



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: August 15, 2019
TO: Tonya Hutson
FROM: Lynn Patterson
RE: **Design Review – 105 Lilly Street**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a revised design review application from Jimmy L. Joyner to construct a new two-story single-family dwelling at 105 Lilly Street. The dwelling will have 1,990 SF of living area and a 442 SF attached garage. It will include three bedrooms and three and a half bathrooms.

The property is zoned R-1, One-Family Residential and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) Site development standards

- ✓ Except where indicated, setbacks shall be established by zoning.
- ⊘ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ⊘ Minimum building heights shall be established by zoning.
- ⊘ Within subareas D and E maximum building heights shall be as established by zoning, except that:
Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.

Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.

Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.

Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.

- ✓ Outside of subareas D and E maximum building heights shall be as established by zoning.
- ✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.
- ✓ Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
 - ✓ Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.
 - Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.
 - The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

STAFF COMMENT:

(b) *Supplemental Area and Fence Standards*

- ✓ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.
- Chain link fencing is not permitted in areas visible from a public right-of-way.
- On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
- Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- All street-facing walls shall be faced with stone, brick, or smooth stucco.
- Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

STAFF COMMENT:

(c) *Utility Standards*

- ✓ Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.

- × All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- ⊙ Trees shall not be planted directly above storm drains.

STAFF COMMENT:

- **A light at the front door should be included in plans.**

(d) *Parking and Traffic Standards*

- ✓ One-family detached dwellings and two-family dwellings shall meet the following requirements:
 - ✓ Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.
Circular drives are permitted.
A grass strip in the middle of driveways is encouraged.
- ⊙ All other buildings shall meet the following requirements:
 - Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
 - Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
 - Two curb cuts serving two one-way driveways shall be counted as one curb cut.
 - Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
 - New public streets shall not count as curb cuts.
 - Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ⊙ Carports are only permitted subject to the following requirements:
 - Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
 - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
 - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- ⊙ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.
- ✓ Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT:

(e) *Roof and Chimney Standards*

- ✓ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✓ Roof shingles shall be slate, cedar, or asphalt.
- ⊙ Roof tiles shall be clay, terra cotta or concrete.
- ⊙ Metal roofs are:
 - Allowed on one-family and two-family detached dwellings;
 - Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a

parapet wall.

- ✓ Gutters shall be copper, aluminum or galvanized steel.
- ✓ Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- ✓ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊙ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊙ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊙ Chimneys on exterior building walls shall begin at grade.
- ⊙ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT:

(f) Street Facing Facade and Style Standards.

- ✓ Exterior facade materials shall be limited to:
 - Full-depth brick;
 - Natural or cast stone;
- ✓ Smooth natural-wood siding and/or cement-based siding;
 - Shake siding;
 - Painted fish-scale style shingles, but only when used in front gables;
 - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ✓ Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;
 - Liquid vinyl;
 - T-1-11 siding;
 - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.
- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✓ Blank, windowless walls are prohibited along all facades. See subsection *81-1-7(g)11*.
- ✓ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.

- ✋ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- ✋ Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✓ Porch and stoop foundations shall be enclosed.
- ✋ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊖ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ✋ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊖ Stoops shall provide a minimum top landing of four feet by four feet.
- ⊖ Stoop stairs and landings shall be of similar width.
- ⊖ Stoops may be covered or uncovered.
- ✓ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ✓ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊖ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Enfronting porches may have multistory verandas, living space, or balconies above.
- ✋ Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- ⊖ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊖ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊖ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Balconies may be covered or uncovered.

STAFF COMMENT:

- The materials used in the porch should be provided. Porches must be made of painted or stained wood, stone, brick, or ornamental metal.
- If the porch is wooden, the railings must include top and bottom horizontal members following the specifications included in sec. 81-1-7(f)10.
- The plans should show the height of the porch, ensuring it is between two and four feet above grade.
- The plans should show the distance between porch columns, ensuring they are spaced a maximum of eight feet on center.

(g) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✓ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ✗ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊖ Doors that operate as sliders are prohibited along enfronting facades.
- ✋ Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- ✋ Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- ✋ Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ⊖ Where used, window shutters shall match one-half the width of the window opening.
- ⊖ Painted window or door glass is prohibited.
- ⊖ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ✋ Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ✋ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- ✋ Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- ✋ Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

STAFF COMMENT:

- **Building numbers adjacent to the front entrance or the porch stairs should be included in plans.**
- **The applicant should ensure the structure will not utilize GBGs.**
- **The plans state window panes, trim, mullions, sills, placement, and size will be compliant with the *door and window standards* but do not provide any specifications or show the windows in compliant configurations on the elevations. The applicant should provide the required information and show compliant windows on the plans.**

(h) *Detached one-family dwellings/ two-family dwellings.* In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

- ✋ ***First Stories.*** First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
- ✋ ***Window Sills.*** Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
- ⊖ ***Wheelchair access.*** Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.



Architectural style. Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

Other:

New homes in the neighborhood conservation area should be designed to reflect the principal traditional styles found in the community. These include national folk, Queen Anne, ranch, Tudor revival, craftsman, and minimal traditional styles.

These styles, however, do not reflect the only styles historically found in Hapeville, which also includes a few occurrences of neocolonial revival. Where an applicant desires to utilize a style historically found in Hapeville, but not reflected in the six principal styles identified in subsections (4)a. through (4)e., they shall provide the Design Review Committee with photo documentation of the relevant style in Hapeville, a description of the key features of such style, and written justification of such style's appropriateness for the community.

STAFF COMMENT:

- **The plans should indicate the height of the first floor above grade, ensuring it is between 2' and 4'.**
- **The plans should ensure windowsills are between 2.5' and 3.5' above finished floor elevation.**
- **The architectural style of the proposed dwelling does not conform to one of the six recognized traditional styles found in Hapeville.**

- ⊗ ***Outbuildings.*** In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
- ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
- iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
- iv. Outbuildings shall be of compatible material and architectural style to the principal building.
- v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

STAFF COMMENT:

RECOMMENDATIONS

The proposed design does not reflect any of the traditional styles found in Hapeville. The Applicant will need to provide a justification of the design's appropriateness for the community along with documentation of similar designs in the city.

In addition, the following items have been found to be missing or deficient and should be addressed prior to formalizing a recommendation:

1. A light at the front door should be included in plans.
2. The materials used in the porch should be provided. Porches must be made of painted or stained wood, stone, brick, or ornamental metal.
3. If the porch is wooden, the railings must include top and bottom horizontal members following the specifications included in sec. 81-1-7(f)10.
4. The plans should show the height of the porch, ensuring it is between two and four feet above grade.
5. The plans should show the distance between porch columns, ensuring they are spaced a maximum of eight feet on center.
6. Building numbers adjacent to the front entrance or the porch stairs should be included in plans.
7. The applicant should ensure the structure will not utilize GBGs.
8. The plans state window panes, trim, mullions, sills, placement, and size will be compliant with the *door and window standards* but do not provide any specifications or show the windows in compliant configurations on the elevations. The applicant should provide the required information and show compliant windows on the plans.

Once these items are addressed to the satisfaction of Staff and/or the Design Review Committee, the application can be approved.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE:

6-19-19

NOTE:

All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant:

Jimmy L Joyner

Contact Number:

[REDACTED]

Applicants Address:

2617 Hwy 42 Locust Grove Ga. 30248

E-Mail Address:

[REDACTED]

Zoning Classification:

B-1

Address of Proposed Work:

105 Lilly Street Hapeville Ga. 30354

Parcel ID# (INFORMATION MUST BE PROVIDED):

Property Owner:

William Garcia

Contact Number:

[REDACTED]

Project Description (including occupancy type):

Single Family Residential

Contractors Name:

Jimmy L Joyner

Contact Number:

[REDACTED]

Contact Person:

Contact Number:

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Applicants Signature

[Signature]

Date

6-18-19

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☐ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☒ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: 1990

Total Square Footage of existing building: NA

Estimated Cost of Construction: 150,000

List/Describe Building Materials on the exterior of the **existing** structure: _____

NA

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

Hardy PLANK SIDING

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I Jimmy L Joyner  swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- _____ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOR_CH81ARDEST
- _____ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- _____ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- _____ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- _____ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- _____ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- _____ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

Printed Name Signature Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

It is hereby certified that this plat is true and correct as to the property lines and all improvements shown thereon, and was prepared from an actual survey of the property made by me or under my supervision; that all monuments and markers shown hereon actually exist, and their location, size, type and material are correctly shown. The field data upon which this plat is based was acquired with an open and traverse. Closure precision not applicable. This plat has been calculated for closure and is found to be accurate within one foot in 200,355 feet and the property shown contains a total of 0.40 acres. The equipment used to obtain the linear and angular measurements herein was Topcon GTS

Registered Georgia Land Surveyor No. 2567 Date of Expiration 12-31-2020



This subdivision plat has been reviewed by the Planning Commission and the City Engineer and found to be in compliance with Zoning Ordinance, Conditions Of Zoning Approval, City of Hapeville Development Regulations and Subdivision Regulations as amended, and that it has been by all other affected City and County Departments, as appropriate. The Mayor and City Council hereby approve this Final Plat, subject to the provisions and requirements of the City's regulations and the provisions and the requirements of the Development Performance and Maintenance Agreement executed for this development between the Owner and the City of Hapeville.

