

DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: August 15, 2019
TO: Tonya Hutson
FROM: Lynn Patterson
RE: Design Review – 105 Lilly Street

Key:

Compliant:

Not Compliant:

Incomplete:

BACKGROUND

The City of Hapeville has received a revised design review application from Jimmy L. Joyner to construct a new two-story single-family dwelling at 105 Lilly Street. The dwelling will have 1,990 SF of living area and a 442 SF attached garage. It will include three bedrooms and three and a half bathrooms.

The property is zoned R-1, One-Family Residential and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) Site development standards

- Except where indicated, setbacks shall be established by zoning.
- On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- Minimum building heights shall be established by zoning.
- Within subareas D and E maximum building heights shall be as established by zoning, except that:

Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.

Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.

Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.

Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.

- Outside of subareas D and E maximum building heights shall be as established by zoning.
- All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.
- Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
 - Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.

Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.

The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

STAFF COMMENT:

(b) Supplemental Area and Fence Standards

- Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section *93-2-14*.
- O Chain link fencing is not permitted in areas visible from a public right-of-way.
- On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- Services adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
- Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- All street-facing walls shall be faced with stone, brick, or smooth stucco.
- Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

STAFF COMMENT:

(c) Utility Standards

- Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.

- All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- O Trees shall not be planted directly above storm drains.

STAFF COMMENT:

A light at the front door should be included in plans.

(d) Parking and Traffic Standards

- One-family detached dwellings and two-family dwellings shall meet the following requirements:
 - ✓ Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.
 - Circular drives are permitted.
 - A grass strip in the middle of driveways is encouraged.
- All other buildings shall meet the following requirements:
 - Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
 - Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
 - Two curb cuts serving two one-way driveways shall be counted as one curb cut.
 - Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
 - New public streets shall not count as curb cuts.
 - Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- O Carports are only permitted subject to the following requirements:
 - Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
 - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
 - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting onstreet parking located along a public street.
- Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT:

(e) Roof and Chimney Standards

- Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✓ Roof shingles shall be slate, cedar, or asphalt.
- - Allowed on one-family and two-family detached dwellings;
 - Permitted on multifamily and townhouse dwellings only when screened form the adjacent street by a

parapet wall.

- ✓ Gutters shall be copper, aluminum or galvanized steel.
- ✓ Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- O Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- O Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- O Chimneys on exterior building walls shall begin at grade.
- Ohimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT:

(f) Street Facing Facade and Style Standards.

Exterior facade materials shall be limited to:

Full-depth brick;

Natural or cast stone;

✓ Smooth natural-wood siding and/or cement-based siding;

Shake siding:

Painted fish-scale style shingles, but only when used in front gables;

True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.

Exterior building materials shall not be:

Simulated brick veneer, such as Z-Brick;

Exterior insulation and finish systems (EIFS);

Exposed concrete block;

Metal siding or other metal exterior treatment;

Glass curtain walls;

Liquid vinyl;

T-1-11 siding;

Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.

- Facade materials shall be combined horizontally, with the heavier below the lighter.
- \checkmark Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.

- Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✓ Porch and stoop foundations shall be enclosed.
- Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- Stoops shall provide a minimum top landing of four feet by four feet.
- Stoop stairs and landings shall be of similar width.
- Stoops may be covered or uncovered.
- When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- O Enfronting porches may have multistory verandas, living space, or balconies above.
- Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- Senfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- O Enfronting balconies shall have a minimum clear depth of four feet.
- Separation Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- O Balconies may be covered or uncovered.

STAFF COMMENT:

- The materials used in the porch should be provided. Porches must be made of painted or stained wood, stone, brick, or ornamental metal.
- If the porch is wooden, the railings must include top and bottom horizontal members following the specifications included in sec. 81-1-7(f)10.
- The plans should show the height of the porch, ensuring it is between two and four feet above grade.
- The plans should show the distance between porch columns, ensuring they are spaced a maximum of eight feet on center.

- The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- O Doors that operate as sliders are prohibited along enfronting facades.
- Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- Where used, window shutters shall match one-half the width of the window opening.
- O Painted window or door glass is prohibited.
- Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

STAFF COMMENT:

- Building numbers adjacent to the front entrance or the porch stairs should be included in plans.
- The applicant should ensure the structure will not utilize GBGs.
- The plans state window panes, trim, mullions, sills, placement, and size will be compliant with the door and window standards but do not provide any specifications or show the windows in compliant configurations on the elevations.
 The applicant should provide the required information and show compliant windows on the plans.
- (h) Detached one-family dwellings/ two-family dwellings. In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.
- First Stories. First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
- Window Sills. Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
- Wheelchair access. Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.

** Architectural style. Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

Other:

New homes in the neighborhood conservation area should be designed to reflect the principal traditional styles found in the community. These include national folk, Queen Anne, ranch, Tudor revival, craftsman, and minimal traditional styles.

These styles, however, do not reflect the only styles historically found in Hapeville, which also includes a few occurrences of neocolonial revival. Where an applicant desires to utilize a style historically found in Hapeville, but not reflected in the six principal styles identified in subsections (4)a. through (4)e., they shall provide the Design Review Committee with photo documentation of the relevant style in Hapeville, a description of the key features of such style, and written justification of such style's appropriateness for the community.

STAFF COMMENT:

- The plans should indicate the height of the first floor above grade, ensuring it is between 2' and 4'.
- The plans should ensure windowsills are between 2.5' and 3.5' above finished floor elevation.
- The architectural style of the proposed dwelling does not conform to one of the six recognized traditional styles found in Hapeville.
- Outbuildings. In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.

The following standards shall apply to construction of new outbuildings in residential districts.

- i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
- ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
- iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
- iv. Outbuildings shall be of compatible material and architectural style to the principal building.
- v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

STAFF COMMENT:

RECOMMENDATIONS

The proposed design does not reflect any of the traditional styles found in Hapeville. The Applicant will need to provide a justification of the design's appropriateness for the community along with documentation of similar designs in the city.

In addition, the following items have been found to be missing or deficient and should be addressed prior to formalizing a recommendation:

- 1. A light at the front door should be included in plans.
- 2. The materials used in the porch should be provided. Porches must be made of painted or stained wood, stone, brick, or ornamental metal.
- 3. If the porch is wooden, the railings must include top and bottom horizontal members following the specifications included in sec. 81-1-7(f)10.
- 4. The plans should show the height of the porch, ensuring it is between two and four feet above grade.
- 5. The plans should show the distance between porch columns, ensuring they are spaced a maximum of eight feet on center.
- 6. Building numbers adjacent to the front entrance or the porch stairs should be included in plans.
- 7. The applicant should ensure the structure will not utilize GBGs.
- 8. The plans state window panes, trim, mullions, sills, placement, and size will be compliant with the *door and window standards* but do not provide any specifications or show the windows in compliant configurations on the elevations. The applicant should provide the required information and show compliant windows on the plans.

Once these items are addressed to the satisfaction of Staff and/or the Design Review Committee, the application can be approved.

