



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: August 14, 2019
TO: Tonya Hutson
FROM: Lynn Patterson
RE: **Design Review – 3384 North Fulton Avenue**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Janice M. White to construct a new one-story three bed, two bath single-family dwelling at 3384 North Fulton Avenue. The property is currently vacant, although there is already an existing driveway and curb cut. The dwelling will have 1,528 SF of heated floor area and will provide off-street parking via a 10' wide driveway along the south side of the house.

The property is zoned R-SF - Residential Single-Family, and is subject to the Neighborhood Conservation Area, Subarea E of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) *Site development standards*

- ✓ Except where indicated, setbacks shall be established by zoning.
- ⊘ On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.
- ⊘ Minimum building heights shall be established by zoning.
- ✓ Within subareas D and E maximum building heights shall be as established by zoning, except that:

Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.

Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.

Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the greater of 25 feet.

✓ Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.

⊙ Outside of subareas D and E maximum building heights shall be as established by zoning.

✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.

✓ Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.

✗ Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-foot clear zone.

Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.

The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

STAFF COMMENT:

- **The existing sidewalk does not have the required landscape zone. A design exception will be required to use the existing sidewalk.**

(b) Supplemental Area and Fence Standards

✗ Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.

⊙ Chain link fencing is not permitted in areas visible from a public right-of-way.

⊙ On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.

⊙ Fences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.

⊙ Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.

⊙ All street-facing walls shall be faced with stone, brick, or smooth stucco.

⊙ Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

STAFF COMMENT:

- **A minimum of one tree is required every 50' of supplemental area frontage. The property fronts along North Fulton for 74.9'. The plans indicate one tree is to be planted. A second tree will be required, spaced so that there is no greater than 50' between the trees.**

(c) Utility Standards



Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.

- ⊙ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- ⊙ Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
- ✗ All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- ⊙ Trees shall not be planted directly above storm drains.

STAFF COMMENT:

- **The applicant should show mechanical utility features on the plans and indicate any screening.**
- **A light at the front door should be included and shown on the plans.**

(d) *Parking and Traffic Standards*

- ✓ One-family detached dwellings and two-family dwellings shall meet the following requirements:
 - ✓ Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.
Circular drives are permitted.
A grass strip in the middle of driveways is encouraged.
- ⊙ All other buildings shall meet the following requirements:
 - Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
 - Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.
 - Two curb cuts serving two one-way driveways shall be counted as one curb cut.
 - Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.
 - New public streets shall not count as curb cuts.
 - Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.
- ⊙ Carports are only permitted subject to the following requirements:
 - Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.
 - Carport roofs shall be supported by columns with a minimum width and depth of eight inches.
 - The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.
- ✓ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting on-street parking located along a public street.
- ⊙ Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT:

(e) *Roof and Chimney Standards*

- ✎ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✓ Roof shingles shall be slate, cedar, or asphalt.
- ⊖ Roof tiles shall be clay, terra cotta or concrete.
- ⊖ Metal roofs are:
 - Allowed on one-family and two-family detached dwellings;
 - Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.
- ✎ Gutters shall be copper, aluminum or galvanized steel.
- ✎ Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- ✓ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- ⊖ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- ⊖ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- ⊖ Chimneys on exterior building walls shall begin at grade.
- ⊖ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

- STAFF COMMENT:**
- The applicant should ensure the roof shingles have a minimum usable life of 30 years per manufacturer's warranty.
 - The applicant should specify the distance the roof overhangs the facades of the house, ensuring it is at least 12".
 - The plans should be revised to describe the material of the gutters and downspouts and to show them on the elevations.

(f) Street Facing Facade and Style Standards.

- ✓ Exterior facade materials shall be limited to:
 - Full-depth brick;
 - Natural or cast stone;
 - ✓ Smooth natural-wood siding and/or cement-based siding;
 - Shake siding;
 - Painted fish-scale style shingles, but only when used in front gables;
 - True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ✓ Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;
 - Liquid vinyl;
 - T-1-11 siding;

Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.

- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ✓ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- ✓ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- 👉 Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- ⊖ Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✓ Porch and stoop foundations shall be enclosed.
- 👉 Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊖ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ✓ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊖ Stoops shall provide a minimum top landing of four feet by four feet.
- ⊖ Stoop stairs and landings shall be of similar width.
- ⊖ Stoops may be covered or uncovered.
- ✗ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ✗ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊖ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Enfronting porches may have multistory verandas, living space, or balconies above.
- ✗ Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- ⊖ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊖ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊖ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Balconies may be covered or uncovered.

STAFF COMMENT:

- While the front porch appears to be constructed of stone or brick and wood, the applicant should clarify the materials used in the porch.
- Front porches must have a minimum depth of 8' from façade to the outside of the columns. While the distance to the outside of the columns has not been provided, it appears to be less than 8', which is not compliant.
- The front porch is 51% of the width of the adjacent facade. The standards state porches must be at least 80% of the facade width; however, the size of the porch is consistent with the encouraged Craftsman style and may be permissible with a design exception.
- Front porch columns must be spaced a maximum of 8' on center. While the distance between the columns has not been provided, they appear to be wider than 8' apart, which is not compliant and, if approved, would require a design exception.

(g) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✓ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- ✗ Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- ⊖ Doors that operate as sliders are prohibited along enfronting facades.
- 👉 Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- 👉 Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- 👉 Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- ⊖ Where used, window shutters shall match one-half the width of the window opening.
- ⊖ Painted window or door glass is prohibited.
- ⊖ Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- 👉 Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- 👉 Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- 👉 Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- 👉 Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

STAFF COMMENT:

- Building numbers at least 6" in height on the porch or adjacent to the front door should be included and shown on the plans.
- The provided window schedule does not match the floor plan designations.
- The applicant should ensure no GBGs will be utilized.
- Windows must comply with all requirements of Sec. 81-1-7(g) - *Door and window standards*. The elevations should be revised to demonstrate compliance and the plans should provide the following information:
 - Window pane recession from adjacent facades
 - Trim width, depth, and material
 - The width of mullions between grouped windows
 - The height and width of all street facing windows
 - Window sill materials

(h) Detached one-family dwellings/ two-family dwellings. In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.

- ✓ *First Stories.* First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
- ✓ *Window Sills.* Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
- ⊙ *Wheelchair access.* Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.
- ✎ *Architectural style.* Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

Craftsman. Craftsman homes may include:

- ✓ i. A rectangular building footprint, with the short end facing a street.
- ✓ ii. Gabled roofs having gables with a minimum pitch of 20 and a maximum pitch of 40 degrees from horizontal and with roof lines running parallel or perpendicular to the street.
- ✓ iii. Decorative beams, brackets or braces under gables.
- ✓ iv. Exposed roof rafters where roofs overhang.
- ⊙ v. Optional dormers.
- ✓ vi. Windows that are taller than they are wide.
- ✓ vii. Equal height windows along a single floor.
- ✓ viii. Symmetrical or asymmetrical front facade.
- ✎ ix. A front porch extending the entire width of the building or with a width of one-half of the building. Said porch shall include square columns that taper from bottom to top, but are not less than eight inches thick. Said columns shall be set atop stone or masonry bases extended to the ground. They may include optional square or rectangular balusters and handrails.

STAFF COMMENT:

- The dwelling is a Craftsman-style home. The plans show a porch extending about one-half of the building, which is compliant with this style. However, one of the support columns is offset from the right side of the porch, which creates an asymmetrical appearance and is not traditional for the style. To fully comply with the style, the applicant should move the right support column over to the edge of the porch.
- The applicant should provide the thickness of the porch support columns at their smallest point.

- ⊙ **Outbuildings.** In conventional development, outbuildings are often designed and located as an afterthought. Yet in traditional towns and cities, outbuildings serve to enrich the quality of design through their placement, design and use. In Hapeville, where outbuildings are provided on many residential lots, their design must be to the same high standards found in the community's neighborhoods. The following standards shall apply to construction of new outbuildings in residential districts.
- i. On lots with one street frontage, set outbuildings back at least 15 feet behind the front facade of the principal building.
 - ii. On corner lots, outbuildings should be setback at least 15 feet behind the front facade of the principal building and with a setback greater than or equal to that of the facade along the side lot line.
 - iii. Outbuilding may be linked to the principal building with covered walks, trellises or enclosed breezeway.
 - iv. Outbuildings shall be of compatible material and architectural style to the principal building.
 - v. Outbuildings shall have a minimum height of 14 feet and a maximum height of that of the principal building or 25 feet, whichever is less.
 - vi. Outbuildings shall be set a minimum of ten feet from any other outbuilding on adjoining lots.

