

# CITY OF HAPEVILLE

## DESIGN REVIEW APPLICATION

SUBMITTAL DATE: 7-16-19

**NOTE:** All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Jimmy L Joyner Contact Number: [REDACTED]

Applicants Address: 2617 Highway 42 Locust Grove Ga, 30248

E-Mail Address: [REDACTED] Zoning Classification: M-1

Address of Proposed Work: 336 Moreland Way

Parcel ID# (INFORMATION MUST BE PROVIDED): 14009400101178

Property Owner: Lara Martin Rodriguez Contact Number: [REDACTED]

Project Description (including occupancy type): Rebuild partial fire damage

Contractors Name: Jimmy L Joyner Contact Number: [REDACTED]

Contact Person: Jim Joyner Contact Number: SAME

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Jimmy L Joyner  
Applicants Signature

7-16-17  
Date

**Project Class (check one):**

☒ Residential      ☐ Commercial      ☐ Mixed-Use Development

**Project Type:**

☐ New Commercial Construction      ☐ Addition to Existing Commercial Building

☐ Addition to Existing Residential Structure      ☐ Accessory Structure

☐ Site Plan, Grading & Landscaping      ☐ New Single Family Residential Construction

☒ Other fire restoration

Total Square Footage of proposed New Construction: N/A

Total Square Footage of existing building: 1,590.00

Estimated Cost of Construction: 85,000.00

List/Describe Building Materials on the exterior of the **existing** structure: \_\_\_\_\_

VINYL  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

List/Describe Building Materials **proposed** for the exterior facade of the new structure: \_\_\_\_\_

Hardy plank  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

# NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

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(Please Print & Initial)

I Jimmy L Joyner swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- \_\_\_ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:  
[https://library.municode.com/ga/hapeville/codes/code\\_of\\_ordinances?nodeId=PTIICOOR\\_CH81ARDEST](https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST)
- \_\_\_ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- \_\_\_ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- \_\_\_ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- \_\_\_ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- \_\_\_ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- \_\_\_ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

|                          |                    |                |
|--------------------------|--------------------|----------------|
| <u>Timothy L. Joyner</u> | <u>[Signature]</u> | <u>7-16-19</u> |
| Printed Name             | Signature          | Date           |

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.









COVER SHEET & LOCATION PLAN

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Received - SAFEbuilt

David Goetzcke

Reviewed

11/11/2019

for code compliance

PROJECT NAME:  
RENOVATION/REPAIRS TO A SINGLE FAMILY RESIDENCE

PROJECT ADDRESS  
336 MORELAND WAY  
ATLANTA GA 30354

PROJECT DESCRIPTION:  
RENOVATION/REPAIRS TO SINGLE FAMILY  
RESIDENCE INCLUDING DEMOLITION  
OF EXISTING WALLS

PROPERTY CLASSIFICATION: R3-RESIDENTIAL  
ZONING: R1  
PARCEL NUMBER: 14009400101178  
TAX DISTRICT: 30  
AREA OF EXISTING - 1590 SQ. FT.

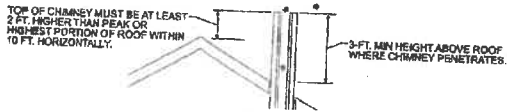
TOTAL AREA - 1590 SQ. FT.  
BUILDING HEIGHT: 15'-10 1/2"  
ACRES - 0.1722

APPLICABLE CODES:  
INTERNATIONAL BUILDING CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS  
INTERNATIONAL RESIDENTIAL CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS  
INTERNATIONAL MECHANICAL CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS  
INTERNATIONAL PLUMBING CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS  
INTERNATIONAL FUEL GAS CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS  
INTERNATIONAL FIRE CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS  
INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS  
NFPA NATIONAL ELECTRICAL CODE, 2014 EDITION  
2012 NFPA 101 LIFE SAFETY CODE WITH ALL GEORGIA STATE AMENDMENTS

Any oversight by the permittee shall not be considered as a violation of the code. The permit issuer shall not be responsible for the accuracy of the information provided by the permittee. The permit issuer shall not be responsible for the accuracy of the information provided by the permittee.

NOTE:  
Each bedroom, basement and habitable attic shall be provided with an emergency escape opening having a minimum 5.7 sq. ft. net clear opening and must also have a minimum clear height of 24" and a width of 20". Grade floor windows with a sill height < 44" above or below finished grade shall have 5.0 sq. ft. minimum net clear opening.

NOTE: Tempered glass is required if all the following conditions exist:  
\* Individual pane of glass > 9 sq. ft  
\* Bottom edge is < 18 inches above floor  
\* Top edge is > 36 inches above floor  
Also, any window within a 24 inch arc of either side of a door and is < 60 inches above the floor is also required to be tempered. Windows located within 60 inches of a bathtub or shower and are < 60 inches above the floor are required to be tempered.



Detached outdoor fireplace chimneys must be at least 10' from any structure where the chimney does not terminate above the roof as shown.

SMOKE DETECTORS- Smoke Detectors shall be installed in sleeping rooms, outside of sleeping areas in the near vicinity of bedrooms and on each additional story (including basements and habitable attics). A CO detector is also required outside of sleeping areas in the near vicinity of bedrooms.

NOTE: All roof loads of covered decks and porches must transfer to the supporting columns below and not the deck structure. A lateral roof loading must be used to calculate minimum footing size.