CITY OF HAPEVILLE DESIGN REVIEW APPLICATION

SUBMITTAL	DATE: 6-19-19
NOTE:	All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.
	The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.
Applicant:	Jim my L JOYNEY Contact Number:
	dress: 2617 Hwy 42 Locust GrovE Ga. 30248
E-Mail Address	s: Zoning Classification:
Address of Pro	oposed Work: 105 Lilly Street Hapen 110 Ga. 3035
Parcel ID# (INF	FORMATION MUST BE PROVIDED):
Property Owne	er: William Garcia Contact Number:
Project Desci	ription (including occupancy type):
Nijo-ilo	ription (including occupancy type): Singly Fam. 19 Vesidential
Contractors 1	Name: Contact Number:
Contact Pers	on: Contact Number:
property. I do I accurate, and I application and eserves that rig further unders tall. I hereby ac write the Englis voluntarily comp	application to the City of Hapeville, to the Design Review Committee for the above referenced hereby swear or affirm that the information provided here and above is true, complete and understand that any inaccuracies may be considered just cause for invalidation of this any action taken on this application. I understand that the City of Hapeville, Georgia, ght to enforce any and all ordinances regardless of any action or approval on this application. It is my/our responsibility to conform with all of City of Hapeville's Ordinances in cknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and sh language and/or this document has been read and explained to me and I have full and pleted this application. I understand that it is a felony to make false statements or writings to wille, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.
Stan	St byser 6-18-19
Applicants S	Signature Date

Project Class (check Residential	•	
Residential	Commercial	Mixed-Use Development
Project Type:		
New Commercial	Construction _	Addition to Existing Commercial Buildin
Addition to Existing	g Residential Structure _	Accessory Structure
Site Plan, Gradino	ı & LandscapingN	ew Single Family Residential Construction
Other		
Total Square Footage of	proposed New Construction:	1990
	existing building:	
Estimated Cost of Constr	uction: 150,000	
List/Describe Building Ma	terials proposed for the ext	erior facade of the new structure:
На	rdy Plank	SIDING

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

I ________ swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done to following:	the
Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:	
https://library.municode.com/ga/hapeville/codes/code of ordinances?nodeId=PTIICOOR CH81ARDE	ST
Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.	e
Submitted my application materials in full by the published deadline for review by Staff prior to t Design Review Committee meeting.	:he
Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.	
Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review	
Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.	
Agreed to submit any required revisions by the Design Review Committee with updated drawing to the Community Services Department for review prior to requesting any permits.	S
Jumy L Torver Janhorer 6-18-19	
Printed Name / Signature Date	_
Should you have any questions, please do not hesitate to contact the Community Services Department	t

at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

	It is hereby lines and all actual survey all morumen size, type an plat is based applicable. The accurate with a total of O. measurements	improvements shown there of the property mode by to and markers shown here of material are correctly shi was acquired with an openis plat has been calculated in one foot in 200,355 fee 40 acres. The equipment us herein was TopCon GTS		= 18"PINE	==6"CREPE MYRTLE ==11"MAGNOLIA ==B"OAK	LEGEND IPF IRON PIN FOUND IPS IRON PIN SET N/F NOW OR FORMER DB DEED BOOK PB PLAT BOOK PG PAGE R/W RIGHT OF WAY OTP OPEN TOP PIPE CTP CRIMP TOP PIPE SBL SET BACK LINE WATER METER IN FIRE HYDRANT SSE SANTARY SEWER CD UTELTY POLE SW SIDEWWALK CO CLEAN OUT SS SANTARY SEWER LPJ ADDRESS SAHT SANTARY SEWER LPJ SANTARY SEWER LPJ SANTARY SEWER LPJ SANTARY SEWER LPJ SANTARY SEWER SANTARY SEWER LPJ SANTARY SEWER SANTARY SEWER SANTARY SEWER SANTARY SEWER SANTARY SEWER SANTARY SEWER	BS SITE OF SIT	LOCATION MOT TO SCA
THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT		GEORG			4.4	SMH SANITARY SEWER E INVERT ELEVATION		
Final Plat Approval This subdivision plat has been reviewe and the City Engineer and found to b Ordinance, Conditions Of Zoning Appro	e in compliance with Zor	ission	MAL.		55,8	LILLY ST APPARENT 40	REET 'R/W	
Regulations and Subdivision Regulation been by all other affected City and C	is as amended, and that	it has			W 5'W	587'26'40"E 101.61"	PROPOSED WATER METER	
appropiate. The Mayor and City Counc subject to the provisions and requirer and the provisions and the requirement Performance and Maintenance Agreem development between the Owner and	nents of the City's regule nts of the Development ent executed for this			10PE STREET	98.223 E		S87726'40"E 78.25'	N LORI F
City Clerk-On Behalf of Mayor and Council	Date			S PER S		(3202)	56 [105] 57 TRACT 2 57 57 7,799 sq.ft. 92	ZONET
Chairman, Ptonning Commission	Date	SUBMITTED TO AND A	TAILS AND SEWER MAIN CONNECTION DETAILS SHA	NT PROPOSED	5 conc. 5 NO2'26'43	TRACT 1 10,034 eq.ft. 0.23 ecres 20NED R-1	7,799 sq.ft. 2017 cores 2000 R-1	DANIEL
City Engineer	Date	RIGHT-OF-WAY	TING THE SEWER SERVICE LINE WORK IN HOPE STR	CONNECTION IE 968.80		SW PROPOSED 6" PAC MINIMAN		54 SONED
			CONSTRUCTION SHOULD BE COMPLETED AND ACCE TO ISSUANCE OF A BUILDING PERMIT	ð	1200	N87'08'22"W 100.08"	78.09' N87'37'01"W) i'ore
STATE OF GEORGIA FULTON COUNTY				SMH 'OP 976.7	217.85 V 85.58	N/F Jon M SH DB 21456 ZONED R-	PG 300	N VICKIE DB 380 ZONED
The owner of the land shown on this thereto, and in person or through a this plat was made from an actual the use of the public forever all strappurtenances, potable water mains appurtenances, and other public facilities.	duly authorized agent, a survey, and dedicates by eets, easements, sanitary a and appurtenances, sto	cknowledges that this Declaration to the severs and trans trans thereon shown		€ 955.76	in ©	COUNTY, GA. CO	NSURANCE RATE MAP OF FULTO MMUNITY PANEL NO. 13121C025 IS NOT LOCATED IN A FLOOD DATED 9182013	ON 51F
Signature of Subdivides	Date Signed	_	<u>Owner's Ackowledgement</u> THE CITY OF HAPEVILLE ASSUMES NO RESPONSIBIL'	TY FOR OVERFLOW OR			TS 3 & 4 AS RECORDED IN PERIOR SECURITION 18—PC—12-	
Signature of Subdivider	rate ailinea	E S	erosion of Natural or artificial drains beyon Street right—of—way, or for the extension o	n the extent of the of culverts beyond the				
Printed or Typed Name of Subdivider		D D	POINT SHOWN ON THE APPROVED AND RECORDED F DOES NOT ASSUME RESPONSIBILITY FOR MAINTENAN PRAINAGE DITCHES IN DRAINAGE EASEMENTS BEYON	NCE OF PIPES AND ND THE CITY	' ' ' '	PERTY DIVISION SUR 3202 HOPE STREET	1740 Hudson Bridg	CIATES Je Rd
Signature of Owner Date Signed			RIGHT-OF-WAY. STRUCTURES OTHER THAN STORM ARE NOT PERMITTED IN DRAINAGE EASEMENTS.	UKAINAGE SIKUCIURES	P	PID# 140099004042	Stockbridge, GA.30	J281 \ \