STAFF COMMENT:

FINDINGS

Upon review of the information provided by the Applicant, the following items have been found to be missing or deficient and should be addressed prior to formalizing a recommendation:

1. The existing sidewalk does not have the required landscape zone. A design exception will be required to use the existing sidewalk.
2. A minimum of one tree is required every 50' of supplemental area frontage. The property fronts along North Fulton for 74.9'. The plans indicate one tree is to be planted. A second tree will be required, spaced so that there is no greater than 50' between the trees.
3. The applicant should show mechanical utility features on the plans and indicate any screening.
4. A light at the front door should be included and shown on the plans.
5. The applicant should ensure the roof shingles have a minimum usable life of 30 years per manufacturer's warranty.
6. The applicant should specify the distance the roof overhangs the facades of the house, ensuring it is at least 12".
7. The plans should be revised to describe the material of the gutters and downspouts and to show them on the elevations.
8. While the front porch appears to be constructed of stone or brick and wood, the applicant should clarify the materials used in the porch.
9. Front porches must have a minimum depth of 8' from façade to the outside of the columns. While the distance to the outside of the columns has not been provided, it appears to be less than 8', which is not compliant.

10. The front porch is 51% of the width of the adjacent facade. The standards state porches must be at least 80% of the facade width; however, the size of the porch is consistent with the encouraged Craftsman style and may be permissible with a design exception.
11. Front porch columns must be spaced a maximum of 8' on center. While the distance between the columns has not been provided, they appear to be wider than 8' apart, which is not compliant and, if approved, would require a design exception.
12. Building numbers at least 6" in height on the porch or adjacent to the front door should be included and shown on the plans.
13. The provided window schedule does not match the floor plan designations.
14. The applicant should ensure no GBGs will be utilized.
15. Windows must comply with all requirements of Sec. 81-1-7(g) - *Door and window standards*. The elevations should be revised to demonstrate compliance and the plans should provide the following information:
 - a. Window pane recession from adjacent facades
 - b. Trim width, depth, and material
 - c. The width of mullions between grouped windows
 - d. The height and width of all street facing windows
 - e. Window sill materials
16. The dwelling is a Craftsman-style home. The plans show a porch extending about one-half of the building, which is compliant with this style. However, one of the support columns is offset from the right side of the porch, which creates an asymmetrical appearance and is not traditional for the style. To fully comply with the style, the applicant should move the right support column over to the edge of the porch.
17. The applicant should provide the thickness of the porch support columns at their smallest point.

CITY OF HAPEVILLE DESIGN REVIEW APPLICATION

SUBMITTAL DATE:

6/10/2019

NOTE:

All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant:

JANICE M WHITE

Contact Number:

Applicants Address:

1854 VIRGINIA AVE STE 2, College PK, GA. 30337

E-Mail Address:

Zoning Classification:

R3

Address of Proposed Work:

3384 North Fulton Ave

Parcel ID# (INFORMATION MUST BE PROVIDED):

14-00950090107

Property Owner:

GUSTAVO PERDIGON

Contact Number:

Project Description (including occupancy type):

NEW CONSTRUCTION OF
A SINGLE FAMILY HOME - 3 BEDROOMS 2 BATHS
Kitchen; Dining Room; Living Room

Contractors Name:

Victor Aponte / MOG Improvement

Contact Number:

Contact Person:

GUSTAVO PERDIGON

Contact Number:

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Applicants Signature

Date

6/10/2019

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☐ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☒ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: 1,474

Total Square Footage of existing building: VACANT Lot

Estimated Cost of Construction: \$90,000

List/Describe Building Materials on the exterior of the **existing** structure: _____

