



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: August 14, 2019
TO: Tonya Hutson
FROM: Lynn Patterson
RE: **Design Review – 644 Coleman Street**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Janice M. White to construct a new two-story four bed, three bath single-family dwelling at 644 Coleman Street. The property is currently vacant. The dwelling will have 1,944 SF of heated floor area and will provide off-street parking via a 15' wide driveway along the west side of the house.

The property is zoned R-SF - Residential Single-Family and is subject to the Neighborhood Conservation Area of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) Site development standards

- ✓ Except where indicated, setbacks shall be established by zoning.
- ⊘ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ⊘ Minimum building heights shall be established by zoning.

- Within subareas D and E maximum building heights shall be as established by zoning, except that:
 - Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.
 - Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.
 - Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.
 - Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.
- ✓ Outside of subareas D and E maximum building heights shall be as established by zoning.
- ✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.
- 👤 Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
 - 👤 Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.
 - Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.
 - The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

STAFF COMMENT:

- **The applicant should ensure the new sidewalk includes a landscape zone that conforms with the existing sidewalks on either side of the property.**

(b) Supplemental Area and Fence Standards

- ✗ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.
- Chain link fencing is not permitted in areas visible from a public right-of-way.
- On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
- Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- All street-facing walls shall be faced with stone, brick, or smooth stucco.
- Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

STAFF COMMENT:

- **A minimum of one tree is required every 50' of supplemental area frontage. The property fronts along Coleman for 66.8'. The plans indicate one tree is to be planted. A second tree will be required, spaced so that there is no greater than 50' between the trees.**

(c) Utility Standards

- 👤 Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.

- ⊖ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- ⊖ Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
- ✗ All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- ⊖ Trees shall not be planted directly above storm drains.

STAFF COMMENT:

- **The applicant should show mechanical utility features on the plans and indicate any screening.**
- **A light at the front door should be included and shown on the plans.**

(d) *Parking and Traffic Standards*

- ✓ One-family detached dwellings and two-family dwellings shall meet the following requirements:
 - ✓ Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.
Circular drives are permitted.
A grass strip in the middle of driveways is encouraged.
- ⊖ All other buildings shall meet the following requirements:
 - Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
 - Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
 - Two curb cuts serving two one-way driveways shall be counted as one curb cut.
 - Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
 - New public streets shall not count as curb cuts.
 - Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ⊖ Carports are only permitted subject to the following requirements:
 - Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
 - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
 - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- ✓ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.
- ⊖ Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT:

(e) *Roof and Chimney Standards*

- ✎ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.

- ☞ Roof shingles shall be slate, cedar, or asphalt.
- ⊖ Roof tiles shall be clay, terra cotta or concrete.
- ⊖ Metal roofs are:
 - Allowed on one-family and two-family detached dwellings;
 - Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- ☞ Gutters shall be copper, aluminum or galvanized steel.
- ☞ Downspouts shall match gutters in material and finish.
- ✗ Roof forms shall be based on architectural style.
- ✓ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊖ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊖ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊖ Chimneys on exterior building walls shall begin at grade.
- ⊖ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

- STAFF COMMENT:**
- The applicant should indicate the roofing material and minimum usable life on the plans.
 - The applicant should specify the distance the roof overhangs the facades of the house, ensuring it is at least 12".
 - The applicant should describe the material of the gutters and downspouts.
 - The roof form does not match any historical architectural style (see subsection (h)).

(f) Street Facing Facade and Style Standards.

- ✓ Exterior facade materials shall be limited to:
 - Full-depth brick;
 - Natural or cast stone;
- ✓ Smooth natural-wood siding and/or cement-based siding;
 - Shake siding;
 - Painted fish-scale style shingles, but only when used in front gables;
 - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ✓ Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;
 - Liquid vinyl;
 - T-1-11 siding;
 - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.

- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✗ Blank, windowless walls are prohibited along all facades. See subsection *81-1-7(g)11*.
- ✓ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ✓ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- ✗ Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✗ Porch and stoop foundations shall be enclosed.
- ✓ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊖ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- 👉 Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊖ Stoops shall provide a minimum top landing of four feet by four feet.
- ⊖ Stoop stairs and landings shall be of similar width.
- ⊖ Stoops may be covered or uncovered.
- ✓ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ✓ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊖ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ✓ Enfronting porches may have multistory verandas, living space, or balconies above.
- ✗ Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- ⊖ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊖ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊖ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Balconies may be covered or uncovered.

- STAFF COMMENT:**
- Blank, windowless walls are prohibited along all facades. The first floors of both side elevations are windowless, which is not compliant.
 - The top member of the porch railings must be 2x6 wood. Use of a 5/4 board rail cap is not permitted.
 - The porch foundation must be enclosed.
 - The porch and finished first floor must be between 2' and 4' above grade. The applicant should provide the height of the porch and first floor on the plans.
 - Porch columns must be spaced no more than 8' on center. The porch columns are spaced 15' – 2 ½" at their widest point, which is not compliant.

(g) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✓ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ✗ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊖ Doors that operate as sliders are prohibited along enfronting facades.
- 👉 Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- 👉 Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- 👉 Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ⊖ Where used, window shutters shall match one-half the width of the window opening.
- ⊖ Painted window or door glass is prohibited.
- ⊖ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- ✓ Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ✓ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- 👉 Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- 👉 Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

STAFF COMMENT:

- **Building numbers at least 6" in height on the porch or adjacent to the front door should be included and shown on the plans.**
- **The applicant should ensure no GBGs will be utilized.**
- **Windows must comply with all requirements of Sec. 81-1-7(g) - Door and window standards. The elevations should be revised to demonstrate compliance and the plans should provide the following information:**
 - **Window pane recession from adjacent facades**
 - **Trim width, depth, and material**
 - **The width of mullions between grouped windows**
 - **Window sill materials**

(h) Detached one-family dwellings/ two-family dwellings. In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

-  **First Stories.** First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
-  **Window Sills.** Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
-  **Wheelchair access.** Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.
-  **Architectural style.** Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

New homes in the neighborhood conservation area should be designed to reflect the principal traditional styles found in the community. These include national folk, Queen Anne, ranch, Tudor revival, craftsman, and minimal traditional styles.

These styles, however, do not reflect the only styles historically found in Hapeville, which also includes a few occurrences of neocolonial revival. Where an applicant desires to utilize a style historically found in Hapeville, but not reflected in the six principal styles identified in subsections (4)a. through (4)e., they shall provide the Design Review Committee with photo documentation of the relevant style in Hapeville, a description of the key features of such style, and written justification of such style's appropriateness for the community.