PAYEMENT PATCH DETAILS AND SEWER MAIN CONNECTION DETAILS SHALL BE SUBMITTED TO AND APPROVED BY THE COMMUNITY SERVICE DEPARTMENT PRIOR TO CONSTRUCTING THE SEWER SERVICE LINE WORK IN HOPE STREET RIGHT-OF-WAY

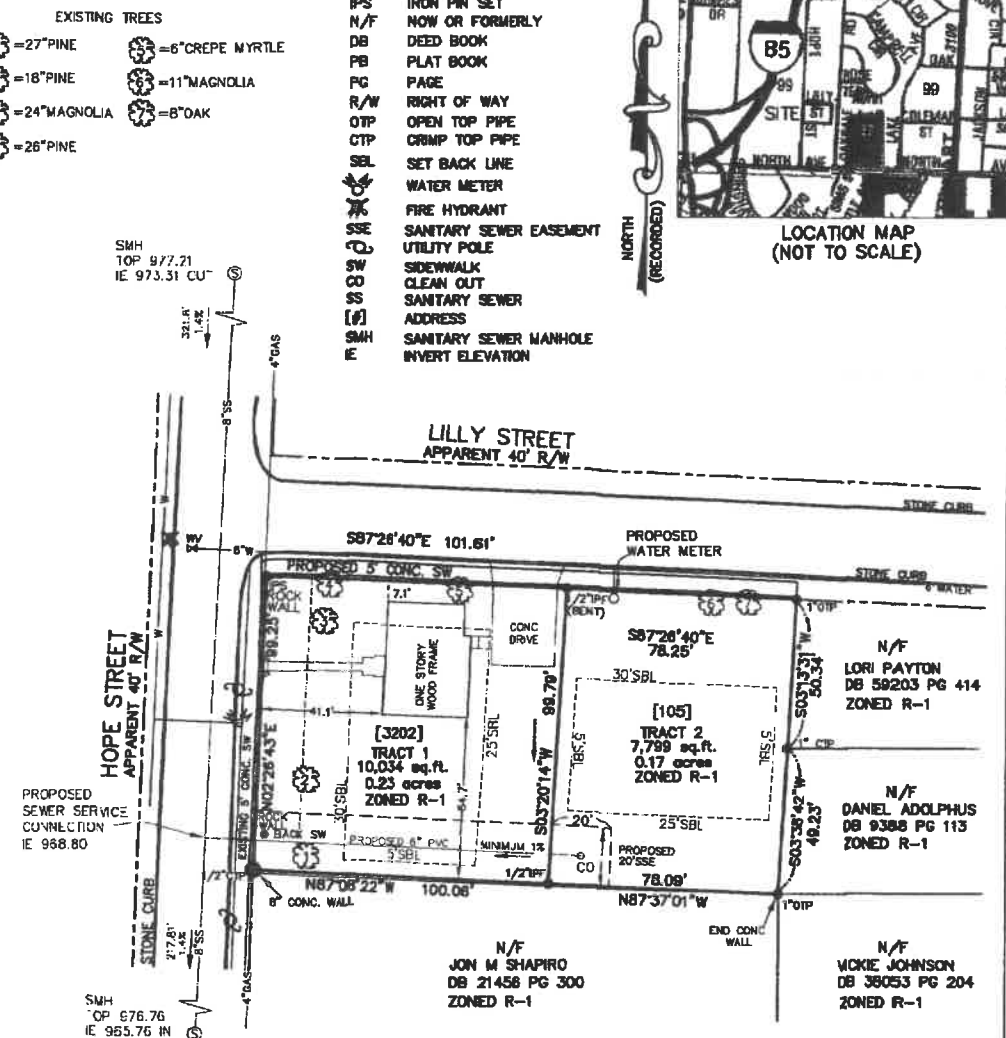
The owner of the land shown on this plat and whose name is subscribed thereto, and in person or through a duly authorized agent, acknowledges that this plat was made from an actual survey, and dedicates by this Declaration to the use of the public forever all streets, easements, sanitary sewers and appurtenances, potable water mains and appurtenances, storm drains appurtenances, and other public facilities and appurtenances thereon shown

THE CITY OF HAPEVILLE ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT-OF-WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED PLAT AND THAT THE CITY DOES NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF PIPES AND DRAINAGE DITCHES IN DRAINAGE EASEMENTS BEYOND THE CITY RIGHT-OF-WAY. STRUCTURES OTHER THAN STORM DRAINAGE STRUCTURES ARE NOT PERMITTED IN DRAINAGE EASEMENTS.

IPF	IRON PIN FOUND
IPS	IRON PIN SET
N/F	NOW OR FORMERLY
DB	DEED BOOK
PB	PLAT BOOK
PG	PAGE
R/W	RIGHT OF WAY
OTP	OPEN TOP PIPE
CTP	CRIMP TOP PIPE
SBL	SET BACK LINE
	WATER METER
	FIRE HYDRANT
SSE	SANITARY SEWER EASEMENT
	UTILITY POLE
SW	SIDEWALK
CO	CLEAN OUT
SS	SANITARY SEWER
[#]	ADDRESS
SMH	SANITARY SEWER MANHOLE
E	INVERT ELEVATION



LOCATION MAP
(NOT TO SCALE)



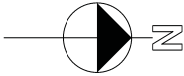
REFERENCES: LOTS 3 & 4 AS RECORDED IN PB 14 PG 32
VARIANCE APPLICATION 18-PC-12-39

PROPERTY DIVISION SURVEY 3202 HOPE STREET PID# 1400990040421		BURTON & ASSOCIATES 1740 Hudson Bridge Rd Box 1226 Stockbridge, GA 30281 TEL (404)867-8332 bdainc@bellsouth.net		
GARVA INVESTMENT		LAND LOT 99 COUNTY FULTON DATE 11-12-18 DISTRICT 14 CITY HAPEVILLE REvised 1-03-19 SCALE 1"=50' JOB NO. 103018GA		

COVER SHEET & LOCATION PLAN

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PROJECT NAME:
NEW 2-STORY SINGLE FAMILY RESIDENCE

PROJECT ADDRESS:
105 LILLY STREET
HAPEVILLE, GA 30354

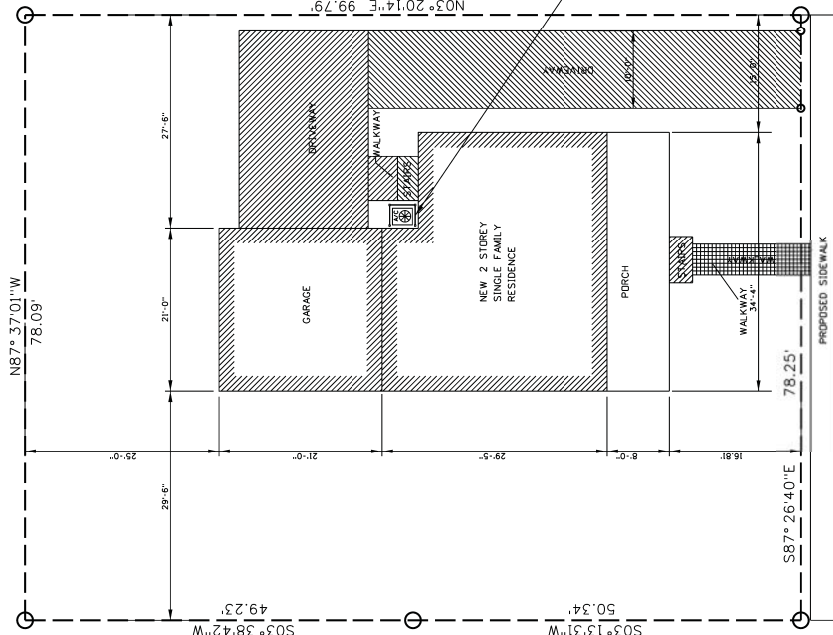
PROJECT DESCRIPTION:
SINGLE FAMILY CONSTRUCTION
3 BEDROOMS, 3 1/2 BATH
HARDIPLANK SIDING, BRICK FRONT

DESIGNER:
PROPERTY CLASSIFICATION: R3-RESIDENTIAL (IBC)

ZONING: R1

LIVING AREA FIRST FLOOR 922 SF
LIVING AREA SECOND FLOOR 1068 SF
TOTAL LIVING AREA 1990 SF
GARAGE AREA 442 SF
BUILDING HEIGHT 32'-5"
LOT AREA 7799 SF (0.18 AC)
PARCEL D 14009900040421

APPLICABLE CODES:
INTERNATIONAL BUILDING CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS
INTERNATIONAL RESIDENTIAL CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS
INTERNATIONAL MECHANICAL CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS
INTERNATIONAL PLUMBING CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS
INTERNATIONAL FIRE CODE, 2012 EDITION, WITH GEORGIA AMENDMENTS
INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION, WITH GEORGIA SUPPLEMENTS AND AMENDMENTS
NFPA NATIONAL ELECTRICAL CODE, 2014 EDITION
2012 NFPA 101 LIFE SAFETY CODE WITH ALL GEORGIA STATE AMENDMENTS



LILLY STREET

LOCATION PLAN
1/16" = 1'-0"

VICINITY/CONCEPTUAL MAP
SCALE: NONE

IF VISIBLE FROM ANY PARK OR ALONG ANY
PUBLIC RIGHT-OF-WAY MECHANICAL FEATURES SHALL BE
SCREENED WITH PLANTING, WALLS OR FENCES OF EQUAL
OR GREATER HEIGHT.