Note: Construction shall comply with the 2012 IRC with Georgia Amendments and the 2017 NEC. All engineered lumber shall comply with the manufacturers span and loading requirements.



VICINITY MAP  
NOT TO SCALE

ARCHITECT/ENGINEER



OWNER

LARA MARTIN RODRIGUEZ  
336 MORELAND WAY  
ATLANTA GA 30354

RENOVATIONS  
TO A SINGLE  
FAMILY HOUSE

NOTES

CONTRACTOR SHALL VERIFY ALL DIMENSIONS BY FIELD MEASUREMENTS PRIOR TO PURCHASING OR CUTTING MATERIALS.

INSPECTIONS AND SPECIALTY TRADES PERMITS MAY BE REQUIRED BY AUTHORITY HAVING JURISDICTION. CONTRACTOR TO COORDINATE SUCH INSPECTIONS AND OBTAIN ALL REQUIRED PERMITS INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL, AND HVAC.

RELEASED FOR  
CONSTRUCTION

|       |          |
|-------|----------|
| DRAWN | RLH      |
| CHKD  |          |
| DATE  | 6-23-19  |
| SCALE | AS NOTED |

REVISIONS

LOCATION

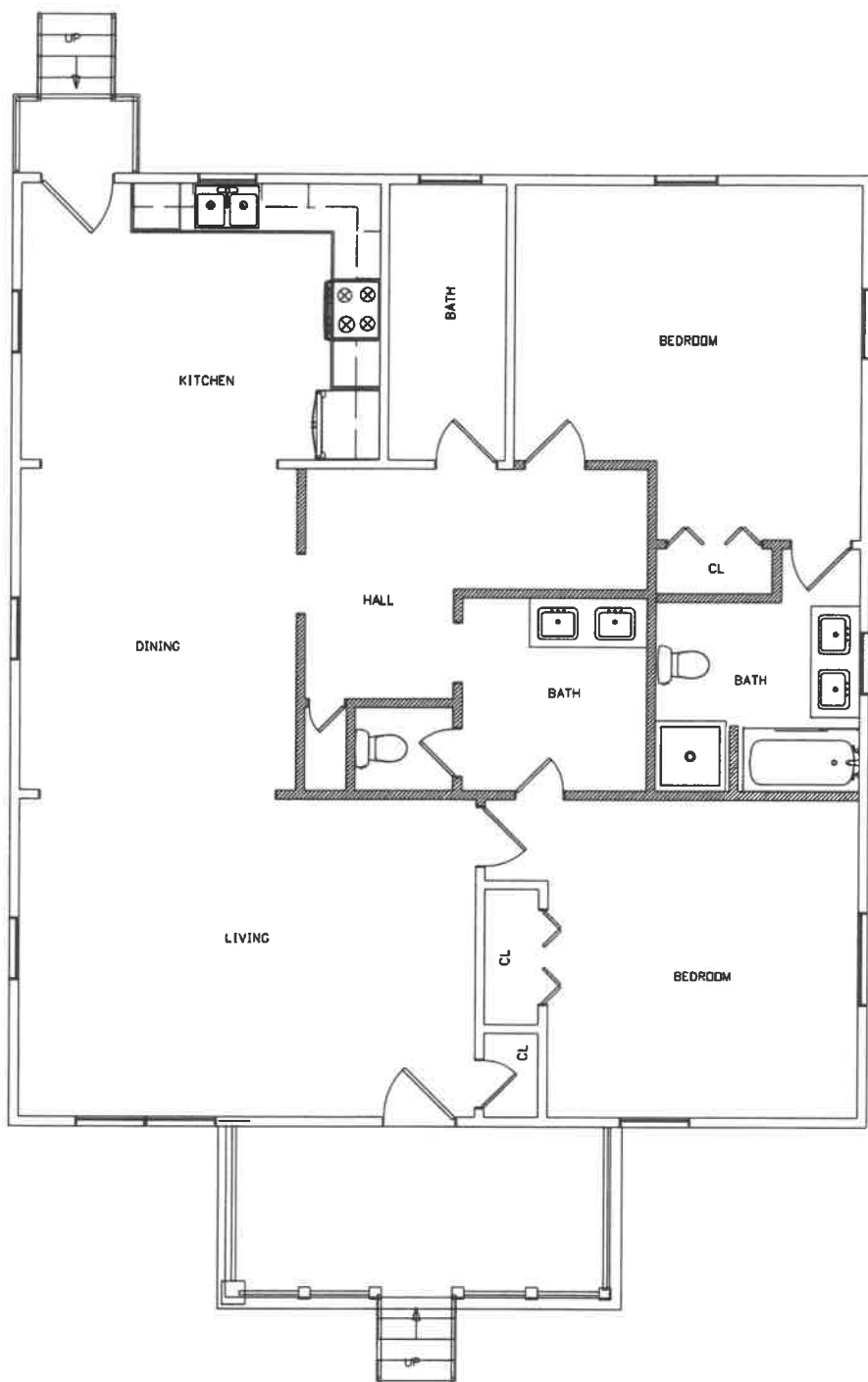
336 MORELAND WAY  
ATLANTA GA 30354

SHEET TITLE

SHEET No.

COVER SHEET  
& VICINITY  
MAP

A1



DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

DEMOLITION NOTES

DEMOLITION PROCEDURE:  
MATERIAL AND DEBRIS RESULTING FROM THE DEMOLITION SHALL BE REMOVED FROM THE PREMISES AS SOON AS PRATICABLE.