STAFF COMMENT:

- **The applicant should provide the height of the first story windowsills above the finished first floor, ensuring they are between 2.5' and 3.5' high.**
- **The design does not conform to any of the traditional architectural styles found in Hapeville. The applicant will need to demonstrate the appropriateness of the design for the community and comply with any style changes requested by the Committee.**

-  **Outbuildings.** In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods.
The following standards shall apply to construction of new outbuildings in residential districts.
i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.

- ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
- iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
- iv. Outbuildings shall be of compatible material and architectural style to the principal building.
- v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
- vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

STAFF COMMENT:

RECOMMENDATIONS

The proposed design does not reflect any of the traditional styles found in Hapeville. The Applicant will need to provide a justification of the design's appropriateness for the community along with photo documentation of similar designs in the city.

In addition, the following items have been found to be missing or deficient and should be addressed prior to formalizing a recommendation:

1. The applicant should ensure the new sidewalk includes a landscape zone that conforms with the existing sidewalks on either side of the property.
2. A minimum of one tree is required every 50' of supplemental area frontage. The property fronts along Coleman for 66.8'. The plans indicate one tree is to be planted. A second tree will be required, spaced so that there is no greater than 50' between the trees.
3. The applicant should show mechanical utility features on the plans and indicate any screening.
4. A light at the front door should be included and shown on the plans.
5. The applicant should indicate the roofing material and minimum usable life on the plans.
6. The applicant should specify the distance the roof overhangs the facades of the house, ensuring it is at least 12".
7. The applicant should describe the material of the gutters and downspouts.
8. The roof form does not match any historical architectural style (see subsection (h)).
9. Blank, windowless walls are prohibited along all facades. The first floors of both side elevations are windowless, which is not compliant.
10. The top member of the porch railings must be 2x6 wood. Use of a 5/4 board rail cap is not permitted.
11. The porch foundation must be enclosed.
12. The porch and finished first floor must be between 2' and 4' above grade. The applicant should provide the height of the porch and first floor on the plans.
13. Porch columns must be spaced no more than 8' on center. The porch columns are spaced 15' – 2 ½" at their widest point, which is not compliant.
14. Building numbers at least 6" in height on the porch or adjacent to the front door should be included and shown on the plans.
15. The applicant should ensure no GBGs will be utilized.
16. Windows must comply with all requirements of Sec. 81-1-7(g) - *Door and window standards*. The elevations should be revised to demonstrate compliance and the plans should provide the following information:
 - a. Window pane recession from adjacent facades
 - b. Trim width, depth, and material
 - c. The width of mullions between grouped windows
 - d. Window sill materials
17. The applicant should provide the height of the first story windowsills above the finished first floor, ensuring they are between 2.5' and 3.5' high.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: JUNE 11, 2019

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: JANICE M WHITE Contact Number: [REDACTED]
Applicants Address: 1854 VIRGINIA AVENUE STE 2, COLLEGE PK, GA 30737
E-Mail Address: [REDACTED] Zoning Classification: R-3
Address of Proposed Work: 644 Coleman Street
Parcel ID# (INFORMATION MUST BE PROVIDED): 14-009900031503
Property Owner: GUSTAVO PERDIGON Contact Number: [REDACTED]
Project Description (including occupancy type): NEW CONSTRUCTION OF
A SINGLE-FAMILY HOME - 4 BEDROOMS 3 BATHS
1 Kitchen DINING ROOM; Living Room
2 Decks in the rear 1 1/2 GARAGE
MOG IMPROVEMENT
Contractors Name: VICTOR APONTE Contact Number: [REDACTED]
Contact Person: GUSTAVO PERDIGON Contact Number: [REDACTED]

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Janice M White
Applicants Signature

6/10/2019 (2019)
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☐ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☒ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: 2,328

Total Square Footage of existing building: VACANT Lot

Estimated Cost of Construction: \$110,000

List/Describe Building Materials on the exterior of the **existing** structure: _____

Existing Vacant Lot

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

GREEN HARDIE plank siding

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I JANICE M WHITE swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

- ☒ Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST
- ☒ Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
- ☒ Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
- ☒ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
- ☒ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
- ☒ Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
- ☒ Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

JANICE M WHITE

Printed Name

Signature

Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

EROSION CONTROL NOTES:

1. PRIOR TO ANY LAND DISTURBANCE, CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE EROSION CONTROL DEPARTMENT
2. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO CONSTRUCTION.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL MEASURES BEYOND THE APPROVED PLAN SHALL BE IMPLEMENTED AS NECESSARY.
4. DISTURBED AREAS LEFT IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION; DISTURBED AREAS IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN , AND REPAIRED AS NECESSARY.
6. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INTALLED, IF DETERMINED NECESSARY BY ON SITE INSPECTION.
7. SILT FENCE SHALL BY "TYPE C" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED.
8. DOUBLE ROW OF SDI-C REQUIRED, IF DISTURBED AREA IS WITHIN 200 FEET OF STATE WATERS.
9. NO GRADED SLOPE SHALL EXCEED 2H:1V

FLOOD STATEMENT

NO PORTION OF THIS PROPERTY IS LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY "F.I.A. OFFICIAL FLOOD HAZARD MAP PANEL # 13121C0366F DATE 9/18/2013
NO WATER OF STATE EXIST. WITHIN 200 FEET OF PROJECT SITE
INSTRUMENT USED:
NIKON DTM-520 TOTAL STATION
REFERENCE USE: PLAT: 287 PAGE: 31

REQUIREMENTS FOR REPLACING AN EXISTING WALKWAY AND STAIRS IN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES;

1. REMOVE EXISTING PAVING USING HAND MACHINERY I.e. JACK HAMMER;
2. NO CUT OR FILL OF EARTH ALLOWED WITHIN THE CRZ;
3. LEVEL USING OPEN GRADE AGGREGATE SUCH AS 57 STONE;
4. LAY 6 MIL PLASTIC SHEET WITHIN THE CRZ BEFORE POURING CONCRETE;
5. DO NOT REMOVE CONCRETE UNTILL IT TO BE REPLACED
6. DO NOT DRIVE OR USE MACHINERY ON THE EXPOSED ROOTS OF THE CRZ.

"THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES".

"EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE."