Signature of Owner

Date Signed

Printed or Typed Name of Owner

LOCATION MAP (NOT TO SCALE)

LORI PAYTON DB 59203 PG 414 ZONED R-1

N/F DANIEL ADOLPHUS DB 9388 PG 113 ZONED R-1

N/F VICKIE JOHNSON DB 38053 PG 204 ZONED R-1

TEL (404)867-8332

bdainc@bellsouth.net

SCALE 1"=50"

DESTRICT 14 CITY HAPEVILLE REVISED 1-03-19

GARVA INVESTMENT

GRAPHIC SCALE (IN FERT)

100

WILLIAM SARCIA 3515 ZIP INDUSTRIAL HAPEVILLE, GA 30354 404-886-4857 DATE: 06-26-18 SCALE: AS NOTED & VICINITY MAP REVISIONS: PREPARED BY: DATE SHEET No. 105 LILLY STREET HAPEVILLE, GA 30354 ENGINEER LOCATION PLAN RLH Al ВГЛО COVER SHEET No. FOR INFORMATION CONTACT: SHEET TITLE: PROJECT LOCATION PORCH 275 SF TOTAL COVERAGE 3045 SF PARCEL AREA 7759 SF IF VISIBLE FROM ANY PARK OR ALDNG ANY PUBLIC RIGHT-OF-WAY MECHANICAL FEATURES SHALL BE SCREENED WITH PLANTING, WALLS OR FENCES OF EQUAL OR GREATER HEIGHT. VICINITY/CONCEPTUAL MAP TOTAL COVERAGE 39.0% BLDG 1667 SF DRIVEWAY 950 SF WALKWAYS 114 SF STAIRS 39 SF LOT COVERAGE MECHANICAL FEATURES PREFERRED LOCATION 62.66 NO2. 50.14..E ₩ NEW 2 STOREY SINGLE FAMILY RESIDENCE LOCATION PLAN PROPOSED SIDEWALK LILLY STREET PORCH N87° 37'01''W GARAGE 1/16" = 1'-0' 78.25 APPLICABLE CODES:
INTERNATIONAL BULDING CODE, 2012 EDITION, WITH GEDRGIA AMENDMENTS
INTERNATIONAL BULDING CODE, 2012 EDITION, WITH GEDRGIA AMENDMENTS
INTERNATIONAL MECHAGINGAL CODE, 2012 EDITION, WITH GEDRGIA AMENDMENTS
INTERNATIONAL PULL MABING CODE, 2012 EDITION, WITH GEDRGIA AMENDMENTS
INTERNATIONAL FUEL GAS CODE, 2012 EDITION, WITH GEDRGIA AMENDMENTS
INTERNATIONAL FUEL CODE, 2012 EDITION, WITH GEDRGIA AMENDMENTS
INTERNATIONAL FIRE CODE, 2012 EDITION, WITH GEDRGIA AMENDMENTS
A S87° 26'40"E 03°13'31"W 803°13'3™ .ΣZ.6⊅ φ LOCATION PLAN

PROPERTY CLASSIFICATION: R3-RESIDENTIAL (IBC)

HARDI PLANK SIDING, BRICK FRONT

DESIGNER:

SINGLE FAMILY CONSTRUCTION 3 BEDROOMS, 3 1/2 BATH

PROJECT DESCRIPTION:

HAPEVILLE, GA 30354 PROJECT ADDRESS: 105 LILLY STREET

LIVING AREA SECOND FLOOR 1068 SF

TOTAL LIVING AREA 1990 SF

CARAGE AREA 442 SF

BUILDING HEIGHT 32'-5" LOT AREA 7799 SF (0.18 AC) PARCEL D 14009900040421

LIVING AREA FIRST FLOOR 922 SF

ZONING: P1

NEW 2-STOREY SINGLE FAMILY RESIDENCE

PROJECT NAME:

A12 - LANDSCAPE PLAN PROPOSED

A1 - COVER SHEET, LOCATION PLAN 🕻 VICINITY MAP

COVER SHEET &

TABLE OF CONTENTS

AO - RENDERED VIEW

A5 - EXTERIOR FRONT & REAR ELEVATIONS A6 - EXTERIOR LEFT & RIGHT ELEVATIONS

A8 - DOOR & WINDOW SCHEDULE

A7 - ROOF FRAMING PLAN

A10 - NCTES & SPECIFICATIONS A11 - LANDSCAPE PLAN EXISTING

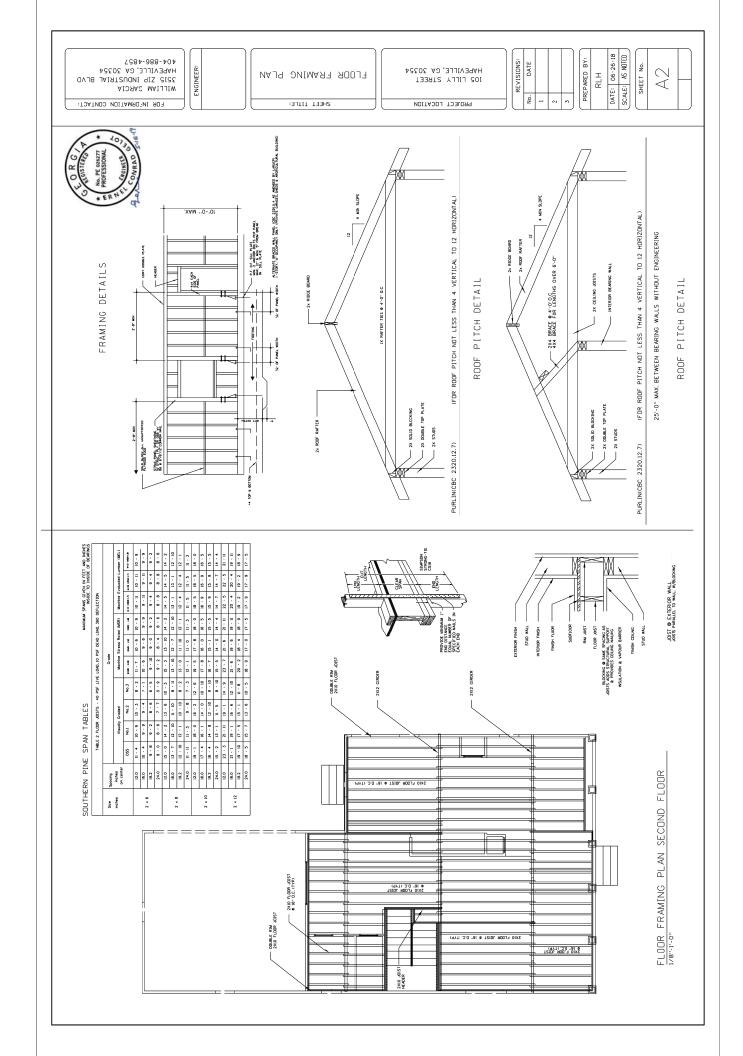
A9 - ROOF PLAN

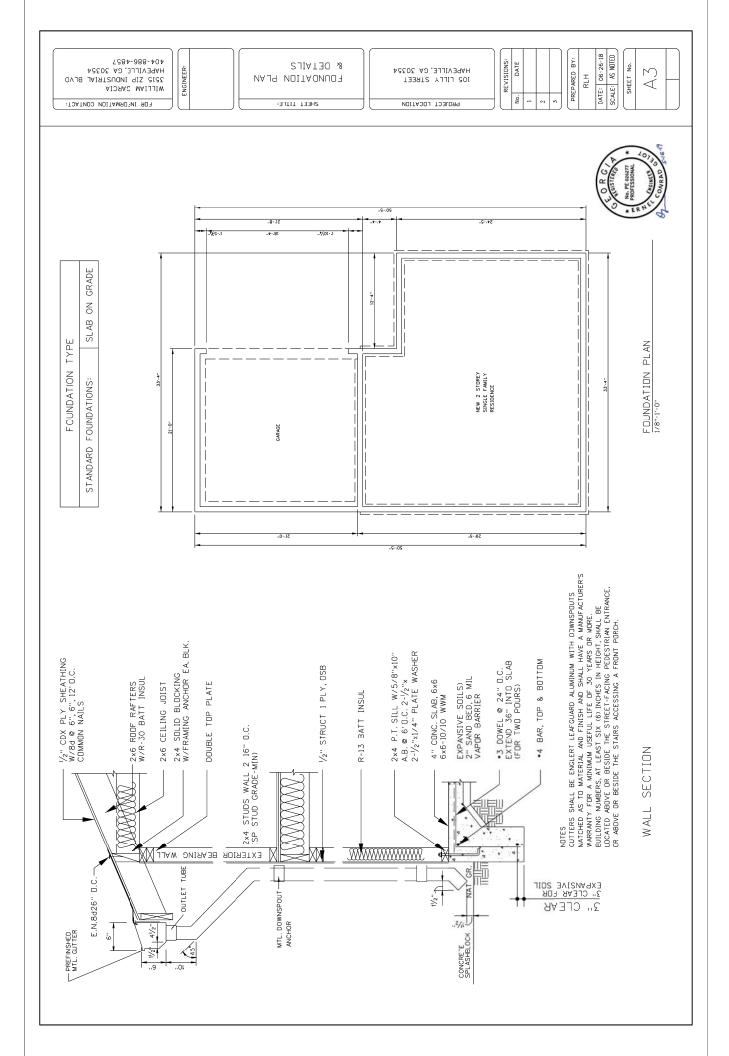
A4 - FIFST & SECOND FLOOR PLANS

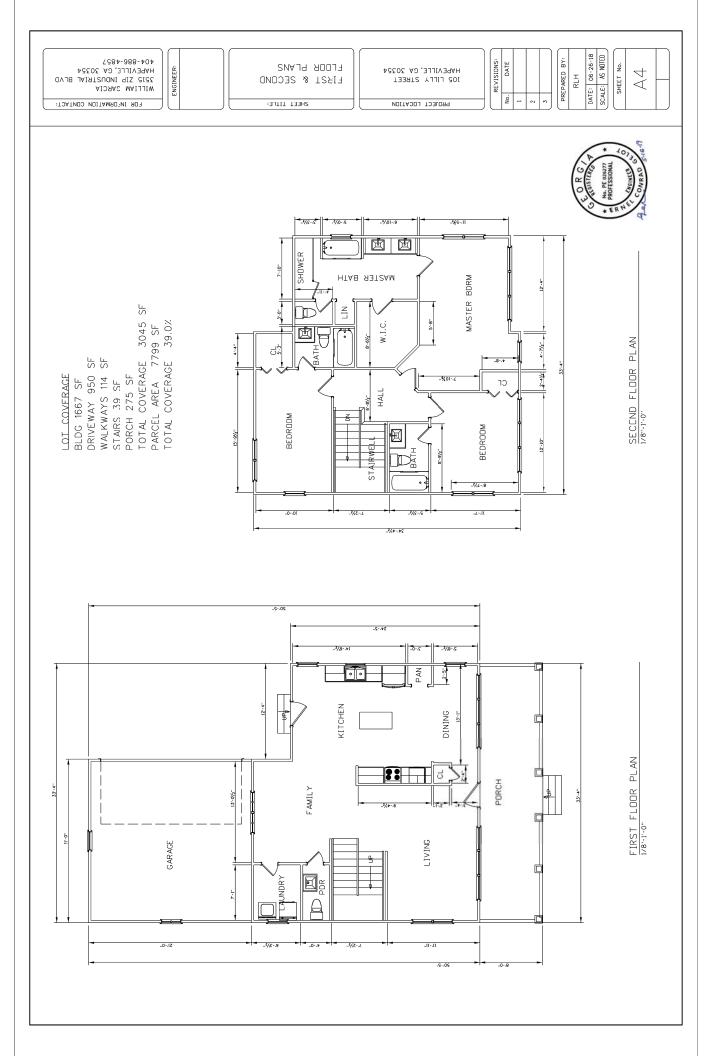
A3 - FOUNDATION PLAN & DETAILS

A2 - FLOOR FRAMING PLAN

2012 NFPA 101 LIFE SAFETY CODE WITH ALL GEORGIA STATE AMENDMENTS

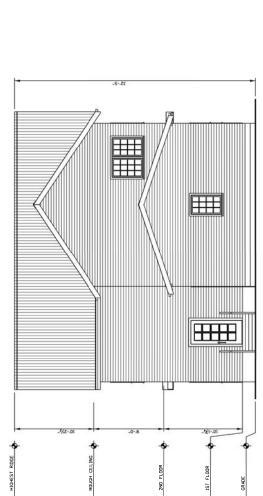








FRONT ELEVATION



REAR ELEVATION
1/8"+1"-0"

ELEVATIONS FRONT & REAR EXTERIOR

HAPEVILLE, GA 30354 105 LILLY STREET

PROJECT LOCATION

REVISIONS: No.

DATE: 06-26-18 SCALE: AS NOTED PREPARED BY: RLH

SHEET No.