Existing - Vacant Lot

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

Blue Hardie plank siding

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I JANICE M WHITE swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

JW Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOOR_CH81ARDEST

JW Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

JW Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

JW Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

JW Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

JW Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

JW Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

JANICE M. WHITE
Printed Name

JANICE M. WHITE
Signature

6/10/2019
Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

EROSION CONTROL NOTES:

1. PRIOR TO ANY LAND DISTURBANCE, CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE EROSION CONTROL DEPARTMENT
2. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO CONSTRUCTION.
3. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL MEASURES BEYOND THE APPROVED PLAN SHALL BE IMPLEMENTED AS NECESSARY.
4. DISTURBED AREAS LEFT IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION; DISTURBED AREAS IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN , AND REPAIRED AS NECESSARY.
6. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INTALLED, IF DETERMINED NECESSARY BY ON SITE INSPECTION.
7. SILT FENCE SHALL BY "TYPE C" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED.
8. DOUBLE ROW OF SD1-C REQUIRED, IF DISTURBED AREA IS WITHIN 200 FEET OF STATE WATERS.
9. NO GRADED SLOPE SHALL EXCEED 2%:1V

NOTE:

- 1- ALL LAND DISTURBANCE TO BE STABILIZED WITH VEGETATION UPON COMPLETION OF DEMOLITION.
- 2- ALL DEMOLITION DEBRIS TO BE HAULED OFF SITE.
- 3- DUMPSTER SHALL NOT BE LOCATED INSIDE OF TREE PROTECTION FENCE.
- 4- NO STANDING WATER.

DIRT STATEMENT:
CUT = 30 CU.YDS.
FILL =30 CU.YDS.
DIRT TO BE BALANCE ON SITE
DEMOLITION DEBRIS= 60 CU.YDS.

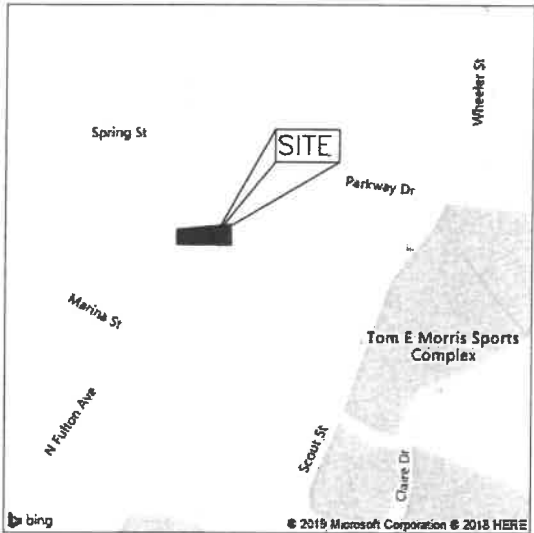
Before storing any land-disturbing activities, the contractor is required to schedule a pre-construction meeting with Erosion & Sediment Control.
Call (404) 546-1305
Failure to schedule may result in a Stop Work Order or Permit Revocation

"THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND-DISTURBING ACTIVITIES".

"EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE."

REQUIREMENTS FOR REPLACING AN EXISTING WALKWAY AND STAIRS IN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES;

1. REMOVE EXISTING PAVING USING HAND MACHINERY i.e. JACK HAMMER;
2. NO CUT OR FILL OF EARTH ALLOWED WITHIN THE CRZ;
3. LEVEL USING OPEN GRADE AGGREGATE SUCH AS 57 STONE;
4. LAY 6 MIL PLASTIC SHEET WITHIN THE CRZ BEFORE POURING CONCRETE;
5. DO NOT REMOVE CONCRETE UNTILL IT TO BE REPLACED
6. DO NOT DRIVE OR USE MACHINERY ON THE EXPOSED ROOTS OF THE CRZ.



VICINITY MAP

NTS

GROSS LOT AREA

12,148. sq.ft.
0.278 acres

TOTAL DISTURBED AREA

3,915 SQ FT. OR 0.08 AC.