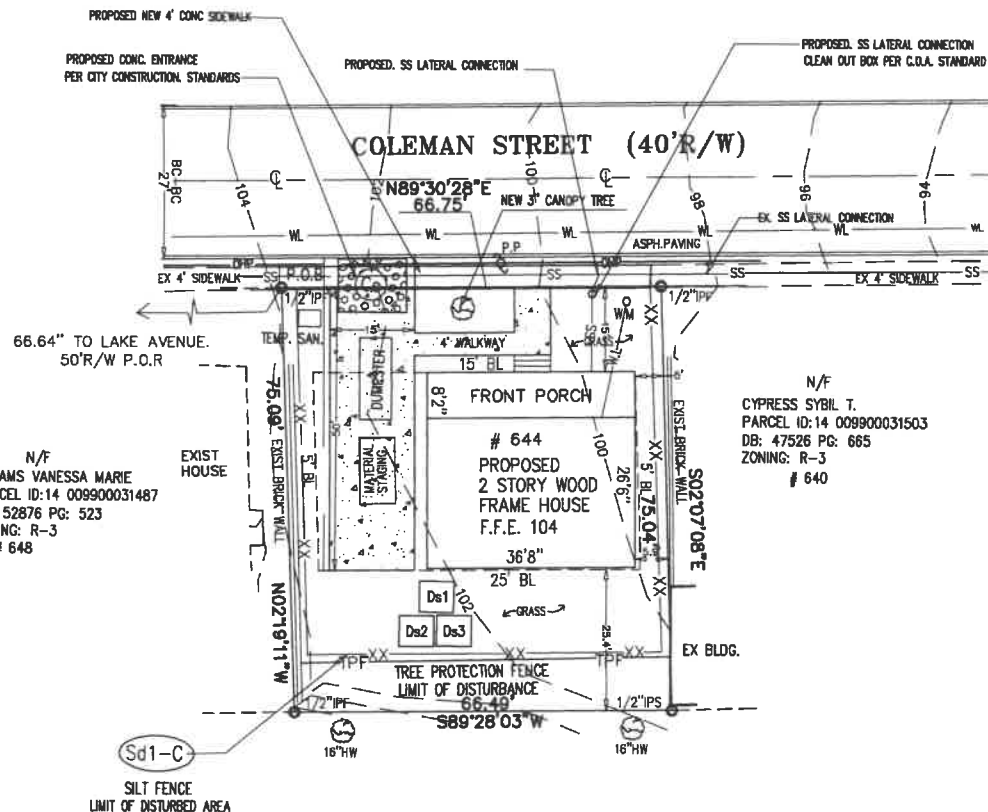
LEGEND

PROPOSED BUILDING		P.O.B. POINT OF BEGINNING
EXISTING TOPOGRAPHIC CONTOURS		P.O.R. POINT OF REFERENCE
PROPOSED TOPOGRAPHIC CONTOURS		I.P.S. 1/2" IRON PIN SET
EXISTING SPOT ELEVATIONS		O.H.P. OVERHEAD POWER LINE
PROPOSED SPOT ELEVATIONS		P.P. POWER POLE
SDI-C SILT FENCE BARRIER.		L.L.L. LAND LOT LINE
Co CONST. EXOT/ ENTRANCE.		I.P.F. 1/2" IRON PIN FOUND
Dn1 DISTURBED AREA STABILIZATION (WITH MULCH)		C.L. CENTER LINE
Dn2 DISTURBED AREA STABILIZATION (W/ TEMPORARY VEGETATION)		LOT NUMBER
Dn3 DISTURBED AREA STABILIZATION (W/PERMANENT VEGETATION)		WM WATER METER
Dn4 DISTURBED AREA STABILIZATION (WITH SODDING)		G.M. GAS METER
		GUY WIRE

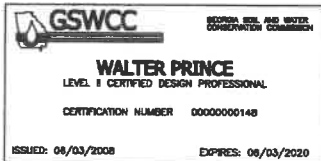
NOTE:

- 1- ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
- 2- ALL DEMOLITION DEBRIS TO BE HAULED OFF SITE.
- 3- DUMPSTER SHALL NOT BE LOCATED INSIDE OF TREE PROTECTION FENCE.
- 4- NO STANDING WATER.

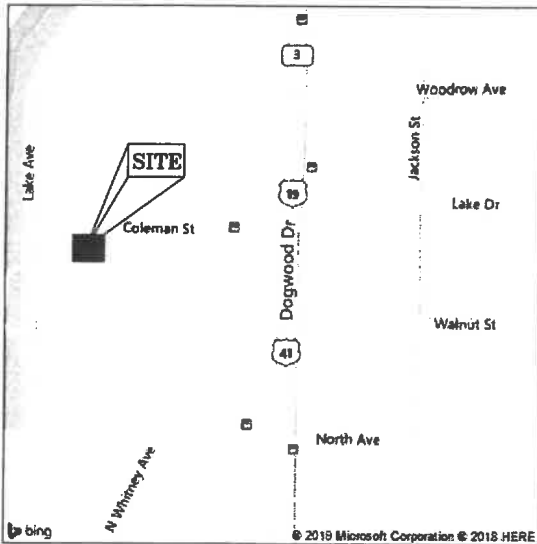
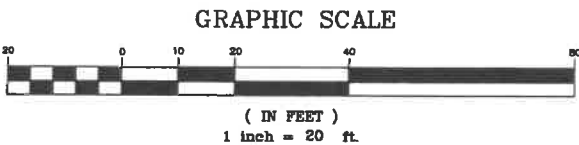
DIRT STATEMENT:
CUT = 30 CU.YDS.
FILL =30 CU.YDS.
DIRT TO BE BALANCE ON SITE
DEMOLITION DEBRIS= 60 CU.YDS.



Before starting any land-disturbing activities, the contractor is required to schedule a pre-construction meeting with Erosion & Sediment Control.
Call (404) 546-1305
Failure to schedule may result in a Stop Work Order or Permit Revocation



SAN SEWER CONNECTION TO BE CONNECTED TO EXIST. SERVICE.
CONTRACTOR SHALL VERIFY LOCATION PRIOR BEGINING OF CONSTRUCTION



VICINITY MAP
NTS

GROSS LOT AREA

5,004. sq.ft.
0.114 acres

TOTAL DISTURBED AREA
4,002 SQ FT. OR 0.09 AC.

LOT COVERAGE AREA OF IMPERVIOUS SURFACE:

NEW HOUSE ----- 1,289 SQ.FT.
NEW CONC DRIVEWAY / WALK ----- 892 SQ.FT.

TOTAL IMPERVIOUS AREA ----- 2,181 SQ.FT.
PROPOSED LOT COVERAGE ----- 43%

PROPOSED FLOOR AREA RATIO
MAIN FLOOR HEATED -----972 SQ.FT.
SECOUND FLOOR HEATED AREA -----972 SQ.FT.

