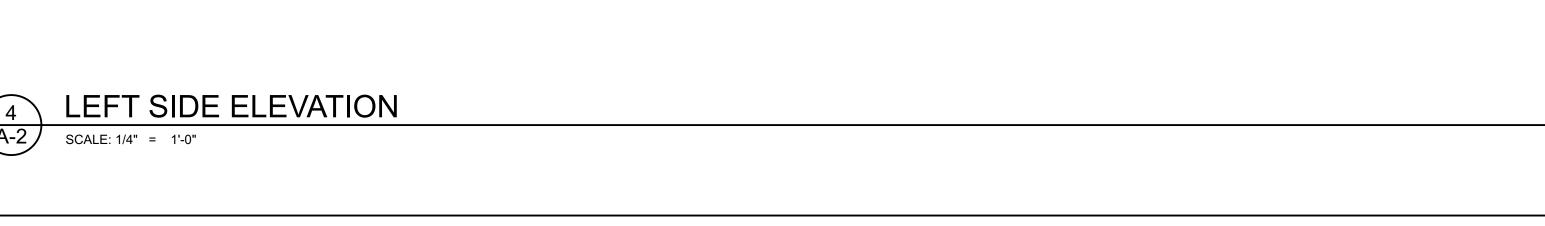




REAR ELEVATION

SCALE: 1/4" = 1'-0"





SAM WHEATLEY - ARCHITECT

CORPUS CHRISTY RD., 102 EXECUTIVE CENTERD
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(843)785-6160

- NEW WINDOWS

AS & ADDITIONS FOR:

BRENDAN DALTON
PARK, 3429 RAINEY AVENUE
ILLE, GEORGIA

MELINDA AND BRENDAI

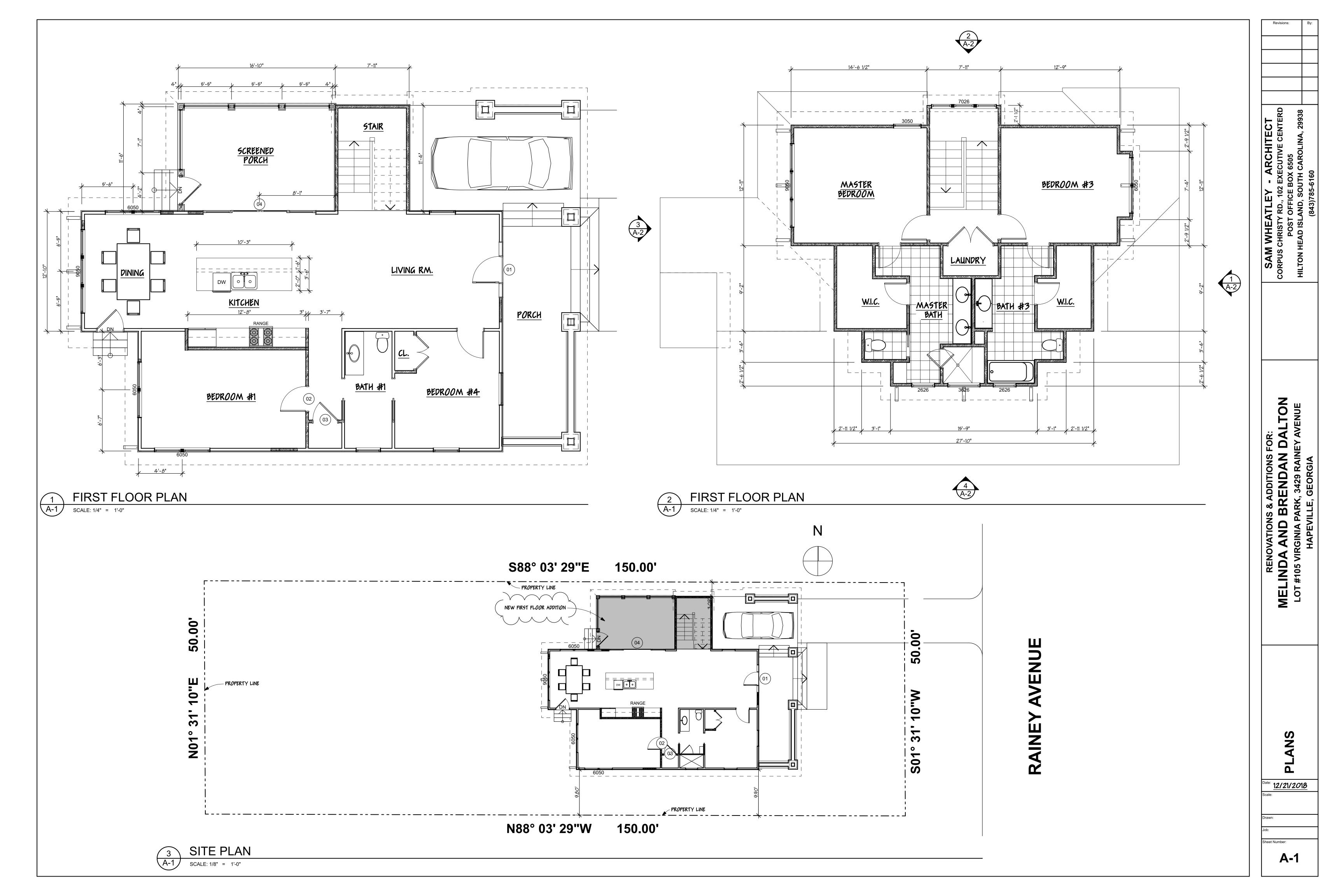
LOT #105 VIRGINIA PARK, 3429 RA
HAPEVILLE, GEORGIA