LOT COVERAGE AREA OF IMPERVIOUS SURFACE:

NEW HOUSE ----- 1,598 SQ.FT.
EX. CONC DRIVEWAY / WALK ----- 328 SQ.FT.
NEW WOOD DECK ----- 160 SQ.FT.
NEW 4' WALK ----- 62 SQ.FT.
NEW CONC DRIVEWAY ----- 525 SQ.FT.
TOTAL IMPERVIOUS AREA ----- 2,673 SQ.FT.
PROPOSED LOT COVERAGE -----22%

PROPOSED FLOOR AREA RATIO

MAIN FLOOR HEATED -----1,474 SQ.FT.

HEATED FLOOR AREA --- 1,474 SQ.FT./ 12,148 SQ.FT.= .12

SHEET INDEX

NO. 1 SITE PLAN & GRADING
NO. 2 CONSTRUCTION STANDARDS

CONTRACTOR/DEVELOPER

GUSTAVO PERDIGON
TEL: 954-278-1687

REVISIONS

IT IS HEREBY CERTIFIED THAT THIS PLAN IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION: THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST OR ARE MARKED AS "FUTURE" THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN:



SEAL:

24 HOUR CONTACT/DEVELOPER

GUSTAVO PERDIGON
TEL: 954-278-1687

HURD PRINCE & ASSOCIATES, INC.

Consulting Engineers & Surveyors
110 MLK SR HERITAGE TRAIL
STOCKBRIDGE, GEORGIA 30281-3424
Phone (678)-782-7737

PROJECT ADDRESS

3384 NORTH FULTON AVENUE
ATLANTA GA. 30354

PARCEL ID: 14 009500090107

LAND LOT: LAND LOT 95

DISTRICT: 14 TH DISTRICT

COUNTY: FULTON

STATE: GEORGIA

ZONING: RSF

FRONT YARD SETBACK = 15 FEET
SIDE YARD SETBACK =5 FEET
REAR YARD SETBACK = 20 FEET

SHEET TITLE:

SITE PLAN AND SOIL
EROSION CONTROL
PLAN FOR:

GP CUBE IVESTMENTS

DATE: JUNE 7, 2019

JOB: 26626

DRAWN: W.A

CHECKED: F.P.

SHEET NUMBER:

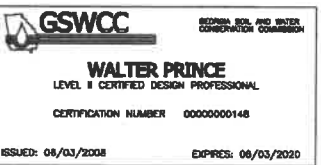
SHEET 1 OF 2

LEGEND

- PROPOSED BUILDING
EXISTING TOPOGRAPHIC CONTOURS
PROPOSED TOPOGRAPHIC CONTOURS
EXISTING SPOT ELEVATIONS
PROPOSED SPOT ELEVATIONS
- (Sd1-C) SILT FENCE BARRIER.
(Co) CONST. EXIT/ ENTRANCE.
- (Dd1) DISTURBED AREA STABILIZATION (WITH MULCH)
(Dd2) DISTURBED AREA STABILIZATION (W/ TEMPORARY VEGETATION)
(Dd3) DISTURBED AREA STABILIZATION (W/PERMANENT VEGETATION)
(Dd4) DISTURBED AREA STABILIZATION (WITH SODDING)

- P.O.B. POINT OF BEGINNING
P.O.R. POINT OF REFERENCE
I.P.S. 1/2" IRON PIN SET
O.H.P. OVERHEAD POWER LINE
P.P. POWER POLE
L.L.L. LAND LOT LINE
I.P.F. 1/2" IRON PIN FOUND
C.L. CENTER LINE
(X) LOT NUMBER
WM WATER METER
GM GAS METER
← GUY WIRE

SAN SEWER CONNECTION TO BE CONNECTED TO EXIST. SERVICE. CONTRACTOR SHALL VERIFY LOCATION PRIOR BEGINING OF CONSTRUCTION



FLOOD STATEMENT

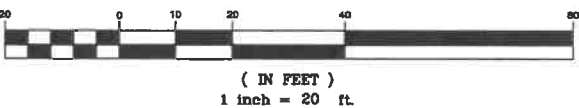
NO PORTION OF THIS PROPERTY IS LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY "F.I.A. OFFICIAL FLOOD HAZARD MAP PANEL # 13121C0366F DATE 9/18/2013
NO WATER OF STATE EXIST. WITHIN 200 FEET OF PROJECT SITE