A 5

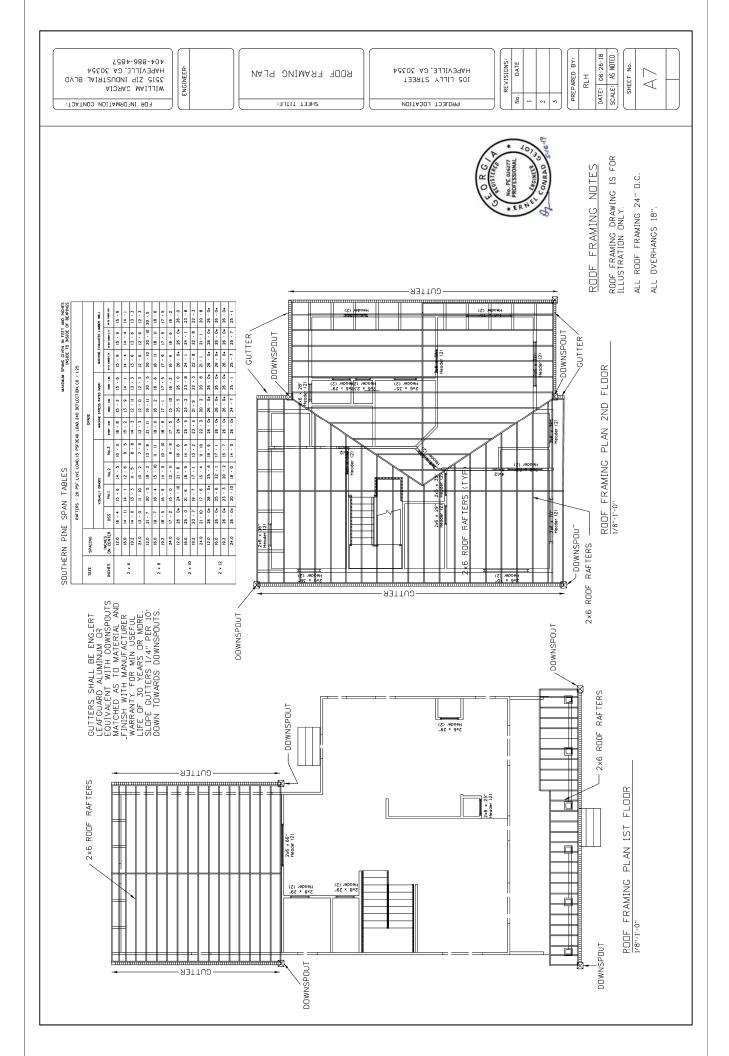
404-886-4857 ENGINEER: WILLIAM GARCIA 3515 ZIP INDUSTRIAL BLVD FOR INFORMATION CONTACT: SHEET TITLE:

NOTES
BULDING ROOF SHALL BE OF ASPHALT SHINGLES WITH A MINIMUM
BULDING ROOF SHALL BE OF ASPHALT SHINGLES WITH A MINIMUM
MANUFACTURER'S WARRANTY.

COMMON FEDERAL FF-N-105B (USE GALVANIZED AT EXTERIOR LOCATIONS) SIMPSON OR EQUAL (USE GALVANIZED AT EXTERIOR LOCATIONS) GRADE MARKED STRUCTURAL 1 PSC'S BY SIMPSON OR EQUAL SOUTHERN PINE STUD GRADE SOUTHERN PINE GRADE 2 GRADE 3 ANSI B18.6.1 / ASTM A502 SOUTHERN PINE GRADE DESCRIPTION SIMPSON OR EQUAL ANSI/ASME B18.2.1 SOUTHERN PINE POST BEAMS AND HEADERS ALL OTHER HORIZONTAL SHEATHING ALL OTHER VERTICAL ITEM JOIST HANGERS STRUCTURAL CONNECTORS STUDS: (2X4 LAG BOLTS PLYW00D: PLYCLIPS SCREWS NAILS

	06	80"		3	3	-		2×4	2x6	1.1	SLAB ON GRADE
CEILING HEIGHT	FIRST FLOOR	SECOND FLOOR	BEDS/BATHS	BEDROOMS:	FULL BATHROOMS:	HALF BATHROOMS:	EXTERIOR WALLS	STANDARD TYPE(S):	OPTIONAL TYPE(S):	FOUNDATION TYPE	STANDARD FOUNDATIONS:





DATE: 06-26-18 SCALE: AS NOTED ZS87-988-707 REVISIONS: DATE PREPARED BY: **SCHEDNLE** WILLIAM SARCIA 3515 ZIP INDUSTRIAL BLVD HAPEVILLE, GA 30354 SHEET No. HAPEVILLE, GA 30354 XX ENGINEER DOOR & WINDOW RLH 105 LILLY STREET No. FOR INFORMATION CONTACT: SHEET TITLE: PROJECT LOCATION WINDOWS OF WOOD FRAME STRUCTURES. STREET-FACING WINDOW UNITS SHALL NOT EXCEED TWENTY-EIGHT (28) SQUARE FEET WITH MINNAM HEIGHT OF THREE FEET, WITH THE EXCEPTION OF TRANSONS AND FAN LIGHTS. SILLS SHALL BE OF MASONRY, WOOD, STONE, CAST STONE, OR TERRA COTTA. WINDOWS SHALL BE PROVIDED FOR A MINIMUM OF THIRTY (30) PERCENT AND A MAXIMUM OF FIFTY (50) PERCENT OF THE TOTAL STREET-FACING FACADE OF THE PRINCIPAL BUILDING, WITH EACH FACADE AND STORY WINDOW TRIM SHALL NOT BE FLUSH WITH THE EXTERIOR FACADE AND SHALL PROVIDE A MINIMUM RELIEF OF ONE-QUARTER (1/4") INCH OR GREATER. WINDOW PANES SHALL BE RECESSED A MINIMUM OF THREE (3) INCHES AND A MAXIMUM OF EIGHT (8) INCHES FROM THE ADJACENT FACADE. ENERDNIING. WINDIWS AND DOOR GLASS SHALL UTILIZE CLEAR GLASS OR TINTED CLASS. TINTED GLASS SHALL HAVE A TRANSMITTANCE FACTOR OF FIFTY (50) PERCENT OR GREATER AND SHALL HAVE A VISIBLE LIGHT REFLECTANCE FACTOR OF TEN OR LESS. WINDOWS GROUPED TOGETHER SHALL HAVE CENTER MULLIONS TWD OR DOOR GLASS IS PROHIBITED. CALCULATED INDEPENDENTLY. WIDER THAN THE SIDE TRIM. į 90 PAINTED WINDOW SHOWER (8) HTA8 ĥ MASTER PROPOSED SECOND FLOOR W.I.C. ВАТН HEADER
HEADER
TO TO THE T · (3) HALL 2202226 12 220019 12 220019 12 220019 12 220019 12 220019 12 220019 12 220019 12 220019 12 220019 12 220019 12 220019 12 (8) BEDROOM BEDROOM MO2 ВАТН 212 00 90 N. KITCHEN 1 DINING (8) PROPOSED FIRST FLOOR ۵ <u>ق</u> 828 M2821 81505 M 15 CM PORCH FAMILY (8)

LIVING

-0 -0

(3)

PUR

LAUNDRY

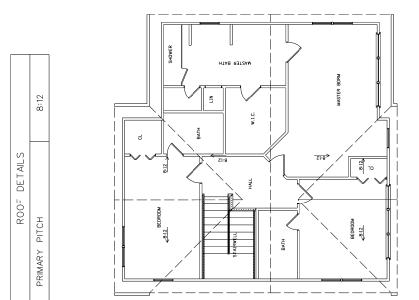
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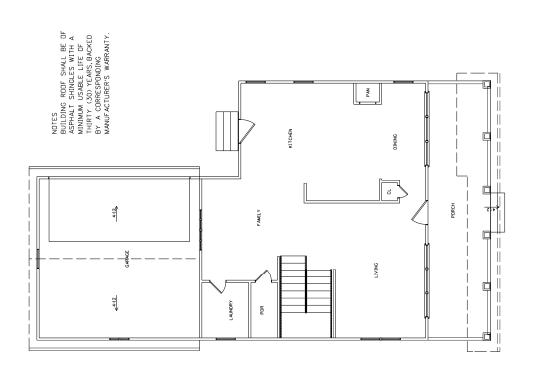
GARAGE

w com

80#



ROOF PLAN 2ND FL 1/8"-1'-0"



ROOF PLAN 1ST FL 1/8"-1'-0"

NOTES AND SPECIFICATIONS

PROJECT SUMMARY: THIS PROJECT IS TO CONSTRUCTZERECT A NEW SINGE FAMILY HOUS:

OCATION: 105 LILLY STREET, HAPEVILLE, GA 30354

COMEDAL UNIVER PERFORMET BY THE CONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF MUNICIPAL, LOCAL, OR FEDERAL, MO STATE LANS AS WITHER ROUTERING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DAWNINGS.