LOT COVERAGE
BLDG 1667 SF
DRIVEWAY 950 SF
WALKWAYS 114 SF
STAIRS 39 SF
PORCH 275 SF
TOTAL COVERAGE 3045 SF
PARCEL AREA 7759 SF
TOTAL COVERAGE 39.0%

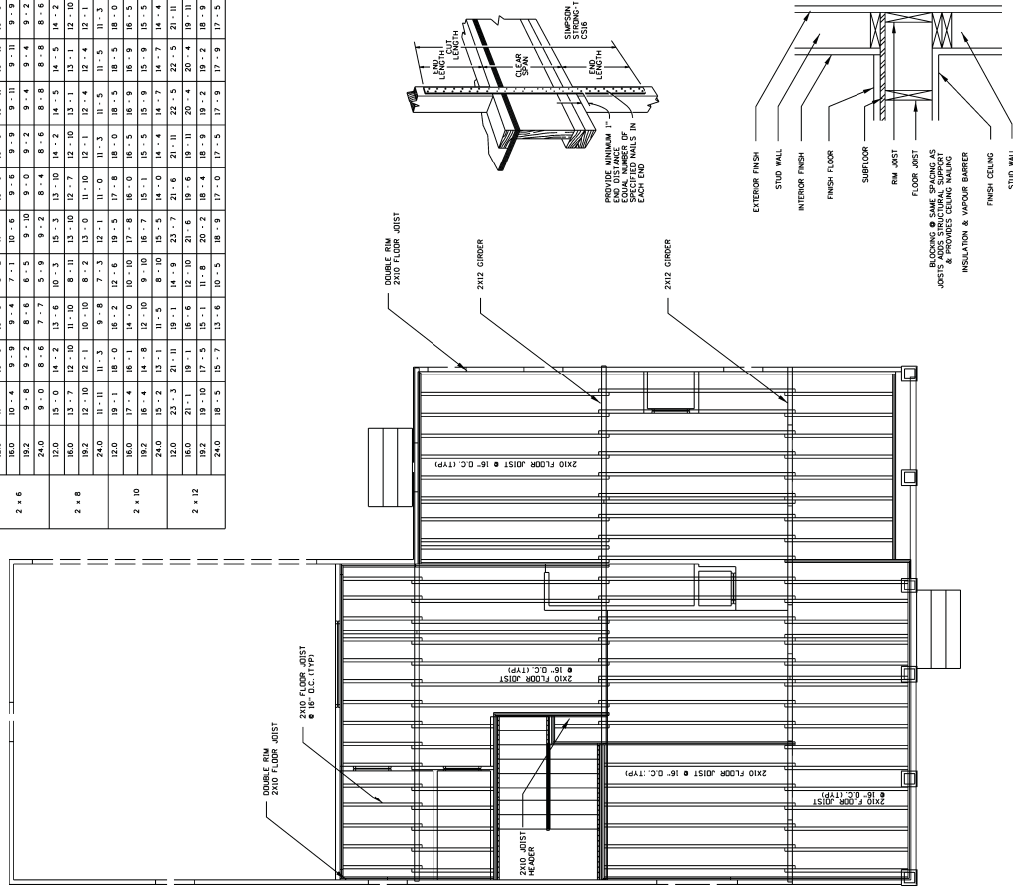
FOR INFORMATION CONTACT: WILLIAM SARCIA 3515 ZIP INDUSTRIAL BLVD HAPEVILLE, GA 30354 404-886-4857		ENGINEER:	COVER SHEET LOCATION PLAN & VICINITY MAP	PROJECT LOCATION 105 LILLY STREET HAPEVILLE, GA 30354	REVISIONS: No. DATE 1 2 3	PREPARED BY: RLH DATE: 06-26-18 SCALE: AS NOTED	SHEET No. A1
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SOUTHERN PINE SPAN TABLES

MAXIMUM SPANS GIVEN IN FEET AND INCHES
INSIDE TO INSIDE OF BEARINGS

TABLE 2 FLOOR JOISTS - 40 PSF LIVE LOAD, 10 PSF DEAD LOAD, .360 DEFLECTION

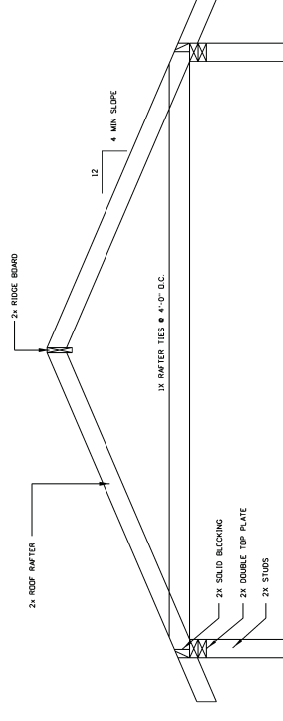
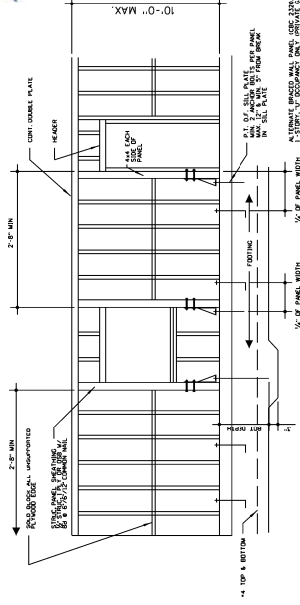
Size inches	Spacing inches on center	Visually Graded										Grade				Machine Evaluated Lumber (MEL)	
		DSS		No.1	No.2	No.3	Machine Stress Limit (MSL)	max size	min size	max size	min size	max size	min size	max size	min size		
2 x 6	12.0	11-4	10-9	10-3	9-2	11-7	10-6	10-9	10-11	10-11	10-9	10-9	10-9	10-9			
	14.0	10-8	9-2	8-6	8-5	9-10	9-9	9-2	9-2	9-2	9-2	9-2	9-2	9-2			
	16.0	9-7	8-1	7-5	7-4	8-9	8-8	8-1	8-1	8-1	8-1	8-1	8-1	8-1			
	24.0	8-0	8-6	7-7	5-9	9-2	8-4	8-2	8-4	8-2	8-4	8-2	8-4	8-2			
2 x 8	12.0	10-5	10-4	13-6	10-3	10-3	10-3	13-10	14-2	14-3	14-5	14-5	14-5	14-5			
	14.0	13-7	12-10	11-10	8-11	10-11	10-7	12-7	12-10	13-11	13-11	12-10	12-10				
	16.0	12-2	10-10	10-10	8-7	13-1	11-10	11-10	12-12	12-14	12-14	12-14	12-14				
	24.0	10-11	13-1	9-8	7-8	12-21	11-11	11-11	11-11	11-11	11-11	11-11	11-11				
2 x 10	12.0	10-1	10-1	16-2	12-6	12-6	12-6	17-8	17-8	16-9	16-9	16-9	16-9	16-9			
	14.0	17-4	16-1	14-1	10-10	10-10	10-10	16-10	16-10	16-10	16-10	16-10	16-10				
	16.0	16-4	14-8	12-10	9-10	10-10	10-10	16-7	15-11	15-15	15-15	15-15	15-15				
	24.0	15-2	13-8	11-9	9-10	10-10	10-10	16-7	15-11	14-14	14-14	14-14	14-14				
2 x 12	12.0	23-3	21-1	19-1	14-9	14-9	23-7	21-6	21-1	22-5	22-5	20-4	21-11	21-11			
	14.0	21-1	19-1	16-6	12-10	12-10	19-10	19-10	20-4	20-4	20-4	19-11	19-11				
	16.0	19-10	17-5	15-11	11-8	10-8	20-2	18-4	18-9	19-12	19-12	18-9	18-9				
	24.0	18-5	15-7	13-6	10-8	10-8	18-9	17-0	17-5	17-5	17-5	17-5	17-5				



FLOOR FRAMING PLAN SECOND FLOOR
1/8"=1'-0"

JOIST @ EXTERIOR WALL
JOISTS PARALLEL TO WALL W/BLOCKING

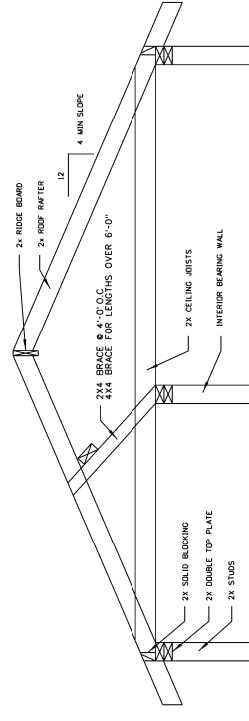
FRAMING DETAILS



PURLIN(CBC 2320.12.7)

(FOR ROOF PITCH NOT LESS THAN 4 VERTICAL TO 12 HORIZONTAL)

ROOF PITCH DETAIL



PURLIN(CBC 2320.12.7)

(FOR ROOF PITCH NOT LESS THAN 4 VERTICAL TO 12 HORIZONTAL)

25'-0" MAX. BETWEEN BEARING WALLS WITHOUT ENGINEERING

ROOF PITCH DETAIL

SHEET NO.