INSTRUMENT USED:

NIKON DTM-520 TOTAL STATION

SEPARATE PERMIT IS REQUIRED FOR SIDEWALK AND/OR DRIVEWAY CONSTRUCTION IN THE PUBLIC R/W. CONTACT THE TRANSPORTATION DEPARTMENT OF PUBLIC WORK AT 404-330-6501

GRAPHIC SCALE





3384 North Fulton
Ave. Atlanta GA
30354

[illegible]

Elevation View

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A102

Scale $3/16" = 1'-0"$



8/2/2019

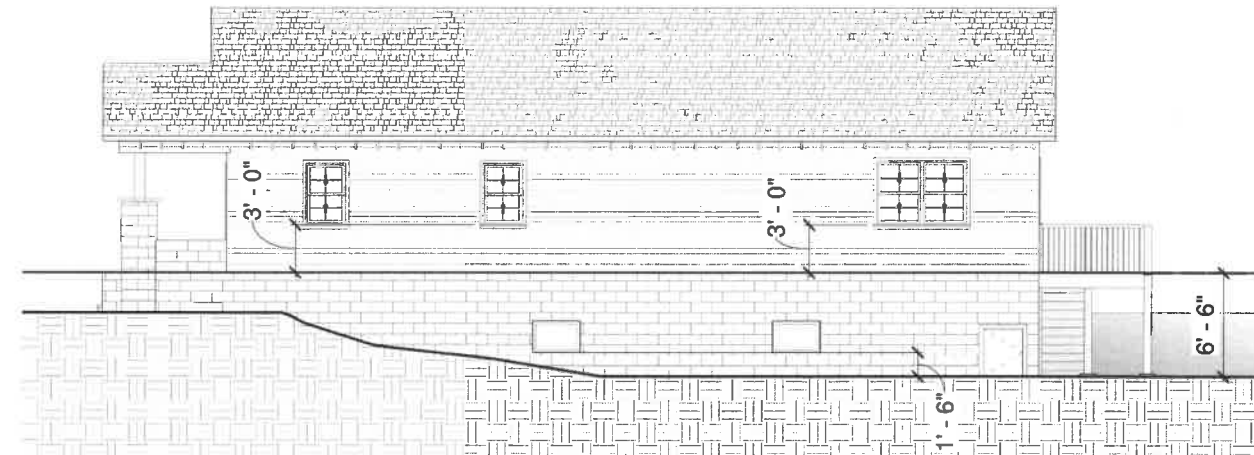
WD 81:80:11 8102/1C//



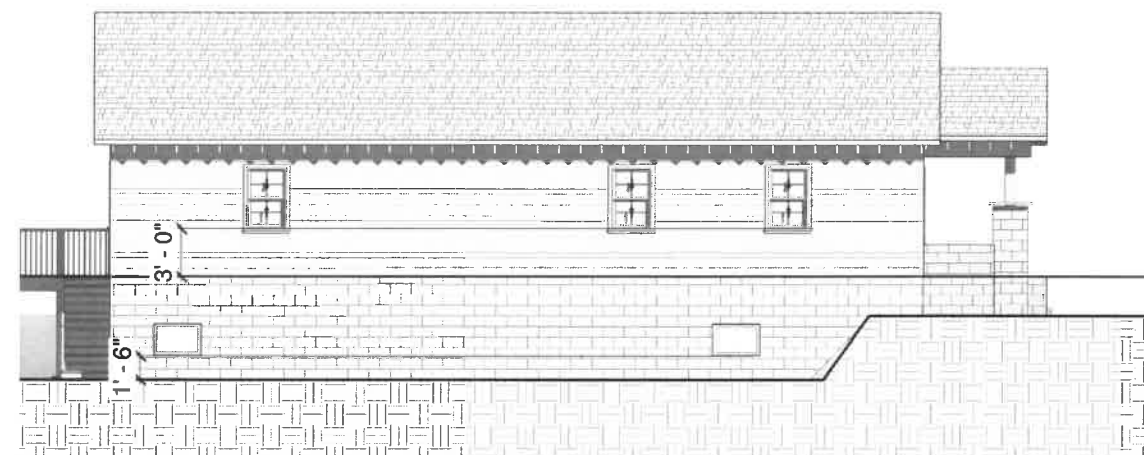
② North
3/16" = 1'-0"