CONTRACTOR SHALL PROVIDE CHUTES FOR THE SAFE REMOVAL OF MATERIALS AND DEBRIS AS MAY BE NECESSARY.

CONDUCT SURVEY OF EXISTING CONDITIONS AND CORRELATE WITH CONTRACT DOCUMENTS TO DETERMINE EXTENT OF DEMOLITION REQUIRED.

ON A CONTINUING BASIS, AS WORK PROGRESSES, PERFORM SURVEYS TO DETECT HAZARDS FROM DEMOLITION OR CONSTRUCTION ACTIVITIES.

ARRANGE OPERATIONS TO REVEAL UNKNOWN OR CONCEALED STRUCTURAL CONDITIONS FOR EXAMINATION AND VERIFICATION PRIOR TO REMOVAL OR DEMOLITION.

PERFORM ENGINEERING SURVEYS AS NEEDED TO DETERMINE CONDITION OF FRAMING, FLOORS, AND WALLS, AND OF ANY POTENTIAL COLLAPSE OF ANY PART OF STRUCTURE OR ADJACENT STRUCTURES.

CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS TO DETERMINE IN ADVANCE WHETHER REMOVAL OR DEMOLITION OF ELEMENTS WOULD RESULT IN STRUCTURAL DEFICIENCY, OVERLOADING FAILURE, OR UNPLANNED COLLAPSE.

RUBBISH:  
THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND LEGAL DISPOSAL OF ALL RUBBISH AND CONSTRUCTION WASTE RESULTING FROM THE WORK.

ADJACENT PROPERTY:  
THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTY FROM DAMAGES THAT MAY BE CAUSED BY FALLING DEBRIS OR FROM ANY OF CONTRACTOR'S OPERATIONS.

THE CONTRACTOR SHALL PROVIDE AND USE SUPPORT, BRACING AND SHORING AS REQUIRED FOR SAFETY.

SALVAGE OR DISPOSAL:  
THE CONTRACTOR SHALL BE ENTITLED TO ALL MATERIALS FROM DEMOLITION EXCEPT AS OTHERWISE INDICATED BY OWNER.

THE CONTRACTOR SHALL NOT ENTER UPON PRIVATE PROPERTY FOR ANY PURPOSE WITHOUT OBTAINING PERMISSION, AND SHALL BE RESPONSIBLE FOR THE PRESERVATION OF PUBLIC PROPERTY, TREES, MONUMENTS, AND OTHER ITEMS ALDNG AND ADJACENT TO THE STREET AND RIGHT-OF-WAY AND SHALL USE EVERY PRECAUTION TO PREVENT DAMAGE OR INJURY THERETO.

THE CONTRACTOR SHALL TAKE SUITABLE PECAUTIONS TO PREVENT DAMAGE TO PIPES, CONDUITS, AND OTHER UNDERGROUND STRUCTURES AND SHALL PROTECT ALL MONUMENTS AND PROPERTY MARKS.

Reviewed  
JUL 09 2015  
for code compliance

LEGEND  
[Hatched Box] DEMOLISH  
[Solid Box] EXISTING

ARCHITECT/ENGINEER



OWNER

LARA MARTIN RODRIGUEZ  
336 MORELAND WAY  
ATLANTA GA 30354

MODIFICATIONS  
TO A SINGLE  
FAMILY HOUSE

NOTES

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CONSTRUCTION

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| DRAWN | RLH      |
| CHKD  |          |
| DATE  | 6-23-19  |
| SCALE | AS NOTED |