A2

PREPARED BY:

13

DATE:	06-26-18
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SCALE:	AS NOTED
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REVISIONS:

No.	DATE
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[illegible]

	2
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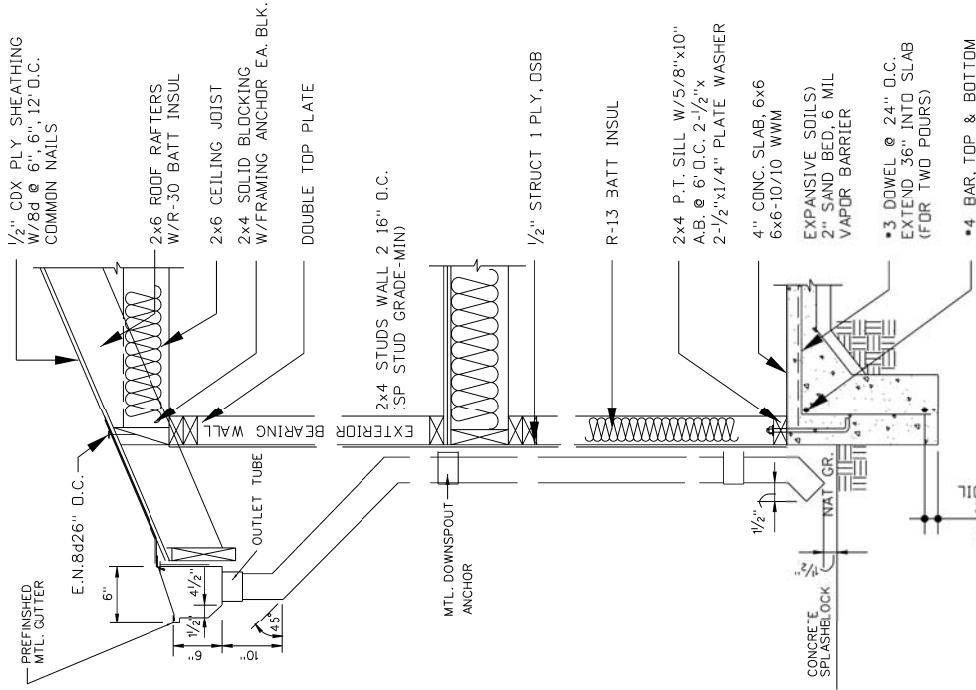
PROJECT LOCATION	105 LILLY STREET HAPPEVILLE, GA 30355
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SHEET TITLE:

FLOOR FRAMING PLAN

ENGINEER:

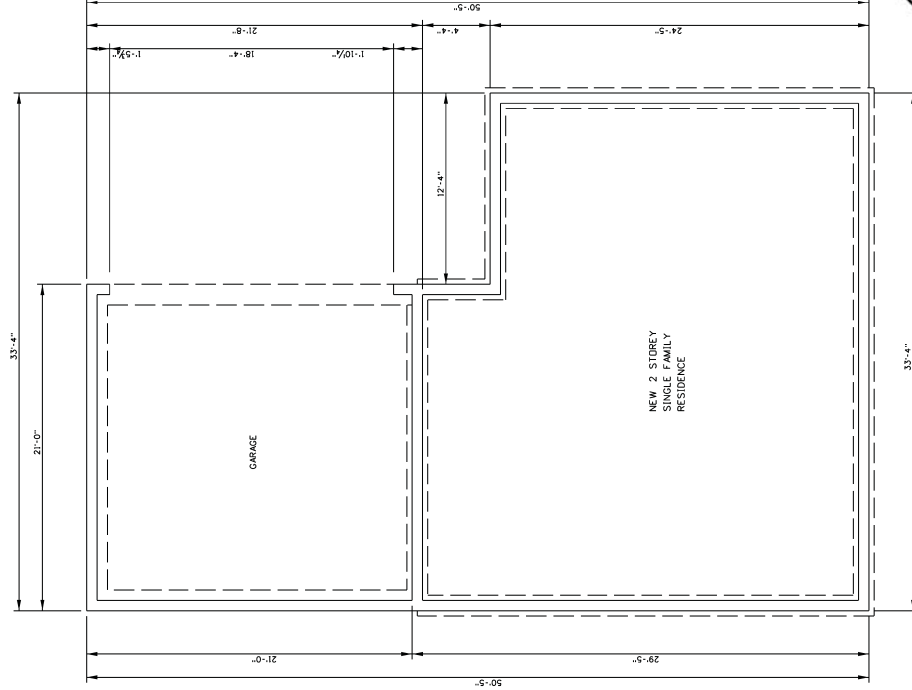
FOR INFORMATION CONTACT:
WILLIAM GARCIA
5 ZIP INDUSTRIAL BLVD
PEVILLE, GA 30354
4-886-4857



NOTES
GUTTERS SHALL BE ENGLERT LEAFGUARD ALUMINUM WITH DOWNSPOUTS
MATCHED AS TO MATERIAL AND FINISH AND SHALL HAVE A MANUFACTURER'S
WARRANTY FOR A MINIMUM USEFUL LIFE OF 30 YEARS OR MORE
BUILDING NUMBERS, AT LEAST SIX (6) INCHES IN HEIGHT, SHALL BE
LOCATED ABOVE OR BESIDE THE STREET-FACING PEDESTRIAN ENTRANCE,
OR ABOVE OR BESIDE THE STAIRS ACCESSING A FRONT PORCH.

WALL SECTION

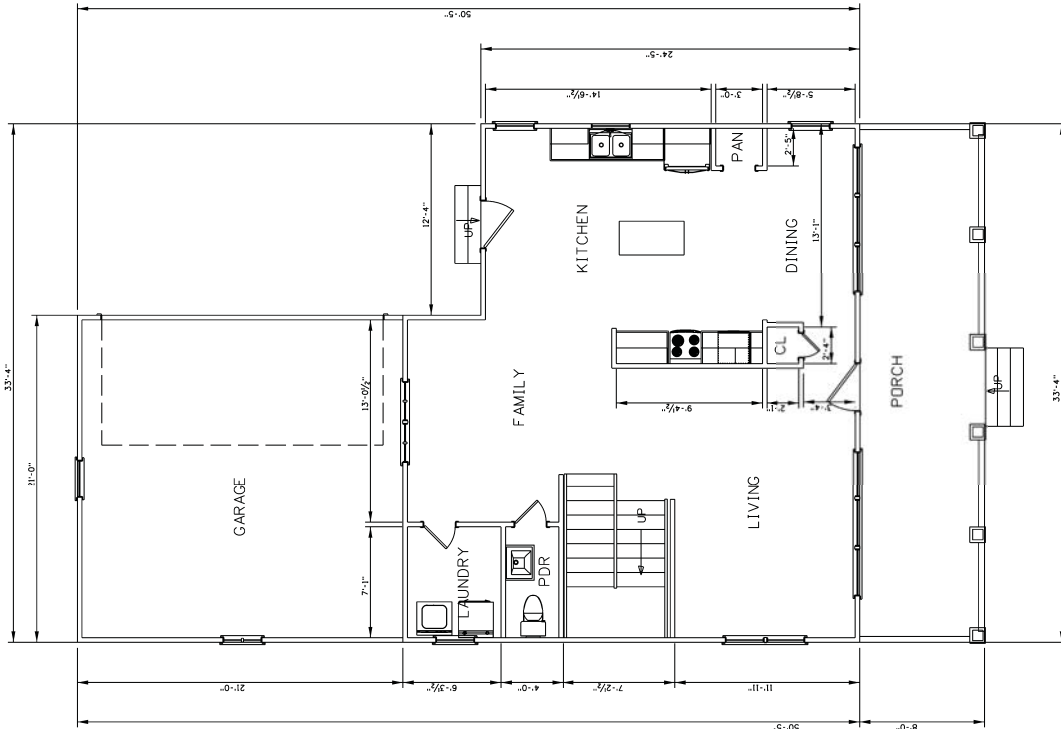
FOUNDATION TYPE	SLAB ON GRADE
STANDARD FOUNDATIONS:	



FOUNDATION PLAN 1/8"=1'-0"