③ South
3/16" = 1'-0"



① East
3/16" = 1'-0"



④ West
3/16" = 1'-0"

Code Summary

International Residential Code 2012 Edition
CODE OF ORDINANCES CITY OF HAPEVILLE, GEORGIA
National Electrical Code 2017 Edition
International Plumbing Code 2012 Edition



3384 North Fulton
Ave. Atlanta GA
30354

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Ceiling Plan

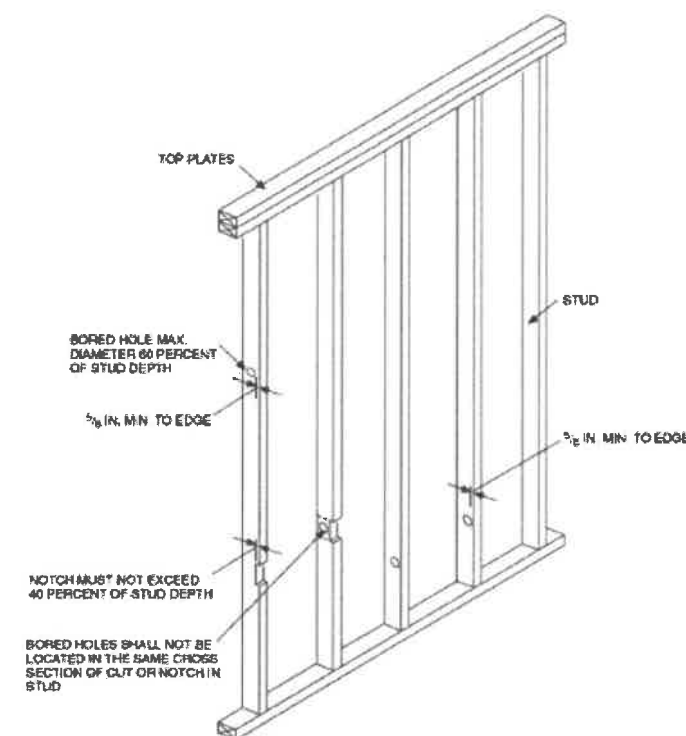
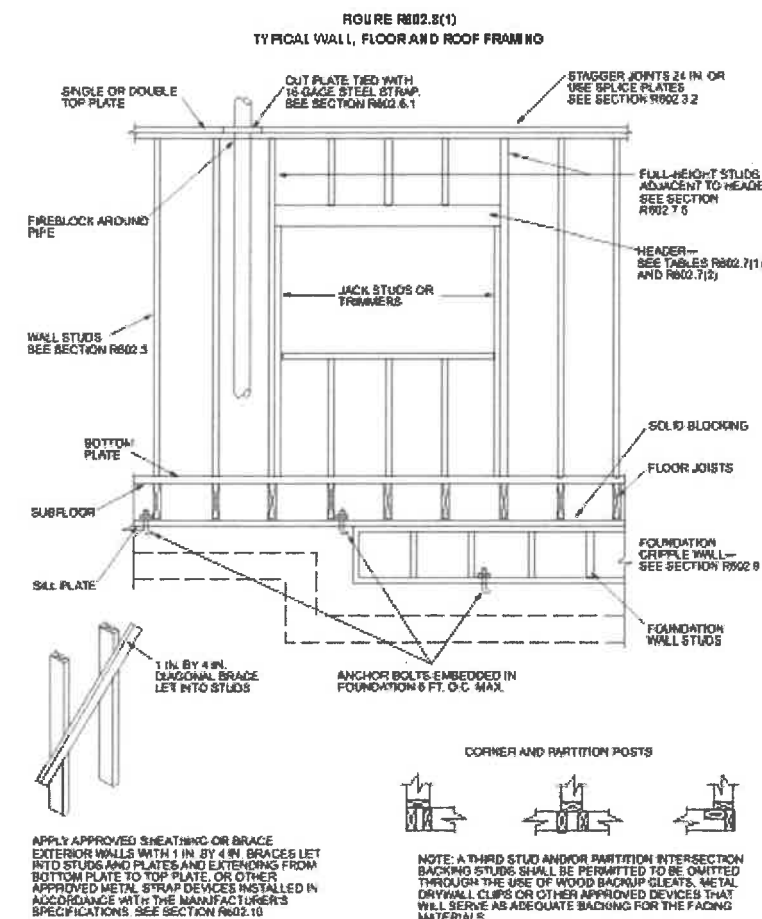
Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A105