REVISIONS

LOCATION

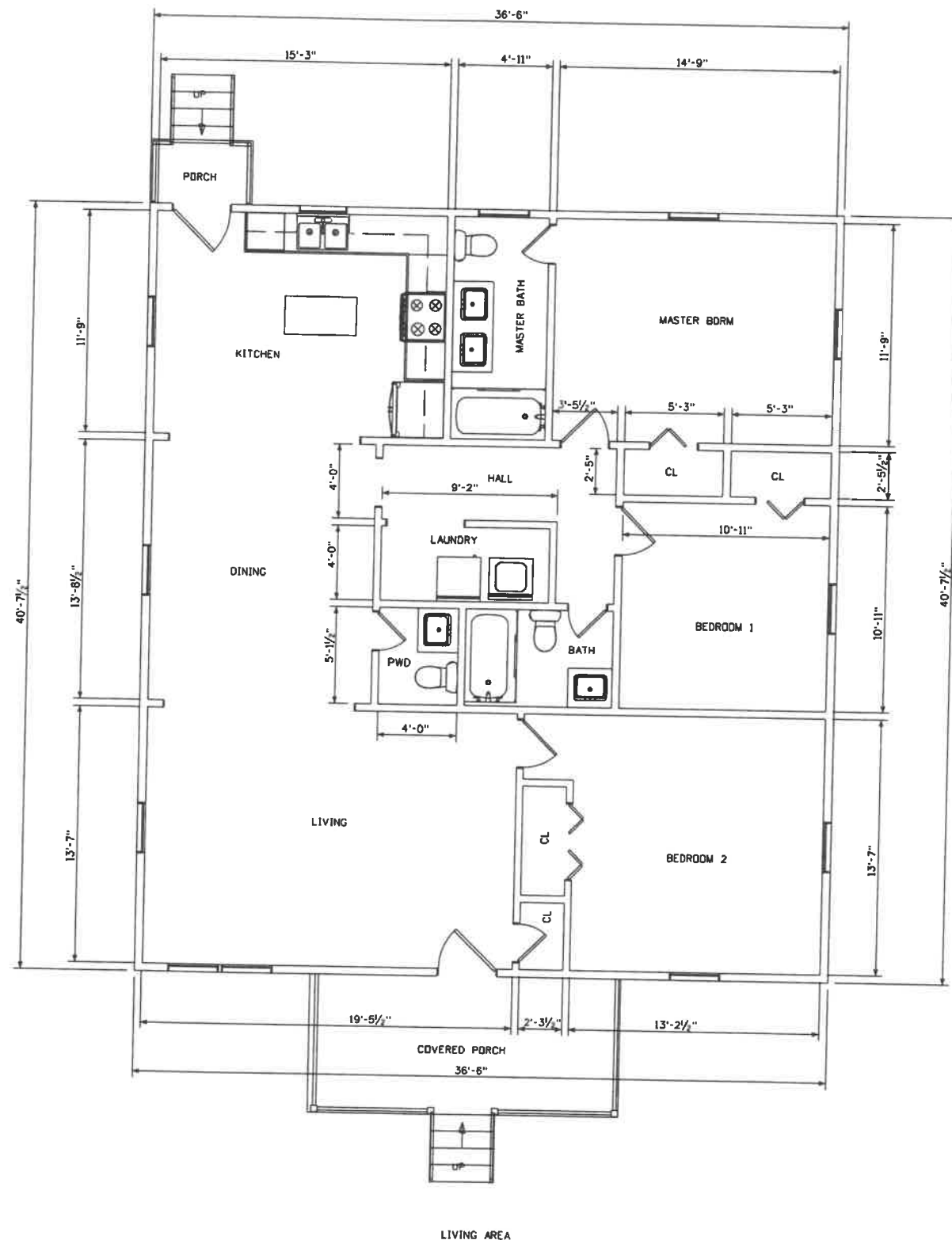
336 MORELAND WAY  
ATLANTA GA 30354

SHEET TITLE

SHEET No.

DEMOLITION  
PLAN

A3



PROPOSED FLOOR PLAN

SCALE: 1/8" = 1'-0"

#### DOOR AND WINDOW NOTES:

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

ALL WALK-THRU DOORS SHALL BE SOLID CORE

INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60

#### EXTERIOR FINISH NOTES:

1. EXTERIOR FINISH TO BE VINYL SIDING OVER 5/8 CDX PLYWOOD/OSB. WINDOW & DOOR TRIM CEDAR. MATERIAL AND COLOR BY OWNER.
2. ROOFING TO BE 50 YEAR ASPHALT OVER 30# FELT, 5/8 CDX PLYWOOD/OSB.
3. PORCH TO BE TREX OR WOOD. FINAL MATERIAL AND COLOR BY OWNER.
4. CHIMNEYS ARE DECORATIVE AND PROVIDE FOR VENTING OF GAS FIREPLACES ONLY.
5. DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE PER THE SITE PLAN.
6. FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 1/2" PER FOOT OF RUN FOR 4' MIN.

Reviewed  
JUL 09 2019  
for code compliance

ARCHITECT/ENGINEER



OWNER

LARA MARTIN RODRIGUEZ  
336 MORELAND WAY  
ATLANTA GA 30354

RENOVATIONS  
TO A SINGLE  
FAMILY HOUSE

#### NOTES

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CONSTRUCTION

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| DRAWN | RLH      |
| CHKD  |          |
| DATE  | 6-23-19  |
| SCALE | AS NOTED |

REVISIONS

LOCATION

336 MORELAND WAY  
ATLANTA GA 30354

SHEET TITLE

PROPOSED  
FLOOR PLAN

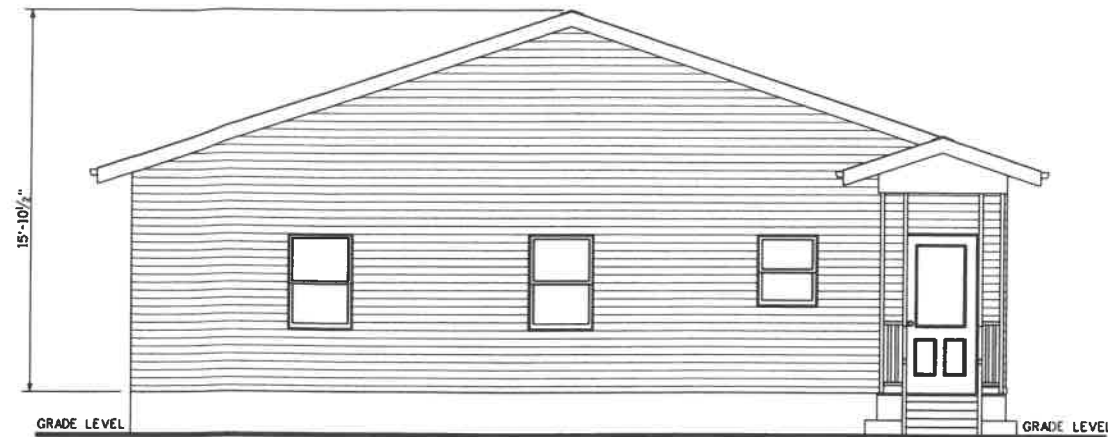
SHEET No.