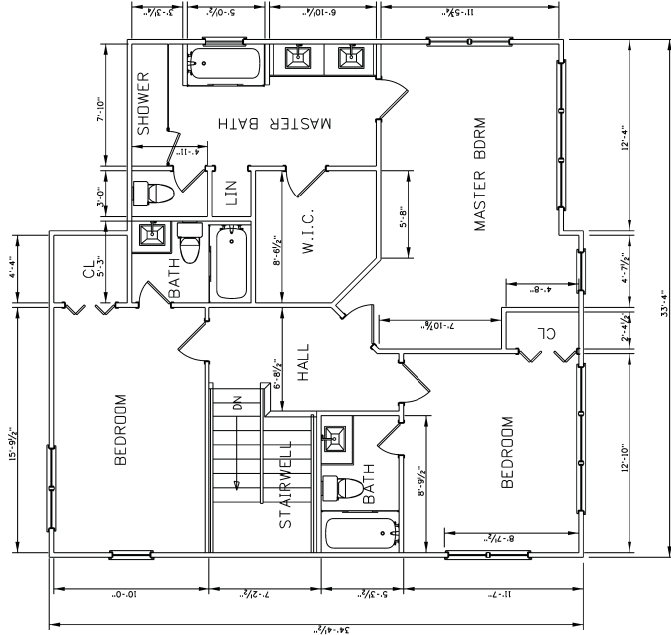


FOR INFORMATION CONTACT: WILLIAM GARCIA 3315 ZIP INDUSTRIAL BLVD HAPEVILLE, GA 30354 404-886-4857		ENGINEER:	SHEET TITLE: FOUNDATION PLAN & DETAILS	PROJECT LOCATION 105 LILLY STREET HAPEVILLE, GA 30354	REVISIONS: <table border="1"> <tr> <th>No.</th> <th>DATE</th> </tr> <tr> <td>1</td> <td></td> </tr> <tr> <td>2</td> <td></td> </tr> <tr> <td>3</td> <td></td> </tr> </table>	No.	DATE	1		2		3		PREPARED BY: RLH DATE: 06-26-18 SCALE: AS NOTED	SHEET No. A3
No.	DATE														
1															
2															
3															



FIRST FLOOR PLAN
1/8"=1'-0"

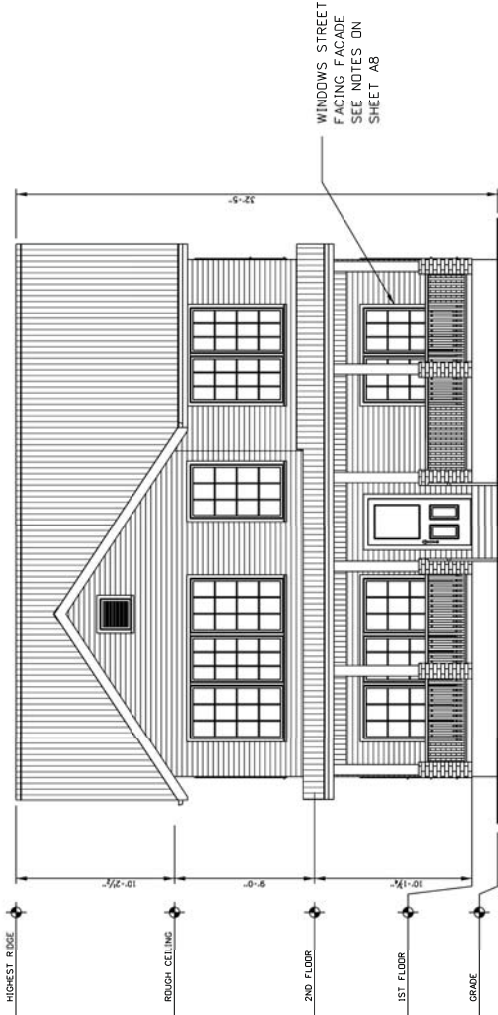
LOT COVERAGE
BLDG 1667 SF
DRIVEWAY 950 SF
WALKWAYS 114 SF
STAIRS 39 SF
PORCH 275 SF
TOTAL COVERAGE 3045 SF
PARCEL AREA 7799 SF
TOTAL COVERAGE 39.0%



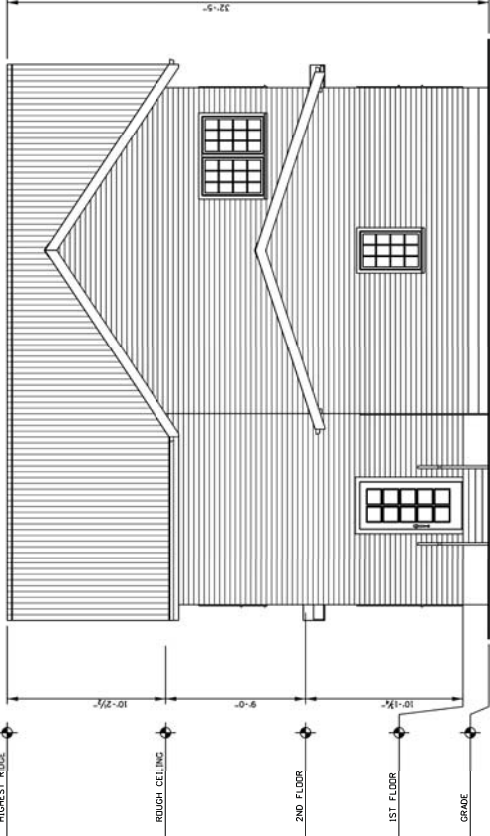
SECOND FLOOR PLAN
1/8"=1'-0"



PROJECT LOCATION 105 LILLY STREET HAPEVILLE, GA 30354		SHEET TITLE: FIRST & SECOND FLOOR PLANS		FOR INFORMATION CONTACT: WILLIAM JARCIA 3515 ZIP INDUSTRIAL BLVD HAPEVILLE, GA 30354 404-886-4857	
REVISIONS: No. 1 DATE 2 3		ENGINEER: 		SHEET No. A4	
PREPARED BY: RLH DATE: 06-26-18 SCALE: AS NOTED		No. 1 DATE 2 3		SHEET No. A4	



FRONT ELEVATION
1/8"=1'-0"

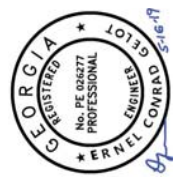


REAR ELEVATION
1/8"=1'-0"

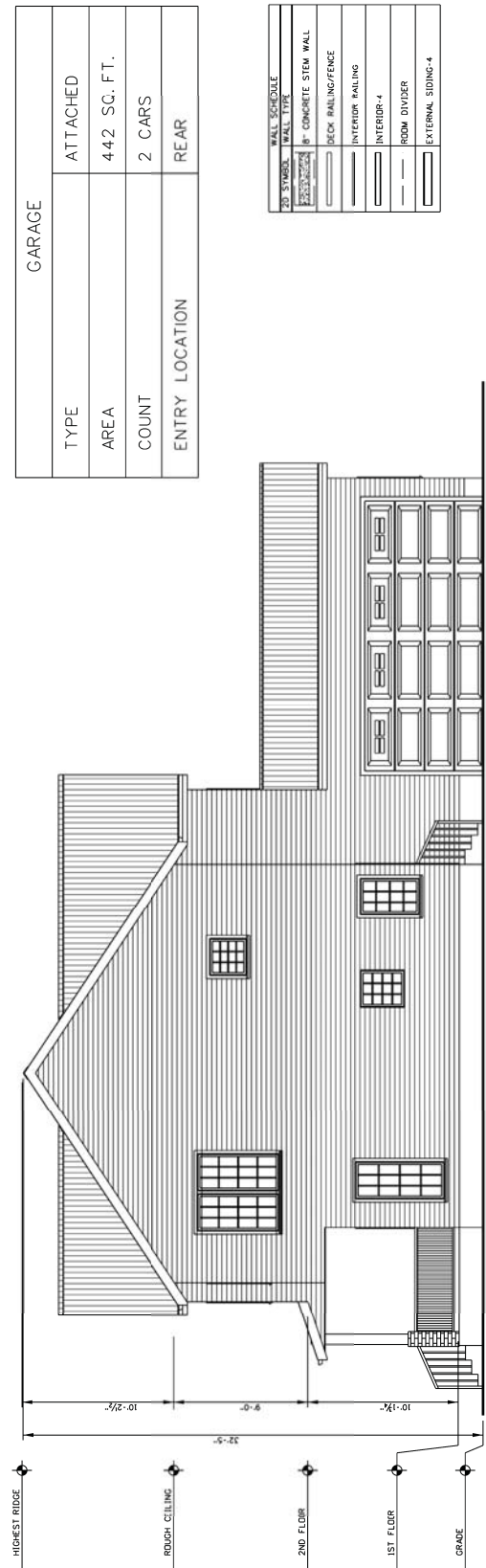
NOTES
BUILDING ROOF SHALL BE OF ASPHALT SHINGLES WITH A MINIMUM
USABLE LIFE OF THIRTY (30) YEARS, BACKED BY A CORRESPONDING
MANUFACTURER'S WARRANTY.