HEATED FLOOR AREA --- 1,944 SQ.FT./ 5,004 SQ/FT= .38

SHEET INDEX

- NO. 1 SITE PLAN & GRADING
- NO. 2 CONSTRUCTION STANDARS

CONTRACTOR/DEVELOPER
GUSTAVO PERDIGON
TEL: 954-278-1687

SEPARATE PERMIT IS REQUIRED FOR SIDEWALK AND/OR DRIVEWAY CONSTRUCTION IN THE PUBLIC R/W . CONTACT THE TRANSPORTATION DEPARTMENT OF PUBLIC WORK AT 404-330-6501



REVISIONS

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION: THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST OR ARE MARKED AS "FUTURE" THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN:



24 HOUR CONTACT/DEVELOPER
GUSTAVO PERDIGON
TEL: 954-278-1687

HURD PRINCE & ASSOCIATES, INC.
Consulting Engineers & Surveyors
110 MLK SR HERITAGE TRAIL
STOCKBRIDGE, GEORGIA 30281-3424
Phone (678)-782-7737

PROJECT ADDRESS
644 COLEMAN STREET
ATLANTA GA. 30354
PARCEL ID: 14009900031495
LAND LOT: LAND LOT 99
DISTRICT: 14 TH DISTRICT
COUNTY: FULTON
STATE: GEORGIA

ZONING: R-3
FRONT YARD SETBACK = 15 FEET
SIDE YARD SETBACK =5 FEET
REAR YARD SETBACK = 25 FEET

SHEET TITLE:
SITE PLAN AND SOIL
EROSION CONTROL
PLAN FOR:

GP CUBE IVESTMENTS

DATE: JUNE 7, 2019

JOB: 26628

DRAWN: W.A

CHECKED: F.P.

SHEET NUMBER:

SHEET 1 OF 2

A D
AD Designs

GP Cube Investments

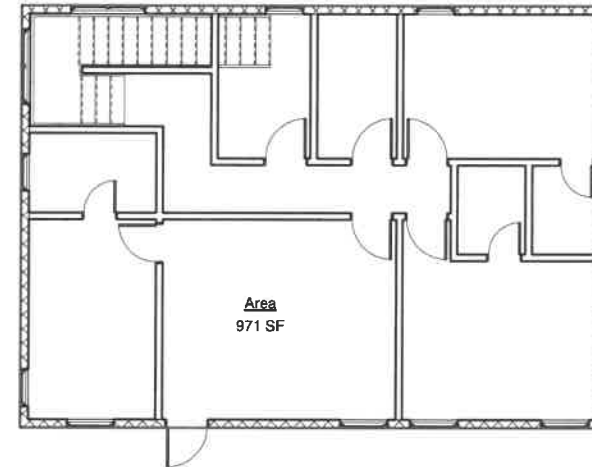
1944 sqft (Heated)

644 Colman St.

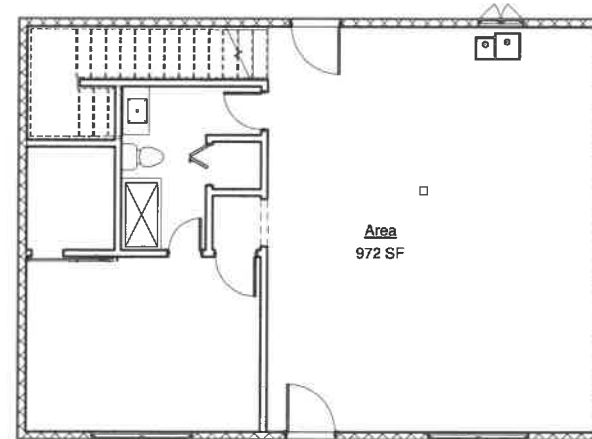


④ 3D View 2

Sheet Number	Sheet Name
A101	Proposed Plan
A102	Elevation
A100	Cover Sheet
A103	Foundation Plan
A104	Framing Plan
A105	Roof Plan
A106	Deck Plan



③ Level 2
3/16" = 1'-0"



② Foundation
3/16" = 1'-0"



8/4/2019

Cover Sheet

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A100

Scale $3/16" = 1'-0"$

10.14.01 PM

Release For Construction

General Notes

- 1. All lumber to be Southern Pine No. 2 or better
- 2. All concrete to have 4000 psi 28-day compressive strength
- 3. All deck lumber shall be presure preservative treated in accordance with AWPA U1 for the specied, product , preservative and end use. Feild cut ends, notches and drilled holes of preservative treated wood shall be treated in the feild in accordance with AWPA M4. Preservative - treated lumber in contract with the ground shall be rated as "ground-contract."
- 4. Joist Hangers shall have a minimum capacity of 800 lbs.