WHERE THE CONTRACT NOTES OR DRAWINGS CALL FOR ANY WORK OF A LOWER STRINGEN IN ANY EQUIDING CODE OF ANY OTHER DEPARTMENT HAVING URRISOITING DYER THE WINGS. THE WINGS. THE WINGS. THE WINGS THE WINGS

THE CONTRACTOR SHALL DBTAIN AND PAY FOR ALL LEGALLY REQUIRED APPROVALS AND PERMITS NECESSARY FOR THE EXECUTION AND COMPLETION OF HIS WORK, FORWARD COPIES OF EXECUTED PERMITS TO DWINER.

ALL DRAWINGS AND AL CONSTRUCTION NOTES ARE COMPLEMENTARY, AND WAYS AND ALL ANY TO SALLED OF BY ETHER WILL BE BROOMED AS I CALLIO THE BY ALL ANY WING SHOWN OR REFERRED TO DO ANY DOME SET PROMINIOS SHALL BE PROVIDED AS THOUGH SHOWN DN ALL RELATED PROMINIOS.

THE CONTRACTOR IS MHOLLY RESPONSIBLE FOR THE COORDINATION AND SCHEDULING OF THE WORK OF ALL SUBCONTRACTORS CRAFTSMENTRADESAEN REQUIRED TO COMPLETE THE JOB.

THE CONTRACTOR SHAL NOTIFY DWIVER IMMEDIATELY OF ANY OLSOFER-WANTERS. THESE NOTE: AND SPECIFICATION, AND FELLO CONDITIONS, AND REQUEST CLARFICATION SECORE COMMENCING ANY WORK. THE CONTRACTOR SHALL NOTIFY DWNER IMMEDIATELY IF HE CANNOT COMPLY WITH ALL REQUIREMENTS CALLED FOR DN THESE DRAWINGS.

CONTRACTOR SHALL OECK AND VERFY ALL DIMENSIDES AND CINDUTIONS AND STREAM OF THE THRACES OF ALLOWACE SHALL BE WADE FOR MY EVITAR EXPENSE THE EXTENSION OF THE OWN CONTRACTORS FALURE OF RECLIGENCE IN COMPLETELY EXAMINING THE GOSSILE.

COSTS DUE TO DEFECTIVE AND/OR ILL-TIMED WORK AS A RESULT OF, UNITED TO, INFERIOR WORKMANSHIP OR MATERIALS AND/OR IMPROPER SCHEDULING OR DELINQUENT ORDERING SHALL BE BIONNE BY CONTRACTOR.

DUMESTERS OR ANY BUSITE DISPOSAL EQUIPMENT MAY NOT BE LOCATED ON THE STREET.

THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS FROM HIS AND HIS SUBCONTRACTOR'S WORK AND DISPOSE OF THESE AT APPROPRIATE WASTE MANAGEMENT FACILITIES AT HIS COST.

THE CONTRACTOR SHALL EXERCISE STRICT DUST CONTAINMENT AND CONTRACT CONTRACT TO THE SHALL LEAVING THE JUBBITE DUST CONTRAIN TO THE PROPERTY OF THE PROPERTY OF

SHOULD THE CONTRACTOR DAMAGE ANY NEW OR EXISTING CONSTRUCTION, STRUCTURE, OR EQUIPMENT HE SHALL REPAIR OR REPLACE THESE AT HIS COST TO THE SATISFACTION OF AND AT NO COST TO THE OWNER.

THESE DRAWINGS, NDTES, AND SPECIFICATIONS CONVEY THE DESIGN INTENT. THE CONTRACTOR SMALL USE THE HIGHEST POSSIBLE QUALLIT OF WORKMANSHIP, NEW MATERIAL, AND EQUIPMENT IN PERFORMING THE NORK. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR HIS MORK AND THE PREMISES UNTIL COMPLETION OF CONTRACTED WORK.

THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION PLANS DN SITE FOR USE OF ALL HIS SUBCONTRACTIONS AN TRADESMEN AND SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK,

THE CONTRACTOR SHAL CODPERATE WITH THE DWARR IN SCHEDULING AND RESOLVING SCHEDULE AND OTHER CONFLICTS WITH OTHER CONTRACTORS HIRE OF THE OWNER TO PERFORM OTHER WORK AT THE SITE.

DODR HANDLES, PULLS, LATONES, LOCKS AND DTHER OPERATING DEVICES SHALL BEE INSTITUTED AS INCHES MAINIMAN AND HENCES MAXIMAM ABDIE THE FINISHED FLODE. LOCKS USED DALY FOR SECURITY PRIPADES. AND NOT USED FOR NORMAL OPERATION ARE PERMITTED AT ANY HELOHT,

OURING CONSTRUCTION, CONTRACTOR SHALL PROVIDE NOT LESS THAN DNE POPTABLE FIRE EXTINGUISHER RATED AT LEAST 2-A AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.

LIGHT AND CONTROL SWITCHES SHALL BE MOUNTED NOT MORE THAN 4:-O"ABOVE THE FLODR OR WORKING PLATFORM.

DODR CLOSERS AND STOPS SHALL NOT REDUCE HEADROOM TO LESS THAN 78 INCHES.

INTERIOR WALL AND CEILING FINISHES CLASSIFIED IN ACCORDANCE WITH ASSIME IN ACCORDANCE WITH ASSIME IN ACCORDANCE WITH ASSIME SHE SHE SHE SHE WITH ASSIME SHE SHE WITH ASSIME SHE SHE WITH ASSIME SHE SHE WITH SHE SHE SHE SHE

THE CONTRACTOR SHALL AS MEDED ADJUST OR REFURBISH EXISTING MAMPH.RACURDO TERMS OF DESCRIPTIONS SUCH AS EXIT SIGNS ALARAS, FIRE EXTINGUISHER CASES, SPEWERS, MICLOINGS AND DOOR "MEDWARE.

CONTRACTOR SHALL ACOUJRE INSURANCE AND BONDING AS DIRECTED TO THE SATISFACTION OF THE OWNER AND PROVIDE PROOF OF SUCH TO THE OWNER.

THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, ELECTRICAL REGUIRIMENTS OF CHARACTERISTICS OF ALL WIRK AND/ONE COLUMENT SUPPLIED EY THE DWNER OR DIHERS PRIOR TO THE START OF RELATED WORK WITH THE MANUFACTURER OR SUPPLIER.

ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR.

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR. FURNACE FIREBOX SHALL HAVE DUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES. ALL FRAMING LUMBER SHALL BE SOUTHERN PINE GRADE 2 OR BETTER UNLESS NOTED OTHERWISE.