ITEM	DESCRIPTION
STUDS: (2X4)	SOUTHERN PINE STUD GRADE
POST BEAMS AND HEADERS	SOUTHERN PINE GRADE 1
ALL OTHER HORIZONTAL	SOUTHERN PINE GRADE 2
ALL OTHER VERTICAL	SOUTHERN PINE GRADE 2
PLYWOOD:	
STRUCTURAL SHEATHING	GRADE MARKED STRUCTURAL 1
PLYCLIPS	PSC'S BY SIMPSON OR EQUAL
LAG BOLTS	ANSI/ASME B18.2.1
NAILS	COMMON FEDERAL FF-N-05B (USE GALVANIZED AT EXTERIOR LOCATIONS)
SCREWS	ANSI B18.6.1 / ASTM A502
JOIST HANGERS	SIMPSON OR EQUAL
CONNECTORS	SIMPSON OR EQUAL (USE GALVANIZED AT EXTERIOR LOCATIONS)

CEILING HEIGHT	
FIRST FLOOR	9'-0"
SECOND FLOOR	8'-0"
BEDS/BATHS	
BEDROOMS:	3
FULL BATHROOMS:	3
HALF BATHROOMS:	1
EXTERIOR WALLS	
STANDARD TYPE(S):	2X4
OPTIONAL TYPE(S):	2X6
FOUNDATION TYPE	
STANDARD FOUNDATIONS:	SLAB ON GRADE



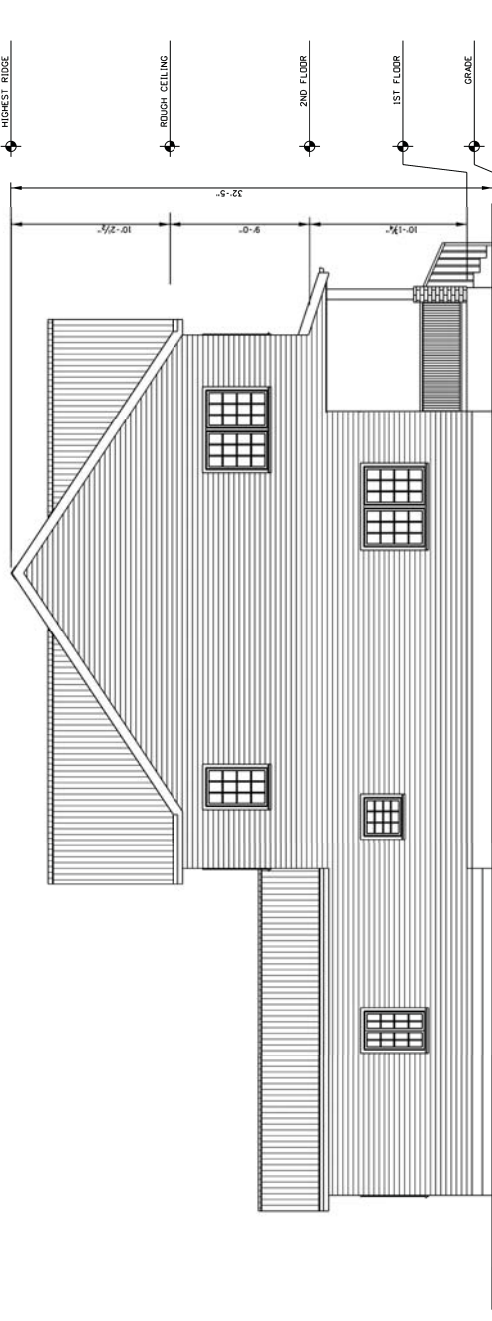
FOR INFORMATION CONTACT: WILLIAM GARCIA 3515 ZIP INDUSTRIAL BLVD HAPEVILLE, GA 30354 404-886-4857	ENGINEER:	SHEET TITLE: EXTERIOR FRONT & REAR ELEVATIONS	PROJECT LOCATION 105 LILLY STREET HAPEVILLE, GA 30354	REVISIONS: No. DATE 1 2 3	PREPARED BY: RLH DATE: 06-26-18 SCALE: AS NOTED	SHEET No. A5
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GARAGE	
TYPE	ATTACHED
AREA	442 SQ. FT.
COUNT	2 CARS
ENTRY LOCATION	REAR

WALL SCHEDULE	WALL TYPE
20' TYPICAL	8" CONCRETE STEM WALL
ROCK RAILING/FENCE	
INTERIOR PAINTING	
INTERIOR-4	
ROOM DIVIDER	
EXTERNAL SIDING-4	

RIGHT ELEVATION
1/8"=1'-0"



LEFT ELEVATION
1/8"=1'-0"

FOR INFORMATION CONTACT: WILLIAM GARCIA 3515 ZIP INDUSTRIAL BLVD HAYVILLE, GA 30354 404-886-4857	ENGINEER:	SHEET TITLE: EXTERIOR RIGHT & LEFT ELEVATIONS	PROJECT LOCATION 105 LILLY STREET HAYVILLE, GA 30354	REVISIONS: No. DATE 1 2 3	PREPARED BY: RLH DATE: 06-26-18 SCALE: AS NOTED	SHEET No. A6
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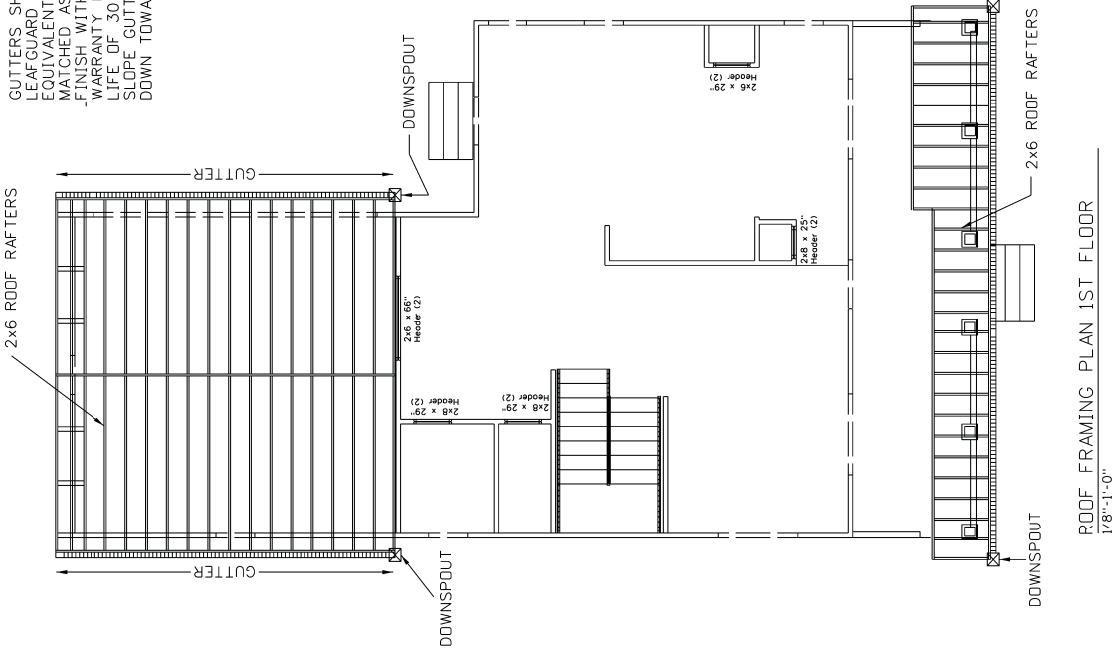


SOUTHERN PINE SPAN TABLES

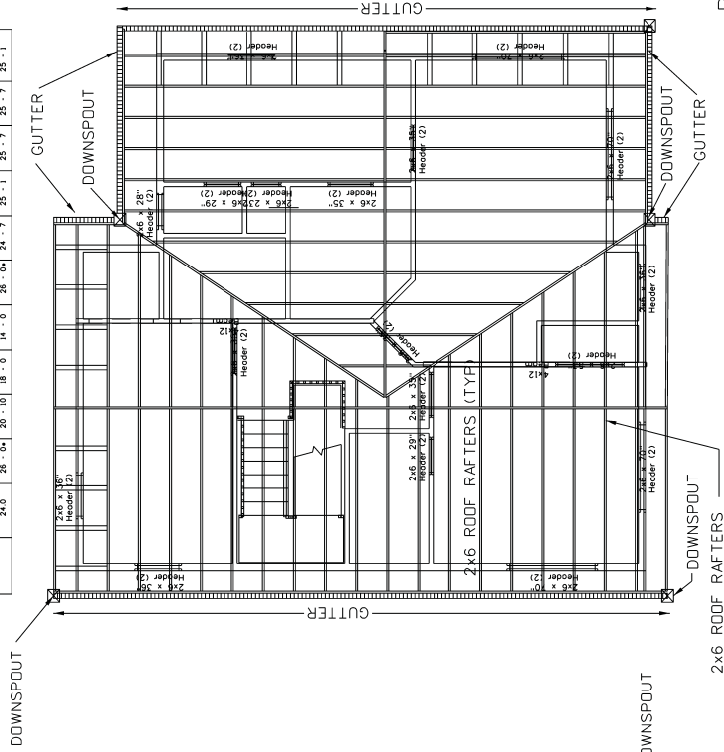
RAFTERS - 20 PSF LIVE LOAD IS PERMISSIBLE FOR 240 DEFLECTION (D) - 1/25