A4



FRONT ELEVATION

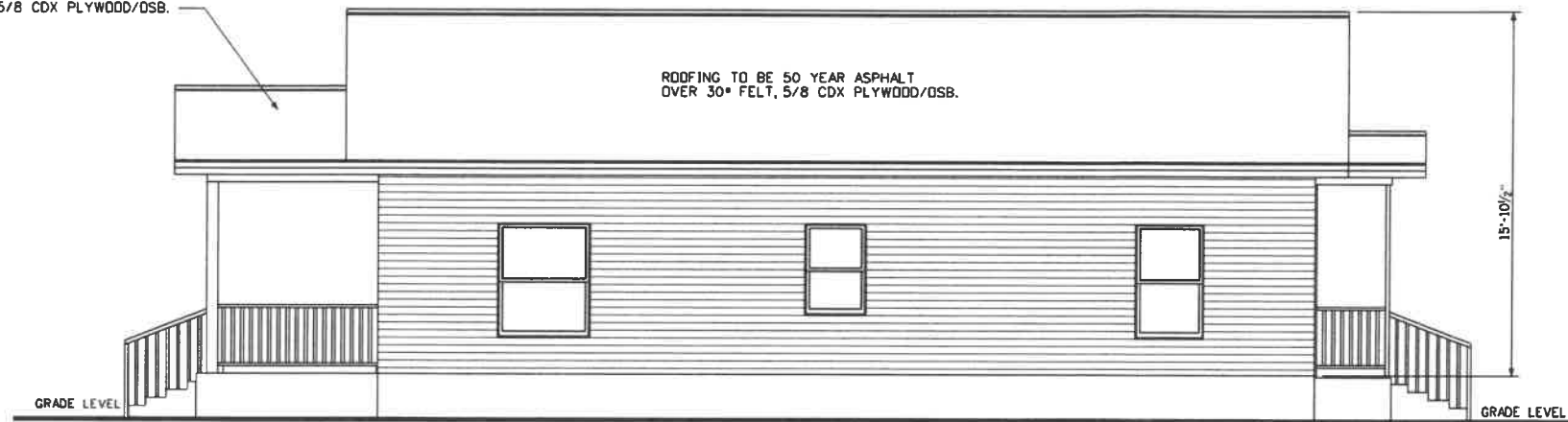
SCALE: 1/8" = 1'-0"



BACK ELEVATION

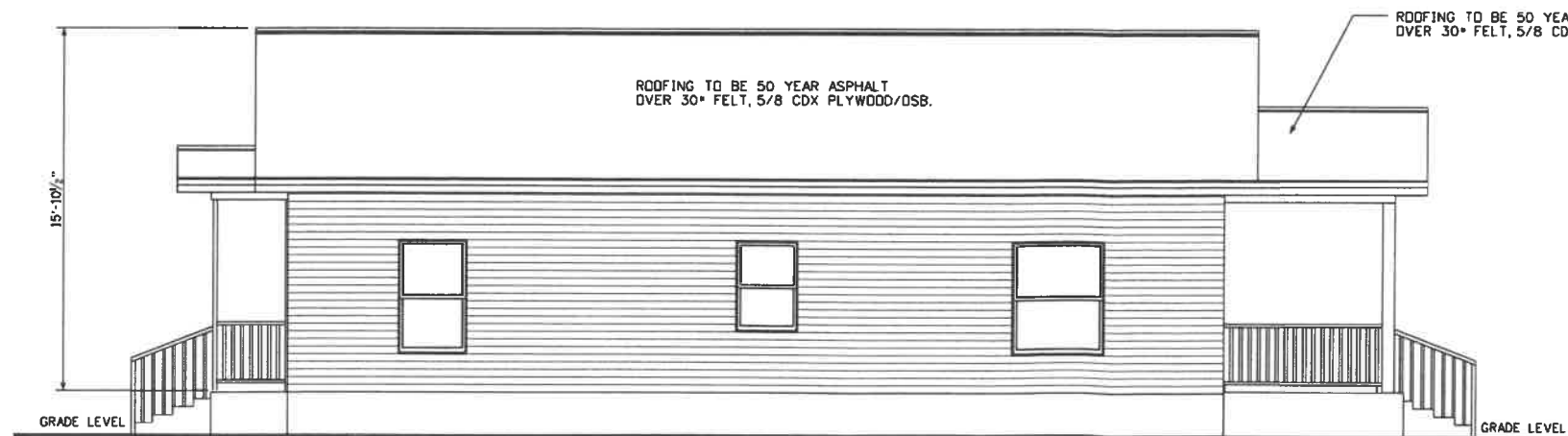
SCALE: 1/8" = 1'-0"

ROOFING TO BE 50 YEAR ASPHALT  
OVER 30" FELT, 5/8 CDX PLYWOOD/OSB.



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

Reviewed  
JUL 09 2019  
for code compliance

ARCHITECT/ENGINEER



OWNER

LARA MARTIN RODRIGUEZ  
336 MORELAND WAY  
ATLANTA GA 30354

RENOVATIONS  
TO A SINGLE  
FAMILY HOUSE

NOTES

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PURCHASING OR CUTTING  
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INSPECTIONS AND SPECIALTY  
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HVAC.