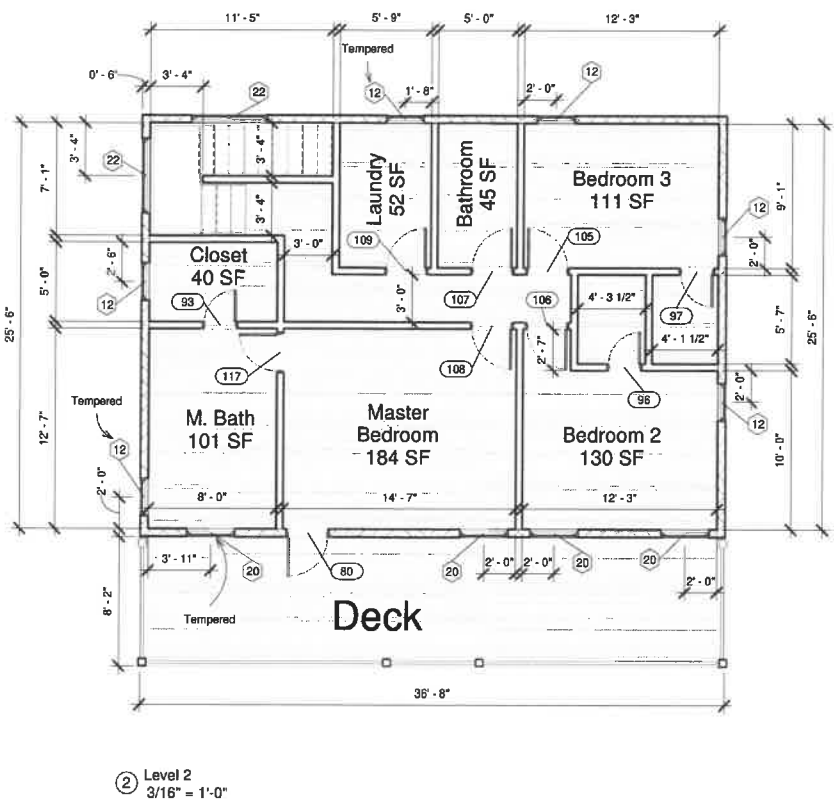
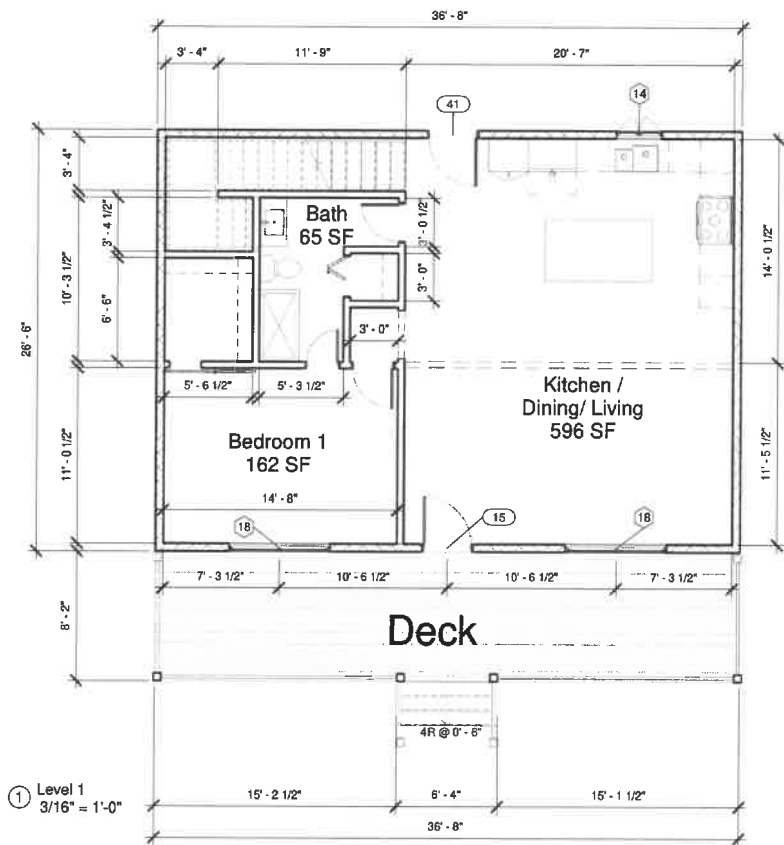
Window Schedule	
Type Mark	Family and Type
12	Window-Double-Hung: 28" x 46"
14	Window-Casement-Double: 34" x 36"
18	Window-Double-Hung-Double: 76" x 56"
20	Window-Double-Hung: 36" x 56"
22	Window-Double-Hung-Double: 56" x 52"

Door Schedule	
Mark	Family and Type
15	Door-Exterior-Single-Entry-Half Flat Glass-Wood_Clad: 36" x 80"
41	Door-Interior-Single-Full Glass-Wood: 36" x 84"
80	Door-Interior-Single-Full Glass-Wood: 30" x 80"
86	Door-Interior-Single-3_Panel_Vert-Wood: 30" x 80"
87	Interior_bam_door_18732: Interior_bam_door_18732
89	Door-Opening: 36" x 80"
93	Door-Interior-Single-1_Panel-Wood: 24" x 80"
96	Door-Interior-Single-1_Panel-Wood: 24" x 80"
97	Door-Interior-Single-1_Panel-Wood: 24" x 80"
98	Door-Interior-Single-1_Panel-Wood: 24" x 80"
103	Door-Interior-Single-1_Panel-Wood: 28" x 80"
104	2_Panel_Bifold_Door_18618: 30" x 84"
105	Door-Interior-Single-3_Panel_Vert-Wood: 30" x 80"
106	Door-Interior-Single-3_Panel_Vert-Wood: 30" x 80"
107	Door-Interior-Single-3_Panel_Vert-Wood: 30" x 80"
108	Door-Interior-Single-3_Panel_Vert-Wood: 30" x 80"
109	Door-Interior-Single-3_Panel_Vert-Wood: 30" x 80"
117	Door-Interior-Single-1_Panel-Wood: 28" x 80"



GP Cube Investments

644 Colman St.



8/4/2019

Code Summary
International Residential Code, 2012 Edition,
with Georgia Amendments (2014) (2015) (2017)

Release For Construction

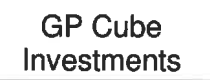
Proposed Plan

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A101

Scale 3/16" = 1'-0"

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644 Colman St.

[illegible]