SIZE		GRADE										MACHINE EVALUATED UNDER (S.D.)
SPACING ON CENTER INCHES	MACHINE STRESS RATED (MSR)	VISUALLY GRADED					MACHINE STRESS RATED (MSR)					
		DPS	No.1	No.2	No.3	MSR 18	MSR 18	MSR 18	MSR 18	MSR 18	MSR 18	
2 x 6	12.0	16'-4"	15'-6"	14'-5"	10'-11"	16'-6"	15'-2"	15'-6"	15'-9"	15'-9"	15'-6"	15'-6"
	16.0	14'-11"	14'-1"	12'-6"	9'-5"	15'-2"	13'-9"	14'-1"	14'-4"	14'-4"	14'-1"	14'-1"
	19.2	14'-0"	13'-3"	11'-5"	8'-8"	14'-3"	12'-11"	13'-3"	13'-6"	13'-6"	13'-3"	13'-3"
	24.0	13'-0"	11'-10"	10'-2"	7'-9"	13'-3"	12'-0"	12'-3"	12'-6"	12'-6"	12'-3"	12'-3"
2 x 8	12.0	21'-7"	20'-5"	18'-3"	13'-9"	21'-11"	19'-11"	20'-5"	20'-10"	20'-10"	20'-5"	20'-5"
	16.0	19'-7"	18'-4"	15'-10"	11'-11"	19'-11"	18'-2"	18'-6"	18'-11"	18'-11"	18'-6"	18'-6"
	19.2	18'-5"	16'-9"	14'-5"	10'-10"	18'-9"	17'-1"	17'-5"	17'-9"	17'-9"	17'-5"	17'-5"
	24.0	17'-2"	15'-0"	12'-11"	9'-9"	17'-5"	15'-10"	16'-2"	16'-6"	16'-6"	16'-2"	16'-2"
2 x 10	12.0	26'-0"	24'-10"	21'-6"	16'-8"	26'-0"	23'-2"	23'-8"	24'-1"	24'-1"	23'-8"	23'-8"
	16.0	25'-0"	21'-6"	18'-9"	14'-5"	25'-5"	23'-2"	23'-8"	24'-1"	24'-1"	23'-8"	23'-8"
	19.2	23'-7"	19'-7"	17'-1"	13'-2"	23'-5"	21'-9"	22'-8"	22'-8"	22'-8"	22'-3"	22'-3"
	24.0	21'-0"	17'-6"	15'-4"	11'-10"	22'-3"	20'-2"	20'-8"	21'-1"	21'-1"	20'-8"	20'-8"
2 x 12	12.0	26'-0"	26'-0"	25'-6"	22'-1"	26'-0"	26'-0"	26'-0"	26'-0"	26'-0"	26'-0"	26'-0"
	16.0	26'-0"	25'-6"	22'-1"	17'-1"	26'-0"	26'-0"	26'-0"	26'-0"	26'-0"	26'-0"	26'-0"
	19.2	26'-0"	23'-3"	20'-2"	15'-7"	26'-0"	26'-0"	26'-0"	26'-0"	26'-0"	26'-0"	26'-0"
	24.0	26'-0"	20'-10"	18'-0"	14'-0"	26'-0"	24'-7"	25'-1"	25'-7"	25'-7"	25'-1"	25'-1"

GUTTERS SHALL BE ENGINEERED ALUMINUM OR EQUIVALENT WITH DOWNSPOUTS MATCHED AS TO MATERIAL AND FINISH WITH MANUFACTURER WARRANTY FOR MIN USEFUL LIFE OF 30 YEARS OR MORE. SLOPE GUTTERS 1/4" PER 10' DOWN TOWARDS DOWNSPOUTS.



ROOF FRAMING PLAN 1ST FLOOR
1/8"=1'-0"



ROOF FRAMING PLAN 2ND FLOOR
1/8"=1'-0"

ROOF FRAMING NOTES

ROOF FRAMING DRAWING IS FOR ILLUSTRATION ONLY.

ALL ROOF FRAMING 24" O.C.

ALL OVERHANGS 18".



FOR INFORMATION CONTACT:
WILLIAM GARCIA
3515 ZIP INDUSTRIAL BLVD
HAYESVILLE, GA 30534
404-886-4857

ENGINEER:

ROOF FRAMING PLAN

SHEET TITLE:

PROJECT LOCATION
105 LILLY STREET
HAYESVILLE, GA 30534

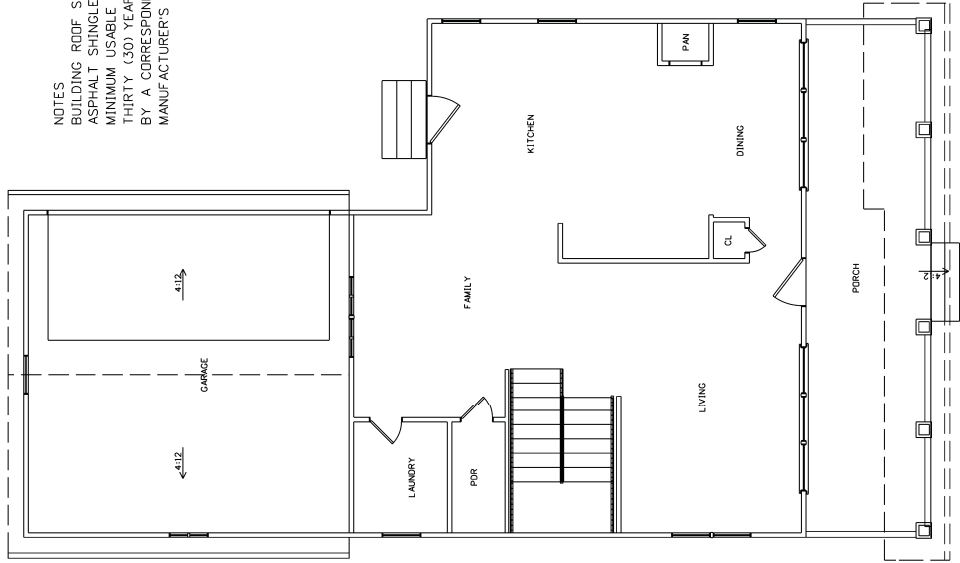
REVISIONS:	
No.	DATE
1	
2	
3	

PREPARED BY:
RLH

DATE: 06-26-18
SCALE: AS NOTED

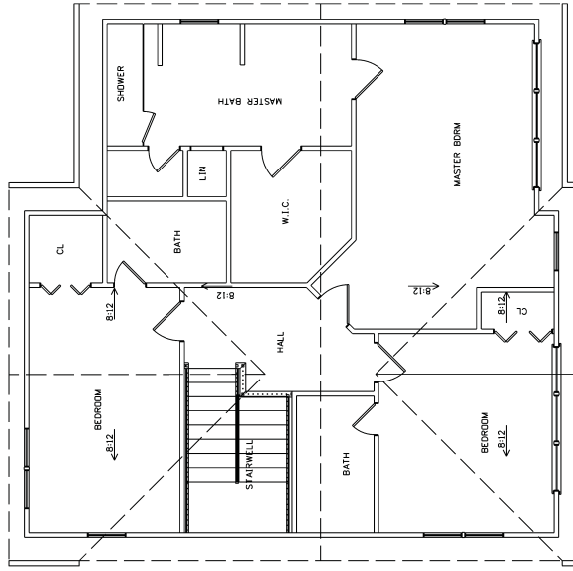
SHEET No.
A7

NOTES
BUILDING ROOF SHALL BE OF
ASPHALT SHINGLES WITH A
MINIMUM USABLE LIFE OF
THIRTY (30) YEARS, BACKED
BY A CORRESPONDING
MANUFACTURER'S WARRANTY.