GYPSUM BOARD THICKNESS AND APPLICATION SHALL CONFORM TO IRC TABLE 702.3.5

THE DWNER MAY DROCK EXTRA WORK WITHOUT INVALIDATING THE CONTRACT PHE CONTRACTOR SHALL BE PAID SYTRA FIDS SOLW HIDRA A INGOITHINED PHEES AND AGREED JPUN EXTRA TIME TO COMPLETE IF NECESSARY. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL DELIVERY TO SITE AND AND DOUBLENT RECESSARY FOR AND OF TO BE INCORPORATED INTO THE WORK. TIME IS OF THE ESSENCE IN THE CONTRACT AND CONTRACTOR SHALL SUBMIT A DETAILED SCHEDULI OF WORK THROUGH COMPLETION. XXCEPT WHERE OTHERWISE INDICATED, DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH.

ATTIC ACCESS SAUL BE SOWILL BE 30° HIN CLEARACE AT DR A MINIMAD DF 22° Y 56° THERE SAUL BE 30° HIN CLEARACE AT DR AGGISTIC CATTION THAT A CORRIDOR, MALIWAY DR DTHER READLY THAN 30° WILL NOT REQUIRE ACCESS OPENINGS. MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF YEAR AFTER SUBSTANTIAL COMPLETION OF WORK. IN SOUND RATED RODMS, ALL WALL AND FLOOR PENETRATIONS FOR PIPES, CONCEALED OF RECESSED FIXURES SHALL BE COVERED WITH AN ACOUSTICAL SECARANT AND CONCEALED OR RECESSED FIXURES SHALL BE COVERED OR BACKTO WITH A SOUND ATTENATION B.AMRET.

C SHALL HAVE VENTILATION EQUAL TO 1 SQUARE FOOT PER 150 SO.
OF ATTIC SPACE, VENTILATION SHALL BE PROTECTED FROM SHOW ME SHALL BE COVERED WITH GALVANIZED WIRE SCREEN. OPENINGS L BE LOCATED TO PROVIDE CROSS VENTILATION. THE CONTRACTOR SHALL PROVIDE BLOCKING, BACKING, FRAMING HANGERS, OR THER SUPPORTS TER ALL FIXTURES, EQUIPMENT, CABINETRY, FURNISHINGS, ALL OTHER TIENS AS RECUIRED.

UNGER FLODR SPACES SHALL HAVE VENTILATION EQUAL TO DNE SO, FOOT PER 130 SO, FEET AND OF LODR SPACE, VENTS SHALL BE CAST INTO THE COMORTES STEW WALLS AND CONCERD WITH CANALIZED WIRE SCREEN, VENTS SHALL BE LOCATED TO PROVIDE CHOSEN VENTS SHALL BE LOCATED.

RAILING NOTES: STARWATS SHALL HAVE A MIN. WIDTH OF 34". HAND RAILS MAY ENCEDACH STARWATS "FINTO THE REQUIRED WIDTH. TREADS SHALL HAVE A MIN. WIDTH OF 9". STAIR TREADS MUST BE UNIFORM AND, CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN SVAN.

THE CONTRACTOR SHALL VERFY REQUIRED LOCATION OF ALL NECESSARY MOCESS PHACELS OF PARTITIONS, FLOORS, OR CELLINOS AND CLOROWARTE EXACT LOCATIONS WITH OWNER BEFORE INSTALLATION.

CONTRACTOR SHALL ENSURE THAT INSTALLATION METHODS CONFORM TO ALL APPLICABLE BUILDING CODES.

DODR DPENINGS IN GYPSUM BDARD PARTITIONS NOT DIMENSIONED ARE OCATED IN CENTER OF ROOM OR WITHIN 4" OF ADJOINING PARTITION.

LL ITEMS ARE NEW UNLESS NOTED OTHERWISE.

CONTRACTOR SHALL SECURE THE BUILDING AT THE CLOSE OF WORK EACH DAY

BY ENTERING INTO AN AGREMENT WITH THE DWAFE, THE CONTRACTOR PEPPEEGNTS THAT HE HAS VISITED THE 40B SITE, FAMILLARIZED HIMSELF WITH EXISTING CONDITIONS AND NOTED ANY DISCREPANCIES WITH THE CONTRACT PRANINGS AND DITHER DOCUMENTS.

CONTRACTOR SHALL SWEEP FLOOR AREA IN ADVANCE OF FLOOR OR WINDOW COUVENING OR CABINET INSTALLATION EVEN IF THESE ARE TO BE DONE BY THERS

STAIRWAYS SHALL HAVE MIN.6-8" OF HEADROOM AT THE NOSE OF THE STAIR.

ENCLOSED USABLE SPACE UNDER INTERIOR STARS SHALL BE PROTECTED DN HENCLOSED FACE WITH "TYPE" Y" FIRE-RESISTANCE RATED GYPSJUW WALL BOARD.

STATRWAYS SHALL HAVE AT LEAST DNE HANDRAIL LOCATED 34" TO 38".
ABOUT THE WOSNIG OT TREADS AND LANDINGS. THE HAND GRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1:1/2" DR GREATER THAN 2". IN CROSS-SECTIONAL DIMENSION. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS.THE PENDS OFFHWARALLS STALL RETURN TO WALL OR TERMINATE INTO A NEWEL PESTOR SAFETY TERMINAL.

34" MIN HEIGHT GUAGORALIS SHALL BE PROVIDED FOR ALL PORCHES, DECKS, SPRABALOMIES, STARMAY AND LANDINGS WHERE THE ADJACENT SURFACE IS SPRAFIET THAN 24" BELOW. STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HAND RAIL.

HE CONTRACTOR SHALL DEFEND AND HOLD HARMLESS THE ENGINEER, THE WINNER AND OWNERS, AGENTS AND RESPESSINTINGS FROM ANY LEGAL ACTION REWLING FROM HER CONTRACTORS CONDUCT OF THE WIRK.

THE CONTRACTOR SHALL CLEAN THE WORK AND PREMISES PRIOR TO ACCEPTANCE BY DANGER.

CONTRACTOR SHALL BRING ANY DISCREPANCIES TO THE DWNER'S ATTENTION PROPERLY OF PRESCUENCE AND MAY SUBMIT PROPOSAL FOR RESCUENCE ALONG WITH ANY AND AND ADDITIONAL COST OR COST REDUCTION DETAILS IF APPLICABLE.

CONTRACTOR SHALL SUBMIT SAMPLES OF EXTERIOR AND INTERIOR MATERIALS INCLUDING DOOR HARDWARE AND FINISHES TO THE DWINER FOR APPROVAL PRIOR IN STALLATION.

PARTITIONS SHOWN ALIGNED WITH EXISTING BASE BULLDING ELEMENTS SHALL BE INSTALLED FLUSH AND SMOOTH WITH BASE BULLDING ELEMENTS.

CONTRACTOR SHALL REPAIR, REPLACE OR MODIFY ANY FIXTURE, STRUCTURE, WALL, CELLING COURPACH, TLOUGR OR FINISH THAT REQUIRES TEMPORARY OSSAMILING, TEMPORARY REMOVAL, OR ALTERATION IN DROSE TO ACODAMIQATE FIE MR CONSTRUCTION.

ACCESSIBILITY __SAFETY
CONTRACTOR SHALL PROVIDE ANY AND ALL LIFE SAFETY EQUIPMENT AS
CONTRACTORIED BY LDCAL AND STAFE CODES.