Elevation

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A102

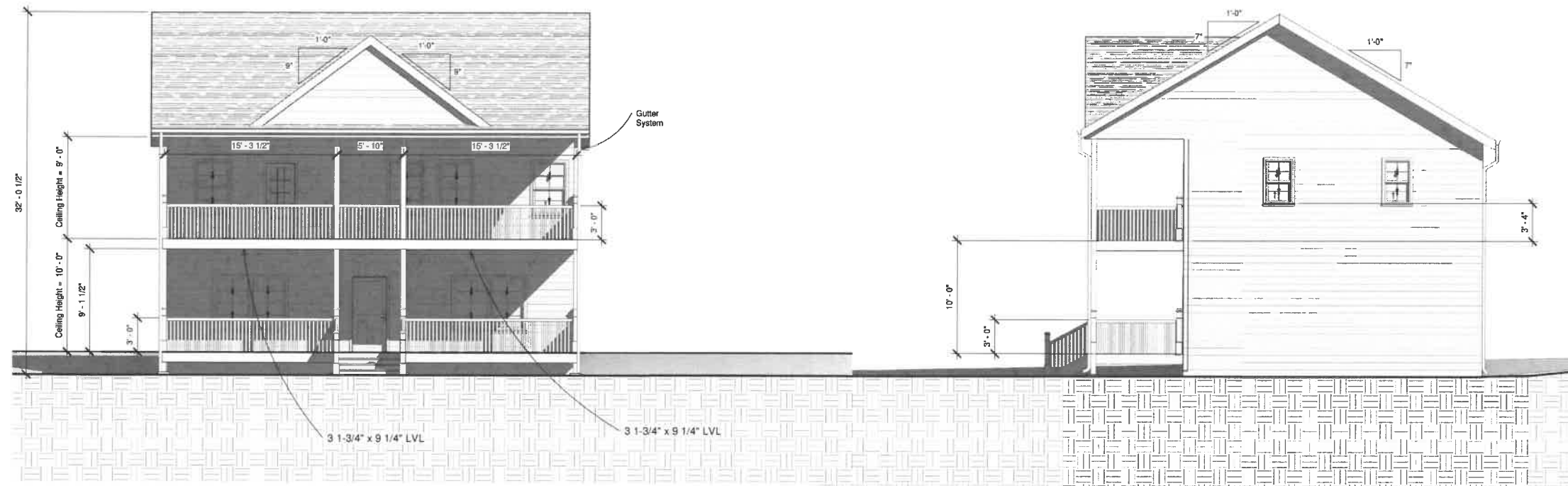
Scale $3/16" = 1'-0"$



8/4/2019

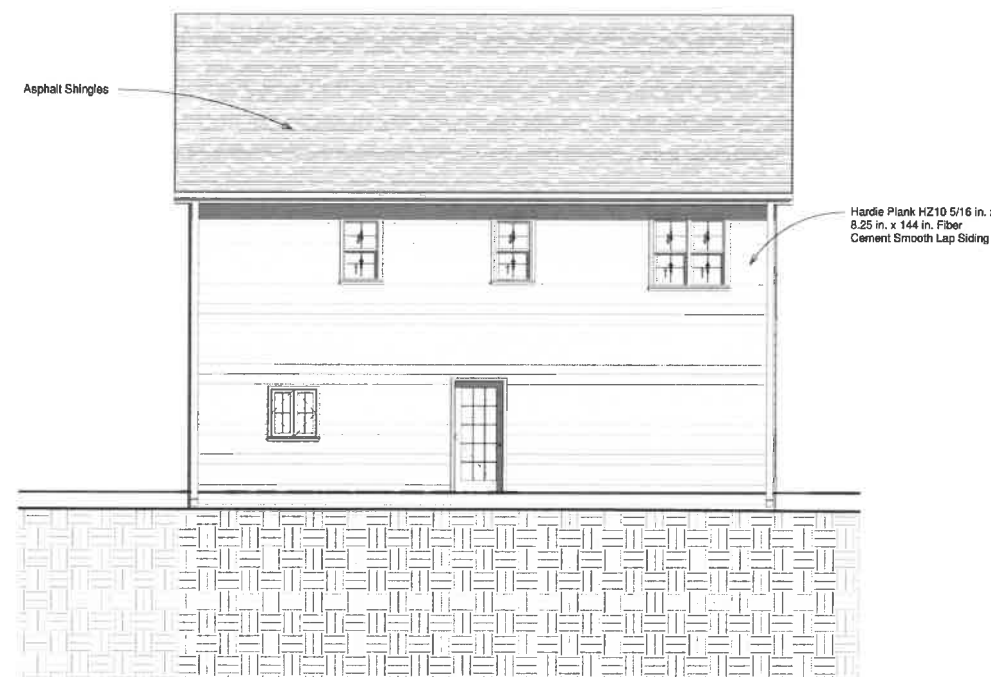
Code Summary
International Residential Code, 2012 Edition,
with Georgia Amendments (2014) (2015) (2017)

Release For Construction

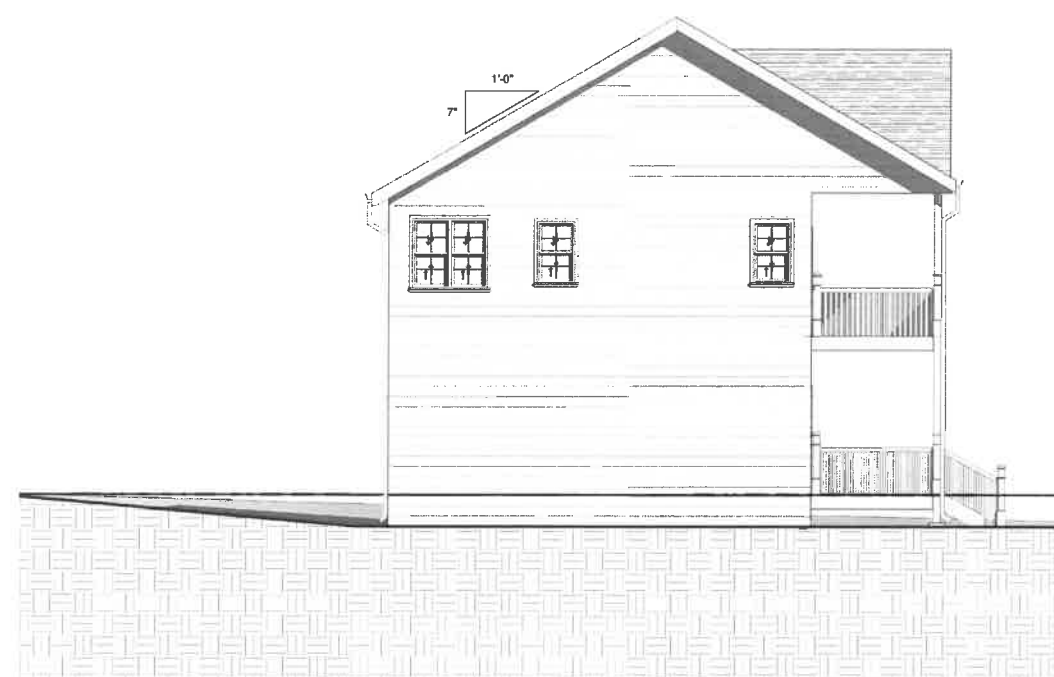


① East
3/16" = 1'-0"

② South
3/16" = 1'-0"