ROOF PLAN 1ST FL
1/8"=1'-0"

ROOF DETAILS	
PRIMARY PITCH	8:12



ROOF PLAN 2ND FL
1/8"=1'-0"



FOR INFORMATION CONTACT: WILLIAM GARCIA 3315 ZIP INDUSTRIAL BLVD HAPPEVILLE, GA 30354 404-886-4857	ENGINEER:	SHEET TITLE: ROOF PLAN	PROJECT LOCATION 105 LILLY STREET HAPPEVILLE, GA 30354	REVISIONS: No. DATE 1 2 3	PREPARED BY: RLH DATE: 06-26-18 SCALE: AS NOTED	SHEET No. A9
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FOR INFORMATION CONTACT:
WILLIAM GARCIA
3515 ZIP INDUSTRIAL BLVD
HAYEVILLE, GA 30354
404-886-4857

ENGINEER:

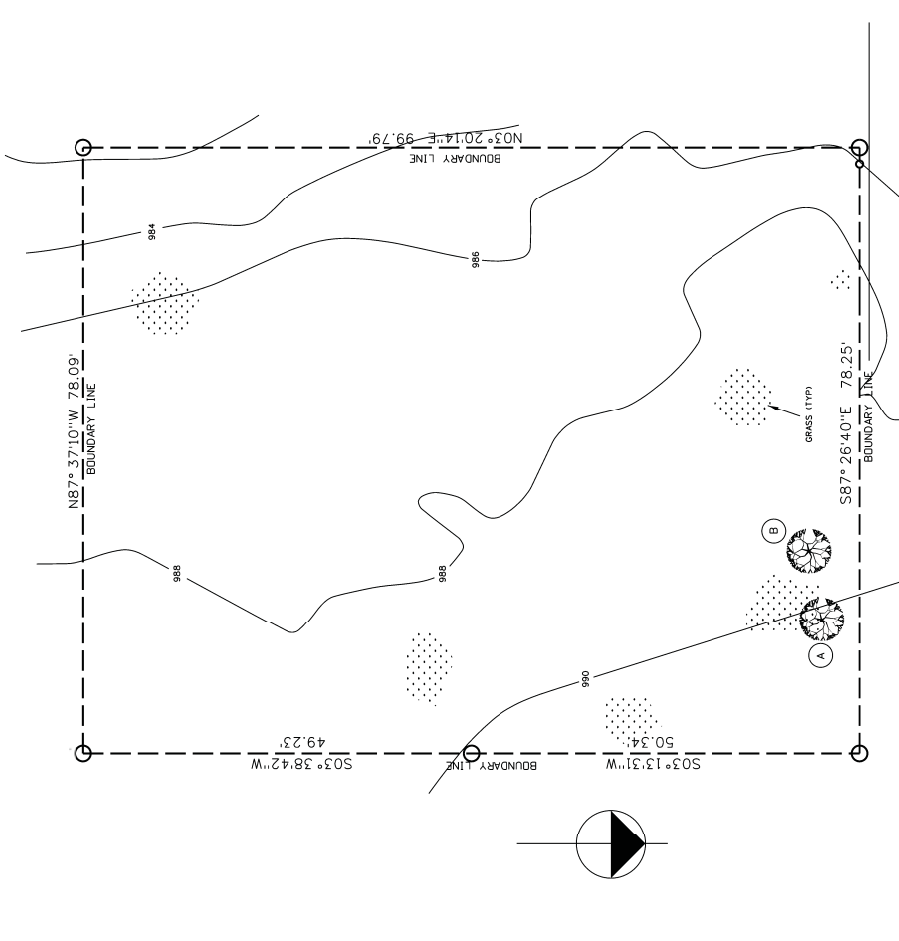
SHEET TITLE:
EXISTING SITE
VEGETATION & GRADE

PROJECT LOCATION
105 LILLY STREET
HAYEVILLE, GA 30354

REVISIONS:	
No.	DATE
1	
2	
3	

PREPARED BY:
RLH
DATE: 06-26-18
SCALE: AS NOTED

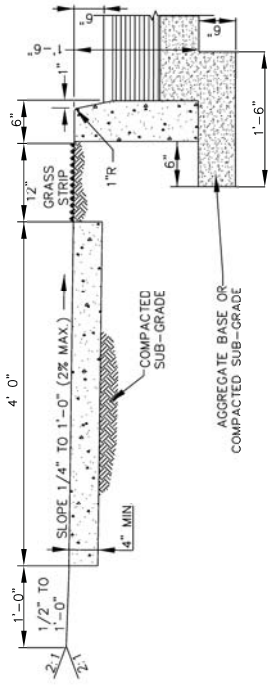
SHEET No.
A11



LILLY STREET

EXISTING SITE & CONTOURS
1/16" = 1'-0"

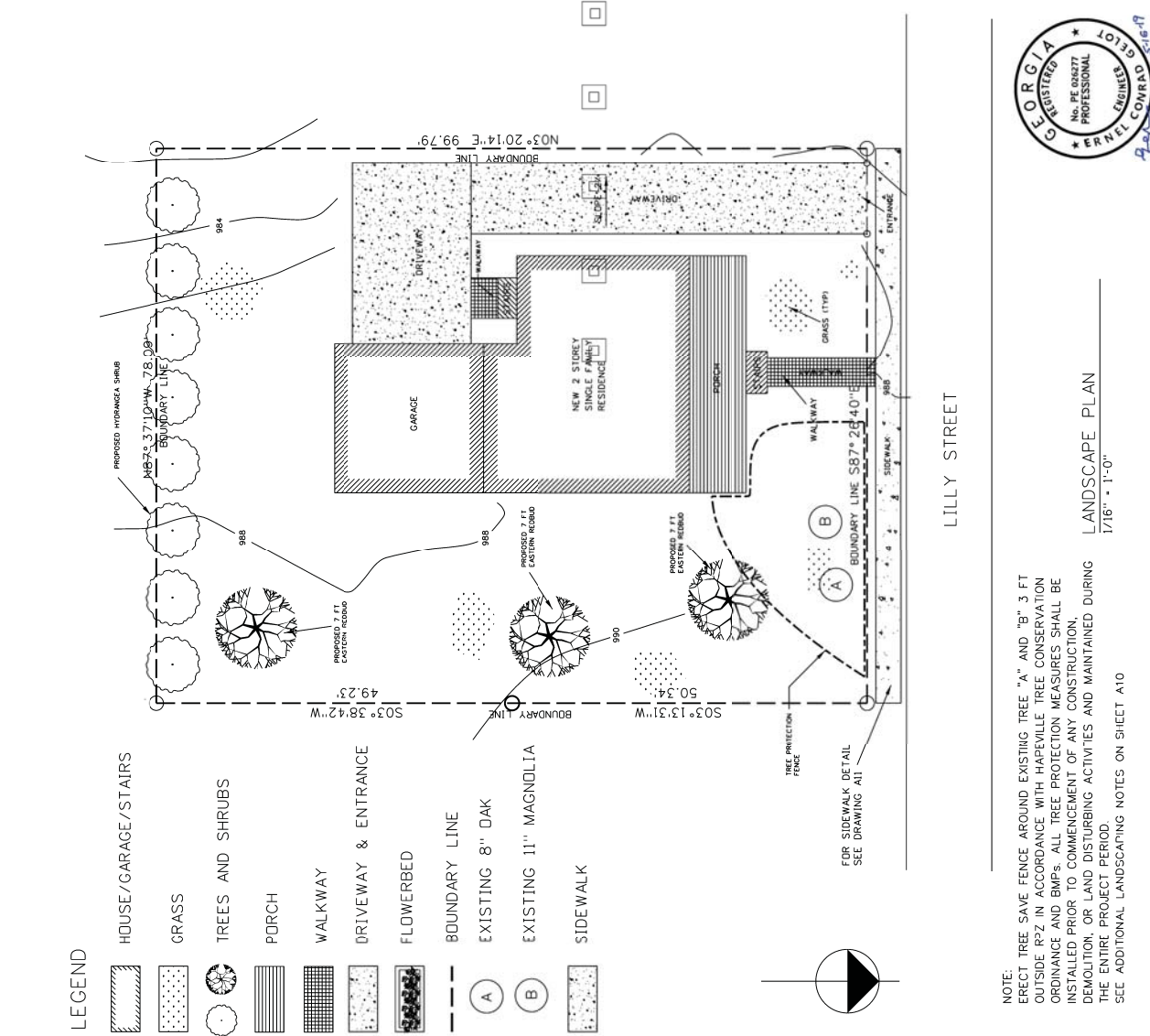
EXISTING 11" MAGNOLIA TO REMAIN (A)
8" OAK TO REMAIN (B)



SIDEWALK DETAIL
NOT TO SCALE

- NOTES:
1. SIDEWALK SHALL BE SCRIBED WITH TRANSVERSE CONTROL JOINTS IN SQUARES EQUAL TO SIDEWALK WIDTH BUT NOT TO EXCEED 10 FEET.
 2. CONCRETE SHALL BE TYPE "A" 3,000 P.S.I. MIN. STRENGTH.
 3. EXPANSION JOINTS SHALL EXTEND ACROSS THE FULL WIDTH OF THE SIDEWALK. CONTROL JOINTS SHALL BE LOCATED ON EACH SIDE OF A DRIVEWAY APRON AND NOT MORE THAN 100 FEET APART.
 4. PREFORMED BITUMINOUS MATERIAL SHALL BE PLACED BETWEEN ALL FIXED OBJECTS AND THE NEW CONCRETE SIDEWALK.





FOR INFORMATION CONTACT:		WILLIAM JARCIA 3515 ZIP INDUSTRIAL BLVD HAPEVILLE, GA 30354 404-886-4857									
ENGINEER:											
SHEET TITLE:		LANDSCAPE PLAN PROPOSED									
PROJECT LOCATION		105 LILLY STREET HAPEVILLE, GA 30354									
REVISIONS:		<table><tr><th>No.</th><th>DATE</th></tr><tr><td>1</td><td></td></tr><tr><td>2</td><td></td></tr><tr><td>3</td><td></td></tr></table>		No.	DATE	1		2		3	
No.	DATE										
1											
2											
3											
PREPARED BY:		RLH									
DATE:		06-26-18									
SCALE:		AS NOTED									
SHEET No.		A12									