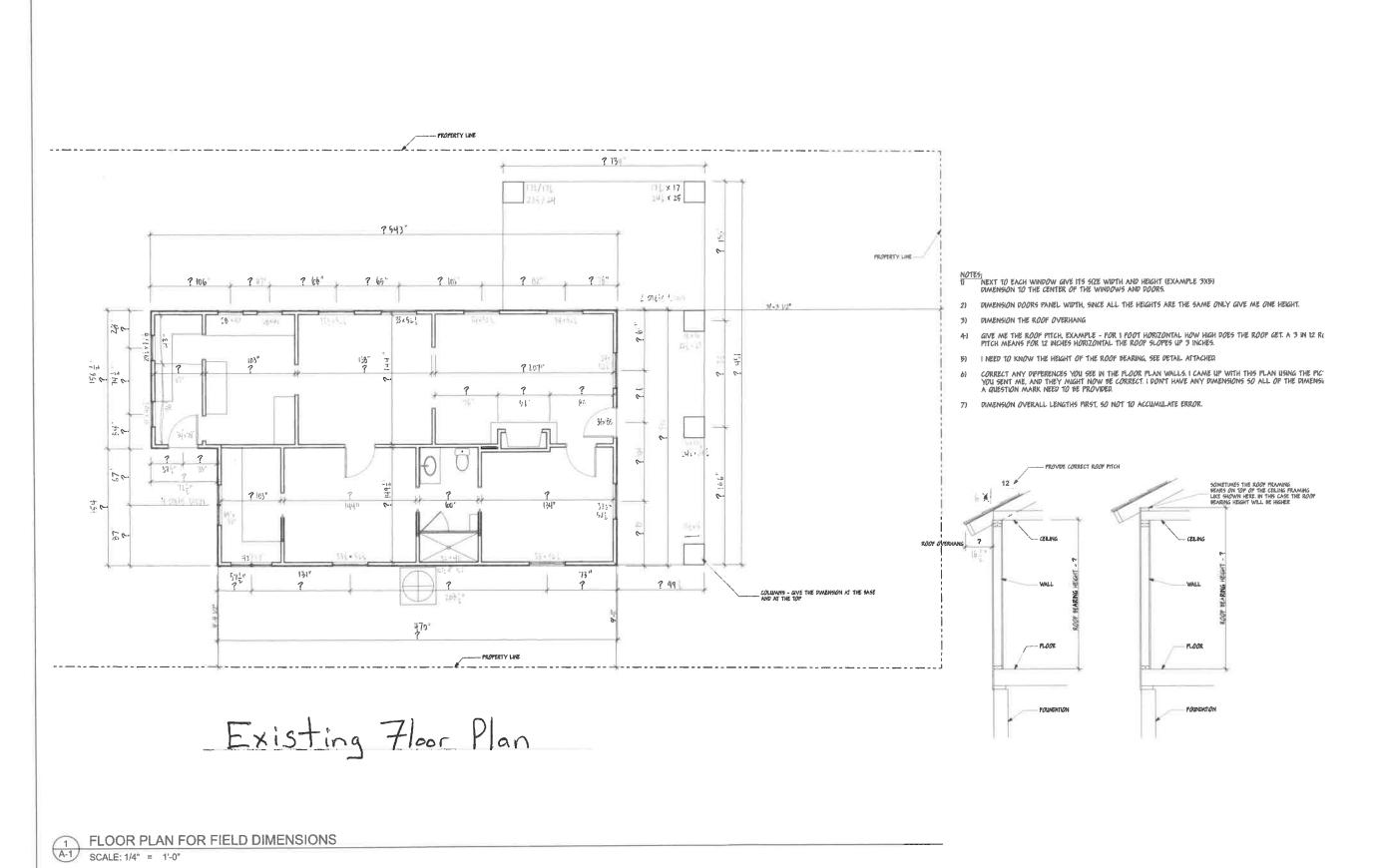
ELEVATIONS

Date: 12/21/2018
Scale:

Drawn:
Job:
Sheet Number:

A-2





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(843)785-6160 RENOVATIONS & ADDITIONS FOR:

MELINDA AND BRENDAN DALTON
LOT #105 VIRGINIA PARK, 3429 RAINEY AVENUE
HAPEVILLE, GEORGIA FLOOR PLAN FOR FIELD DIMENSIONS B/28/2017

A-1