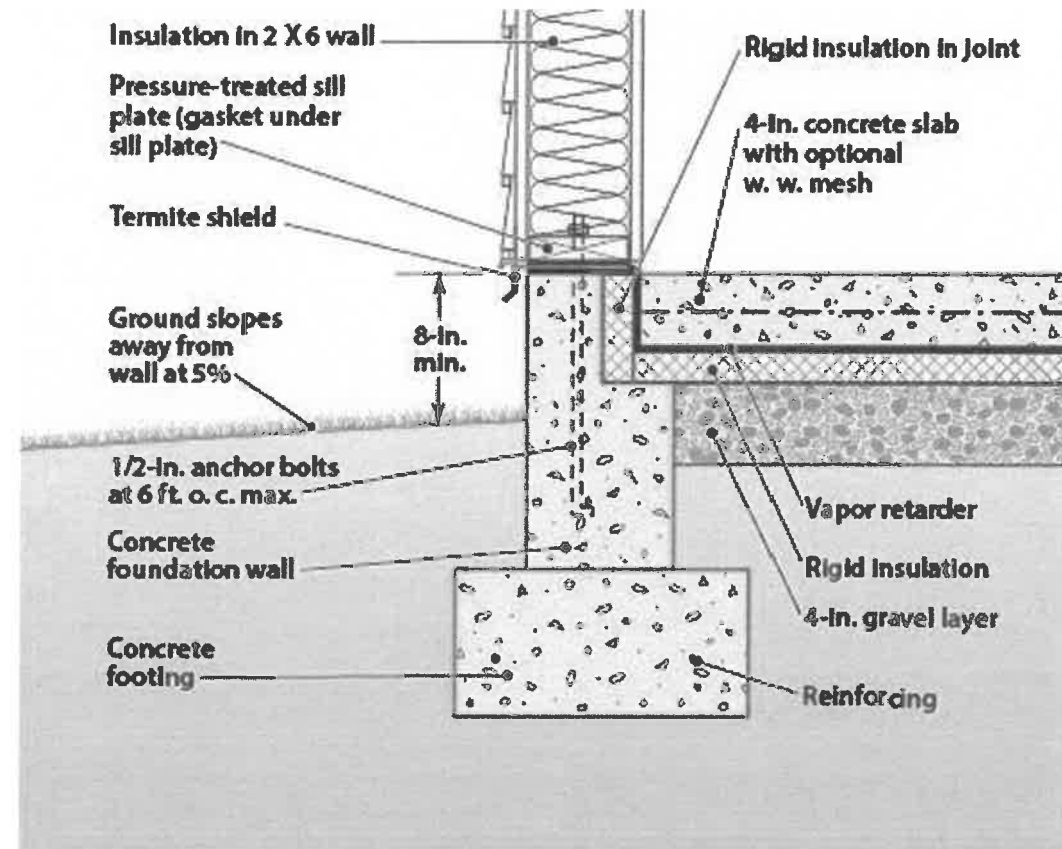


③ North
3/16" = 1'-0"



④ West
3/16" = 1'-0"

8" CMU with
18" wide 12" thick
footing 2#4 rebar
continuous



Beam Span, L _b	Joist Span L _j	Post Heights ¹					Footing Sizes ²		
		Southern Pine	Douglas Fir-Larch ³	Hem-Fir ⁴ , Western Cedars	Radwood	Ponderosa Pine, Red Pine, Spr ⁵	Round Footing Diameter	Square Footing	Footing Thickness ⁶
6'	≤10'	14'	14'	14'	14'	14'	18"	16"x16"	7"
	≤14'	14'	14'	14'	14'	14'	21"	18"x18"	8"
	≤18'	14'	14'	12'	14'	11'	24"	21"x21"	10"
8'	≤10'	14'	14'	14'	14'	14'	20"	18"x18"	8"
	≤14'	14'	14'	14'	14'	11'	24"	21"x21"	10"
	≤18'	14'	13'	11'	12'	8'	27"	24"x24"	11"
10'	≤10'	14'	14'	14'	14'	12'	23"	20"x20"	9"
	≤14'	14'	13'	11'	13'	8'	27"	24"x24"	11"
	≤18'	12'	11'	8'	11'	2'	31"	27"x27"	13"
12'	≤10'	14'	14'	12'	14'	10'	25"	22"x22"	10"
	≤14'	13'	12'	9'	11'	5'	30"	26"x26"	13"
	≤18'	11'	9'	6'	9'	2'	34"	30"x30"	16"
14'	≤10'	14'	13'	11'	13'	8'	27"	24"x24"	11"
	≤14'	11'	10'	7'	10'	2'	32"	29"x29"	14"
	≤18'	9'	8'	2'	8'	NP	37"	33"x33"	18"
16'	≤10'	13'	12'	10'	12'	6'	29"	26"x26"	11"
	≤14'	10'	9'	5'	9'	2'	35"	31"x31"	15"
	≤18'	7'	5'	2'	7'	NP	40"	35"x35"	18"
18'	≤10'	12'	11'	8'	11'	2'	31"	27"x27"	13"
	≤14'	9'	8'	2'	8'	NP	37"	33"x33"	16"
	≤18'	5'	2'	2'	6'	NP	42"	37"x37"	19"

Release For Construction

[illegible]

Scale $1/4" = 1'$

[illegible]

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker
A104	
Scale	3/16" = 1"



Support beam with 8" x 24" Footing

2x10 lumber floor joist with joist hangers @16" on center

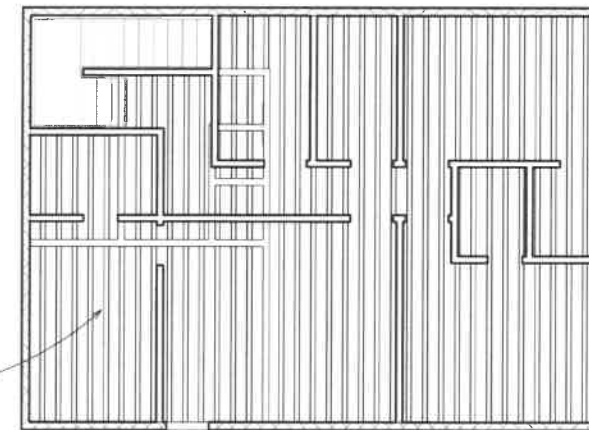
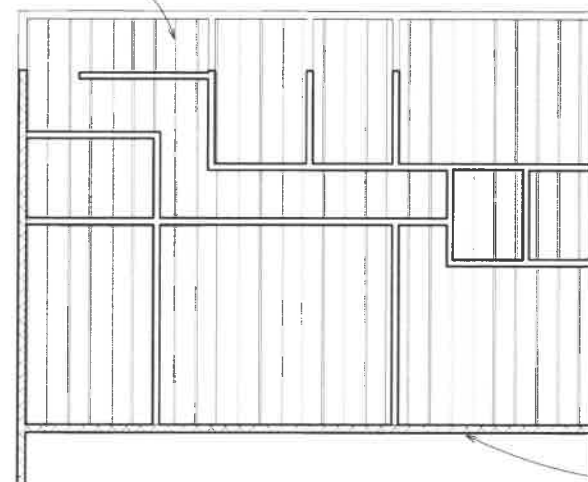
10'-0"

5'-10 1/2"

8'-0"

7'-3 1/2"