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CONSTRUCTION

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|-------|----------|
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| DATE  | 6-23-19  |
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REVISIONS

LOCATION

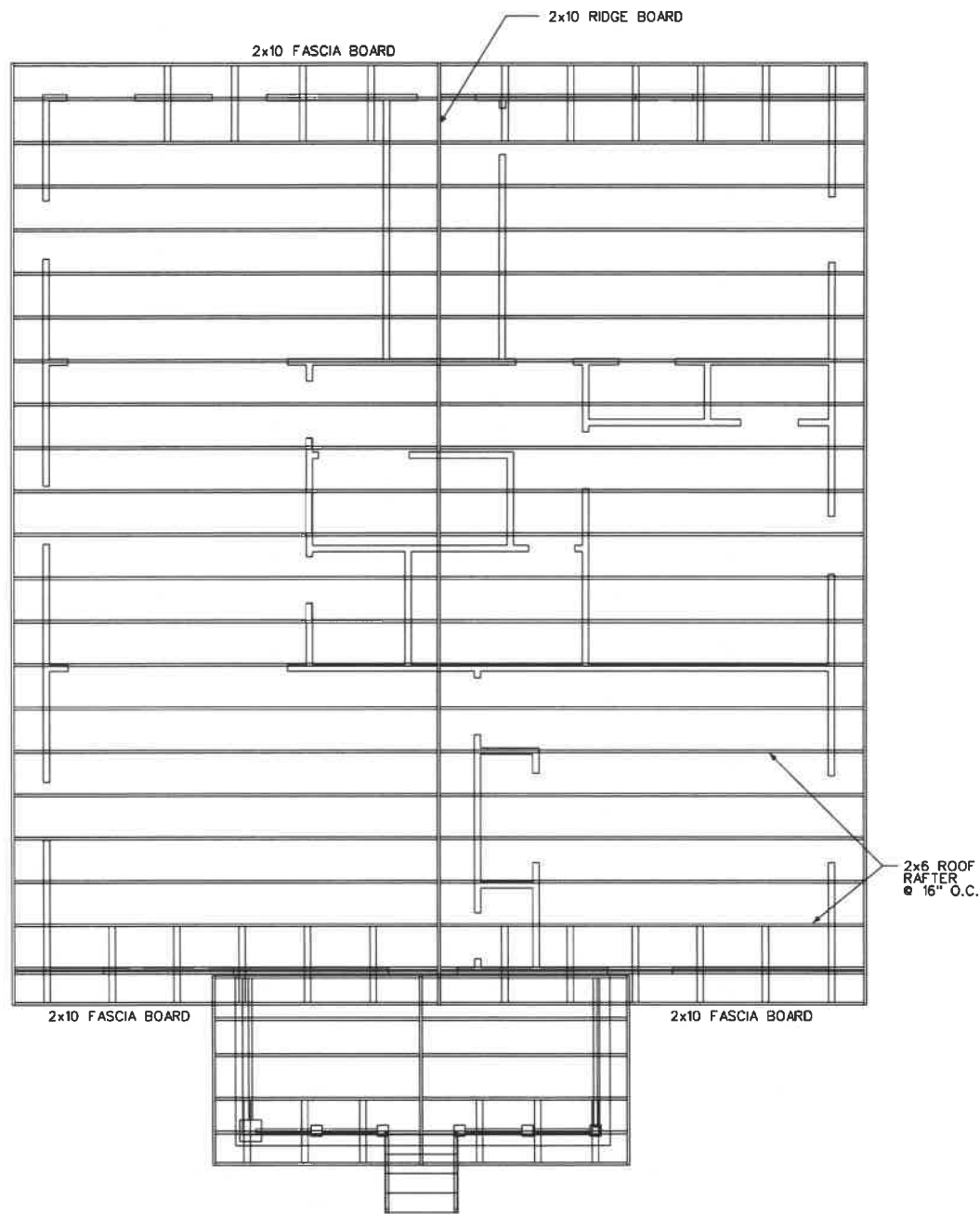
336 MORELAND WAY  
ATLANTA GA 30354

SHEET TITLE

ELEVATIONS

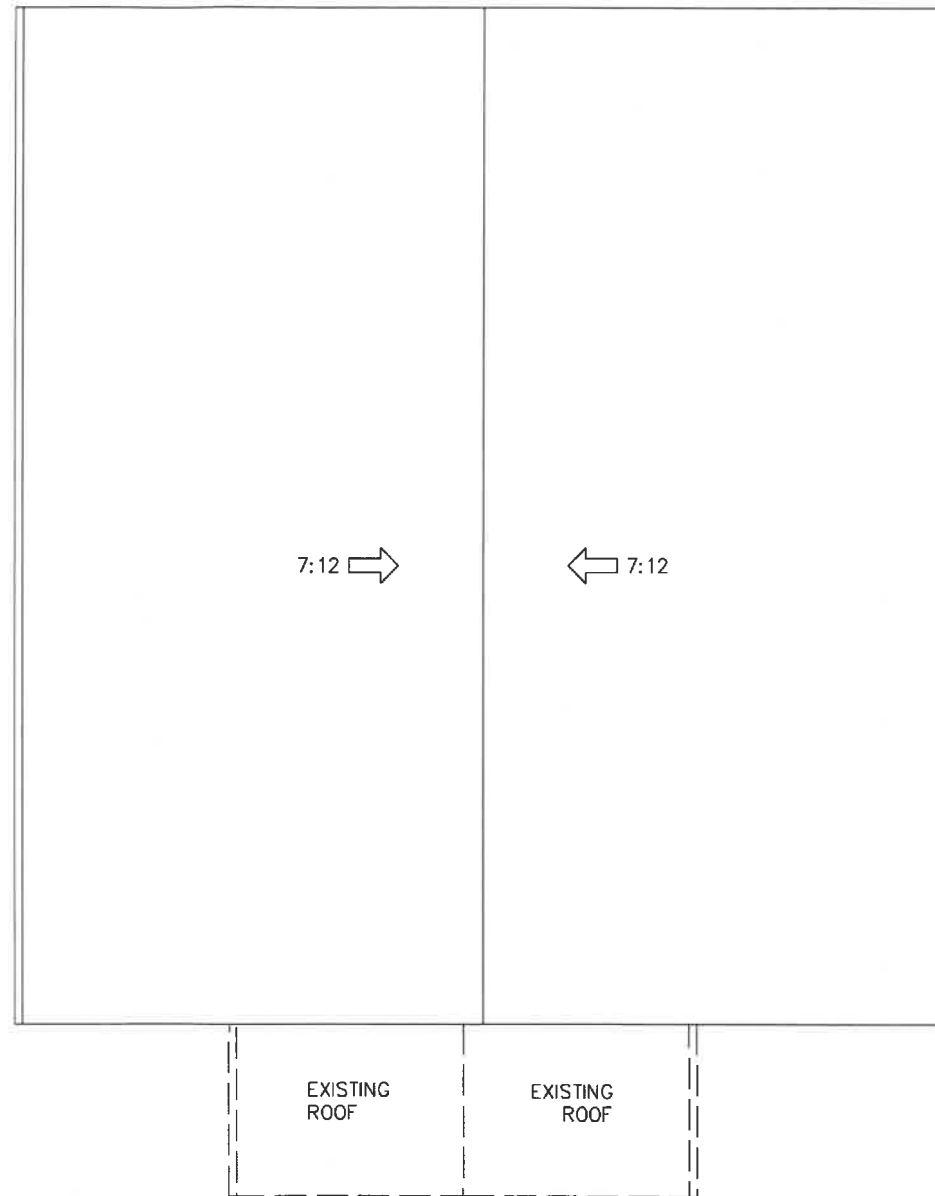
SHEET No.

A5



ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"



ROOF PLAN

SCALE: 1/8" = 1'-0"

ARCHITECT/ENGINEER



OWNER

LARA MARTIN RODRIGUEZ  
336 MORELAND WAY  
ATLANTA GA 30354

RENOVATIONS  
TO A SINGLE  
FAMILY HOUSE

NOTES

CONTRACTOR SHALL VERIFY  
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INSPECTIONS AND SPECIALTY  
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REVISIONS

LOCATION

336 MORELAND WAY  
ATLANTA GA 30354

SHEET TITLE

SHEET No.

FRAMING & ROOF  
PLANS

A6



**DEPARTMENT OF PLANNING AND ZONING  
PLANNER'S REPORT**

DATE: August 12, 2019  
TO: Tonya Hutson  
FROM: Lynn Patterson  
RE: **Design Review – 336 Moreland Way**

**Key:**

|                 |   |
|-----------------|---|
| Compliant:      | ✓ |
| Not Compliant:  | ✗ |
| Incomplete:     | ✋ |
| Not Applicable: | ⊘ |

**BACKGROUND**

The City of Hapeville has received a design review application from Jimmy L. Joyner to restore an existing one-story single-family dwelling at 336 Moreland Way following a fire. The restored dwelling will be 1,590 square feet and will have three bedrooms and two and a half bathrooms. The final structure will share the same footprint with the existing building but will have a new roof form.

The property is zoned R-1, One-Family Residential and is subject to the Neighborhood Conservation Area, Subarea E of the Architectural Design Standards.

**CODE**

**SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA**

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

**(a) *Site development standards***

- ⊘ Except where indicated, setbacks shall be established by zoning.
- ⊘ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ⊘ Minimum building heights shall be established by zoning.