CONTRACTOR SHALL DBTAIN ALL REQUIRED PERMITS INCLUDING MECHANICAL, ELECTRICAL, AND PLUMBING WORK AS NECESSARY. THE CONTRACTOR SHALL CURNISH AND INSTALL ALL PARTITIONS INDICATED ON THE DRAWINGS.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NUT GREATER THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

SPECIFICATIONS NOTES &

SHEET TITLE:

105 LILLY STREET HAPEVILLE, GA 30354

PROJECT LOCATION

REVISIONS:	DATE			
	No.	1	2	5

PREPARED BY: RLH

DATE: 06-26-18

SCALE: AS NOTED

SHEET No.

A10

ANDINGSCAPING NOTES

n n n n

HYDRANGEA PANICULATA SENUS: HYDRANGEA

SPECIES: PANICULATA ZONE: 4-9

BLOOMS: MID SUMMER - EARLY FALL

WILLIAM SARCIA 3515 ZIP INDUSTRIAL HAPEVILLE, GA 30354 404-886-4857

FOR INFORMATION CONTACT:

PLANT HEIGHT: 6 FT - 7 FT PLANT WIDTH: 4 FT - 5 FT HERRICS IN SECULAR SON TO PARE TOWNING THE CRIME TO ARRITON THE ACE SOURCES A LOT UNDER WATER IN THE ERROR TO ESTABLISH HE ROLD SYSTEM ACE AND WHITE IN THE ERROR SYSTEM ACE AND THE ACE A

FNGINFFR

FOLLOW THIS MAINTENANCE SCHEDULE FOR A FEW SEASONS AT A MINIMUM, OR LONGER IF STRESSFUL CONDITIONS, SUCH AS DROUGHT OCCUR.

PRUME IN LATE WINTER TO KEEP THE PLANTS FROM BECOUNING DIVERGROWN AND ENCOURAGE WERE KIW GROWTH, MADE FLOWER BODS, AND LAKERS BLOUGH SEAUNCE SALONES, AS SIDNA STHEVE BECOME UNATTRACTIVE AND CLEM UP THE DYERAL, SHAPE OF THE PRANT.

EASTERN REDBUD GENUS: CERCIS

SPECIES: CANADENSIS

6-4:3ND2

BLDDMS: EARLY SPRING - LATE SPRING PLANT HEIGHT: 15 FT - 25 FT

BEST PLANTED IN EARLY SPRING IN A MOISTURE-RETENTING, WELL-GRANKED SOIL, DIG A HOLE IN AN IN A 15 AT LEEF THEET INDEED. AS NOTE STORE THE PREMODE DRU. IS EVEN WITH THE GODDON WHAN YOU PLACE. THE FIRE IN THE WALE DOOR PLACED IN THE GODDON, OF READ FOR THE MED THE CASE ON THE GODDON, OF READ FOR THE PLANTER PLANTER PLANTER PLANTER PLANTER. PLANT WIDTH: 15 FT - 25 FT

TO RETAIN MOISTURE, PLACE ABOUT 3 INCHES OF MULCH ARROWD THE TREE DUT NOT THE ORIGINATION OF TRANS, MALCH ARROWD THE TREE DUT NOT TRANS, THOUSE, MALCH ARROWD THE TREE DUT NOT THOUSE, MALCH ARROWD THE TREE DUT NOT THE SHAPE IN TO REMOVE DEAD BRANCES.

KEEP THE SOIL MOIST BUT NOT SATURATED, WHILE THE TREE IS ESTABLISHING, WATER WITH A DRIP SYSTEM IF POSSIBLE, IF PLANTED IN FULL SUN, WATER REGULARLY. PRUNE RIGHT AFTER FLOWERING OR IN LATE FALL WHILE THE TREE IS DORMAN

Ouring the warner wonths, provide deep watering (to a depth of 10° to 120 12°) about third were cornen path of summers to establish strong roots, water in the Kery wordens, so tellage has time to ory. If a late frost is predicted, cover the prants to protect them.

WORK AN ALL-PURPOSS SLOW-RELEASE FERTILIZER OR RICH COMPOST INTO THE SOIL AROUND THE TREE AT THE BEGINNING OF EVERY SEASON. SUGGEST FOREST PANSY JAPPALACHIAN RED VARIETY

GRADING WILL BE PRIJUARILY FOR LEVELING BEFORE CONCRETE POURNE FOR BUILDING, OPPORTER, AND STREET RANGE FOR BUILDING, OR MACH. AS PRACTICULAL MANTANNO DEFORMAT. AND THE POWER POUR STREET STRE

CONCRETE NOTES

. ALL BACKFILL AND SOIL BELOW SLABS AND FOOTINGS MUST BE COMPACTED TO 2000 PSF MIN

2. FOUNDATION CONTRACTOR IS TO PROVIDE 1/2" x 10" ANCHOR BOLTS AT 72" OL. AND 12" FROM CORNERS AT ALL PERIMETER FOUNDATION WALLS AND ALL BEARING WALLS 3. CONTRACTOR RESPONSIBLE FOR ALL REINFORCEMENT IN CONCRETE WALLS AND BELON SLAB WHERE REQUIRED, ALL REINFORCEMENT IS TO MEET LOCAL CASS AND MAY REQUIRE INSPECTION BY BUILDING DEPARTMENT OFFICIALS. 4. ALL CONCRETE TO BE 3000 PSICOMPRESSIVE STRENGTH WITH 4" MAX SLUMP

No. PE 026277 PROFESSIONAL SHOINEES

CONRAD

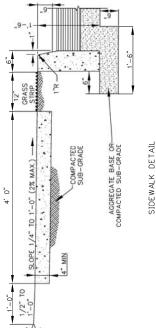
DATE: 06-26-18 SCALE: AS NOTED REVISIONS: VECETATION & CRADE PREPARED BY: SHEET No. 105 LILLY STREET HAPEVILLE, GA 30354 All RLH PROJECT LOCATION SHEET TITLE:

ENGINEER:

FOR INFORMATION CONTACT:

WILLIAM SARCIA 3515 ZIP INDUSTRIAL BLVD HAPEVILLE, GA 30354 404-888-4857

SIDEWALK SHALL BE SCRIBED WITH TRANSVERSE CONTROL JOINTS IN SQUARES EQUAL TO SIDEWALK WIDTH BUT NOT TO EXCEED 10 FEET. CONCRETE SHALL BE TYPE """. 3,000 P.S.I. MIN. STRENGTH. EXPANSION JOINTS SHALL EXTEND ACROSS THE FULL WIDTH OF THE SIDEWALK. CONTROL JOINTS SHALL BE LOCATED ON EACH SIDE OF A PRONG NAND NOT MORE THAN 100 FEET APART. PREFORMED BITUMINOUS MATERIAL SHALL BE PLACED BETWEEN ALL FIXED OBJECTS AND THE NEW CONCRETE SIDEWALK.



NOT TO SCALE

NO3° 20'14"E 99.79" 78.25' N87°37'10"W 78.09" BOUNDARY LINE S87° 26'40"E BOUNDARY J M...I2.2I..0S W"24'85°50S

LILLY STREET

(m) \bigcirc CONTOURS EXISTING SITE & 1/16" - 1'-0"

EXISTING 11" MAGNOLIA TO REMAIN

OAK TO REMAIN