(3) 2 x 12 Beam sitting
on 6x6 post w/ 18" x 24"
footing crawlspace

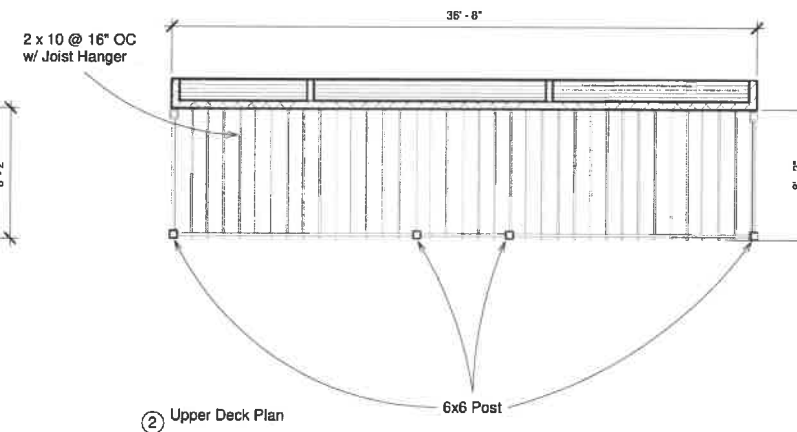
2 x 8 Ceiling Joist
16" OC _____

Provide Simpson DTT1Z @
120 on Center max.
(provide 4 locations)

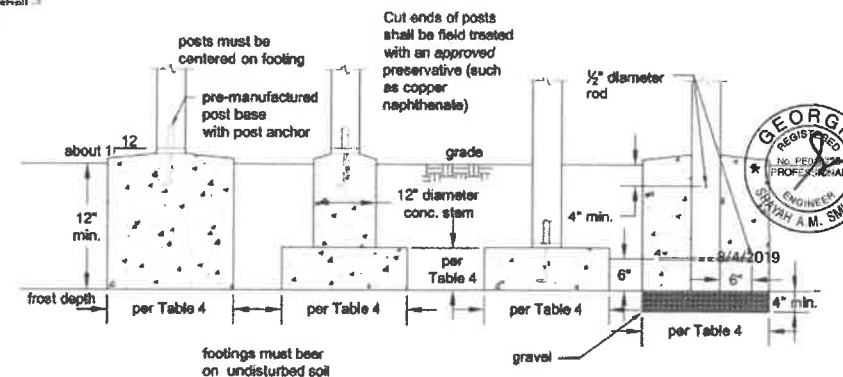
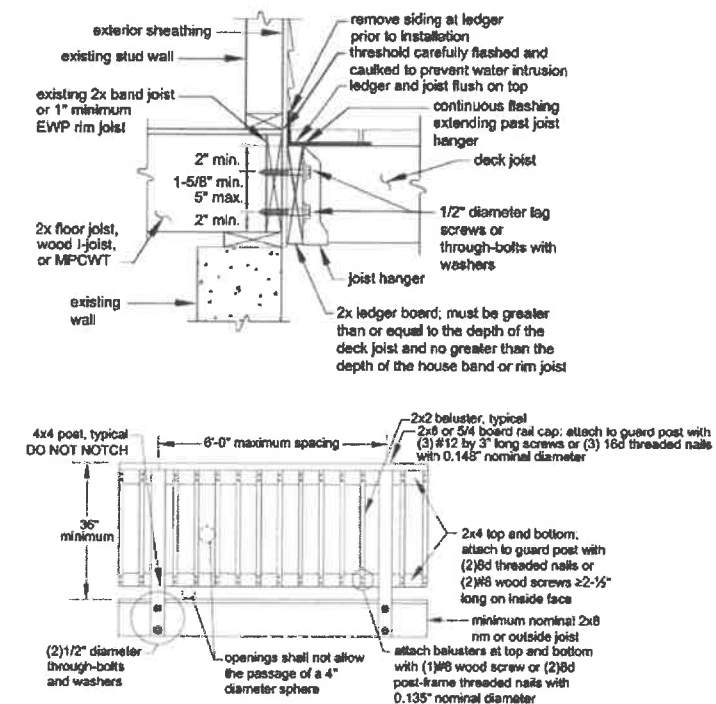
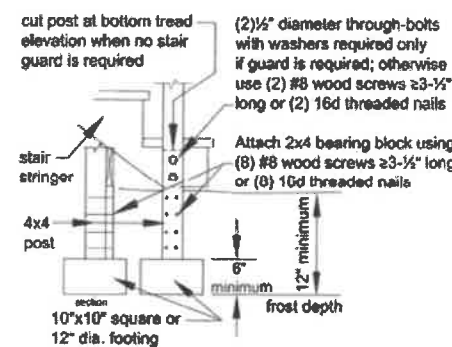
Release For Construction

3/4/2019 10:14:12 AM

1. All lumber to be Southern Pine No. 2 or better
2. All concrete to have 4000 psi 28-day compressive strength
3. All lumber shall be preservative treated in accordance with AWPA U1 for the species, product, preservative and end use. Field cut ends, notches and drilled holes of preservative treated wood shall be treated in the field in accordance with AWPA M4. Preservative-treated lumber in contact with the ground shall be rated as "ground-contact."
4. Joist Hangers shall have a minimum capacity of 800 lbs.



Joist Span	Rim Joist or Band Joist	6'-0" and less	6'-4" to 8'-0"	8'-1" to 10'-0"	10'-1" to 12'-0"	12'-1" to 14'-0"	14'-1" to 16'-0"	16'-1" to 18'-0"
Connection Details	On-Center Spacing of Fasteners							
½" diameter lag screw ¹ with ¹⁵ / ₃₂ " maximum sheathing	1" EWP 1-⅞" EWP 1-½" Lumber	24" 28" 30"	18" 21" 23"	14" 16" 18"	12" 14" 15"	10" 12" 13"	9" 10" 11"	8" 9" 10"
½" diameter bolt with ¹⁵ / ₃₂ " maximum sheathing	1" EWP 1-⅞" EWP 1-½" Lumber	24" 28" 36"	18" 21" 36"	14" 16" 34"	12" 14" 29"	10" 12" 24"	9" 10" 21"	8" 9" 19"
½" diameter bolt with ¹⁵ / ₃₂ " maximum sheathing and ½" stacked washers ^{2,7}	1-½" Lumber	36"	36"	29"	24"	21"	18"	16"



Release For Construction

644 Colman St.

[illegible]

Deck Plan

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A106

Scale

7/20/2019 10:14:18 AM