- ⊘ Within subareas D and E maximum building heights shall be as established by zoning, except that:  
Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.

Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.

Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.

Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.

- ✓ Outside of subareas D and E maximum building heights shall be as established by zoning.
- ✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.
- ✗ Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
  - Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.
  - ✗ four-foot clear zone.
  - Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.
  - The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

**STAFF COMMENT:**

- **Setbacks and overall building height were not provided (height appears to be less than 35').**
- **The property does not currently have a sidewalk.**
- **The scope of construction does not include changes to the site, building placement, or sidewalk.**

**(b) Supplemental Area and Fence Standards**

- ✗ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.
- ⊙ Chain link fencing is not permitted in areas visible from a public right-of-way.
- ⊙ On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- ⊙ Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
- ⊙ Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- ⊙ All street-facing walls shall be faced with stone, brick, or smooth stucco.
- ⊙ Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

**STAFF COMMENT:**

- **There are no trees in the supplemental area.**
- **The scope of construction does not include changes to the supplemental area.**

**(c) Utility Standards**

- ✍ Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.

- ⊗ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- ⊗ Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
- ✗ All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- ⊗ Trees shall not be planted directly above storm drains.

**STAFF COMMENT:**

- Plans do not indicate the location or screening of mechanical utility features.
- There does not appear to be a light at the front door.
- It is unclear if the scope of construction includes changes to utilities.

**(d) Parking and Traffic Standards**

- 👉 One-family detached dwellings and two-family dwellings shall meet the following requirements:
  - 👉 Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.
  - Circular drives are permitted.
  - A grass strip in the middle of driveways is encouraged.
- ⊗ All other buildings shall meet the following requirements:
  - Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
  - Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
  - Two curb cuts serving two one-way driveways shall be counted as one curb cut.
  - Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
  - New public streets shall not count as curb cuts.
  - Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ⊗ Carports are only permitted subject to the following requirements:
  - Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
  - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
  - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- 👉 On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.
- ⊗ Garage access on single-family lots shall be prohibited in the front yard of the home.

**STAFF COMMENT:**

- The width and depth of the existing driveway have not been provided.
- The scope of construction does not include changes to the provided off-street parking.

**(e) Roof and Chimney Standards**

- ✓ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✓ Roof shingles shall be slate, cedar, or asphalt.
- ⊗ Roof tiles shall be clay, terra cotta or concrete.
- ⊗ Metal roofs are:
  - Allowed on one-family and two-family detached dwellings;
  - Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- 👉 Gutters shall be copper, aluminum or galvanized steel.
- 👉 Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- 👉 All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊗ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊗ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊗ Chimneys on exterior building walls shall begin at grade.
- ⊗ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

**STAFF COMMENT:**

- Gutters and downspouts should be shown on plans.
- The applicant should provide the distance the new roof overhangs beyond the façade.

**(f) Street Facing Facade and Style Standards.**

- ✓ Exterior facade materials shall be limited to:
  - Full-depth brick;
  - Natural or cast stone;
  - ✓ Smooth natural-wood siding and/or cement-based siding;
  - Shake siding;
  - Painted fish-scale style shingles, but only when used in front gables;
  - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ✓ Exterior building materials shall not be:
  - Simulated brick veneer, such as Z-Brick;
  - Exterior insulation and finish systems (EIFS);
  - Exposed concrete block;
  - Metal siding or other metal exterior treatment;
  - Glass curtain walls;
  - Liquid vinyl;

T-1-11 siding;

Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.

- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✓ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- ✓ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✎ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ✓ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- ✎ Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✓ Porch and stoop foundations shall be enclosed.
- ✎ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊖ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ✎ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊖ Stoops shall provide a minimum top landing of four feet by four feet.
- ⊖ Stoop stairs and landings shall be of similar width.
- ⊖ Stoops may be covered or uncovered.
- ✎ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ✎ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊖ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Enfronting porches may have multistory verandas, living space, or balconies above.
- ✎ Porch columns shall be spaced a maximum distance of eight feet on center.
- ✎ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- ⊖ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊖ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊖ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.

- ⊖ Balconies may be covered or uncovered.

**STAFF COMMENT:**

- Existing vinyl siding to be replaced with Hardie board.
- No dimensions or materials have been provided for the front porch.
- The extent to which the front façade will be impacted by development is unclear. The porch as shown in the plans does not conform to the existing porch. Any changes to the front porch must comply with the *Street Facing Façade and Style Standards*.

**(g) Door and window standards.**

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✗ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ✗ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊖ Doors that operate as sliders are prohibited along enfronting facades.
- 👉 Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- 👉 Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- 👉 Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ⊖ Where used, window shutters shall match one-half the width of the window opening.
- ⊖ Painted window or door glass is prohibited.
- ⊖ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- 👉 Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- 👉 Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- 👉 Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- 👉 Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

- There is no walkway connecting the front entrance to the street.
- There are no building numbers adjacent to the front door on the plans.
- Changes to the supplemental area, including a walkway, are not within the scope of construction.

**STAFF COMMENT:**

- The plans indicate the new construction will use/replace existing windows without altering placement. However, the provided pictures of the existing house do not match the provided floorplan. Any new or completely rebuilt windows must comply with the requirements found in the *door and window standards* section.

**(h) Detached one-family dwellings/ two-family dwellings.** In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

 **First Stories.** First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.

 **Window Sills.** Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.

 **Wheelchair access.** Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.

 **Architectural style.** Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

#### **Other:**

New homes in the neighborhood conservation area should be designed to reflect the principal traditional styles found in the community. These include national folk, Queen Anne, ranch, Tudor revival, craftsman, and minimal traditional styles.

These styles, however, do not reflect the only styles historically found in Hapeville, which also includes a few occurrences of neocolonial revival. Where an applicant desires to utilize a style historically found in Hapeville, but not reflected in the six principal styles identified in subsections (4)a. through (4)e., they shall provide the Design Review Committee with photo documentation of the relevant style in Hapeville, a description of the key features of such style, and written justification of such style's appropriateness for the community.

#### **STAFF COMMENT:**

- **The height of the first floor above grade and the height of windowsills above the finished floor elevation have not been provided.**
- **The overall design of the house does not match any of the traditional architectural styles recognized in the Architectural Design Guidelines.**
- **The scope of construction does not include changes to the first floor elevation or overall architectural style, other than the new roof form.**

 **Outbuildings.** In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
- ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
- iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
- iv. Outbuildings shall be of compatible material and architectural style to the principal building.

- v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

**STAFF COMMENT:**

**RECOMMENDATION**

The scope of construction related to the restoration is unclear. The application indicates the only demolition taking place is within the interior. However, the photographs provided by the applicant indicate severe damage to the rear of the structure that will likely require more extensive work than merely replacing siding. Also, the windows shown in the provided photographs do not match those in either the existing or proposed floor plans. In addition, the roof shown on the plans has an entirely different form than the existing structure.

If the applicant is replacing the fire damaged walls and changing the roof form without any other changes, then the application can be approved once the applicant updates their plans to show gutters and downspouts. If the applicant is performing more work than is indicated, the application must be updated with required information related to all changes.