Scale

8/2/2019

r
r



Architectural drawing of a ceiling frame plan. The drawing shows a rectangular area divided into sections by joists. Dimensions are indicated: 4' - 7" on the left, 10' - 0" in the center, and 4' - 5 1/2" on the right. A callout points to the joists, stating "2 x 8 Ceiling Joist @ 12" OC". A circled number 1 is next to the text "Ceiling Frame Plan".

① Ceiling Frame Plan

2 x 8 Ceiling Joist @ 12" OC

4' - 7"

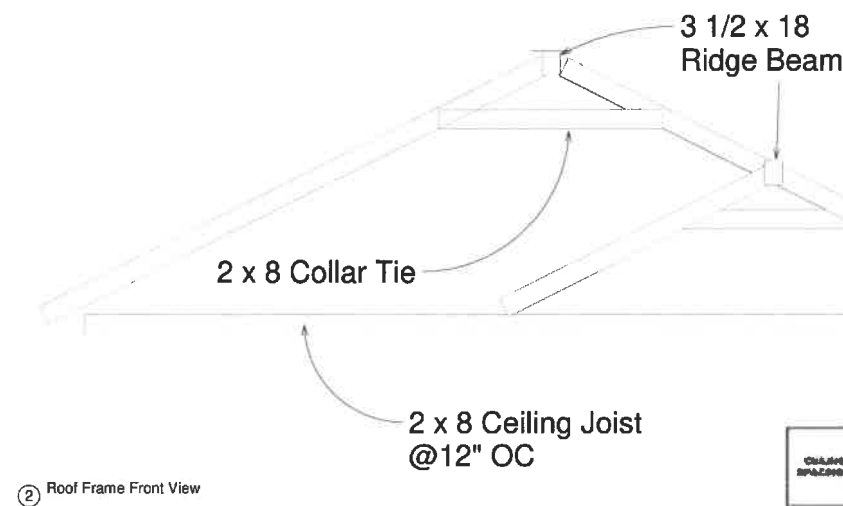
10' - 0"

10' - 0"

4' - 5 1/2"

Code Summary

International Residential Code 2012 Edition
CODE OF ORDINANCES CITY OF HAPEVILLE, GEORGIA
National Electrical Code 2017 Edition
International Plumbing Code 2012 Edition



CEILING JOIST SPACING S-DIM (ft)	SPECIES AND GRADE	DEAD LOAD = 8 psf			
		2 x 4	2 x 6	2 x 8	2 x 10
		Minimums ceiling joist depths			
		SPAC - 16"OC	SPAC - 18"OC	SPAC - 20"OC	SPAC - 24"OC
12	Southern pine	13	12-11	10-6	8-0
	Southern pine	11	12-1	10-6	8-0
	Redwood pine	12	11-10	9-6	8-0
	Southern pine	13	10-3	10-1	8-0
10	Southern pine	10	11-8	9-6	8-0
	Southern pine	12	11-3	9-6	8-0
	Southern pine	12	10-8	10-1	8-0
	Redwood pine	10	8-9	10-1	8-0
12	Southern pine	15	11-8	9-6	8-0
	Southern pine	12	10-8	10-1	8-0
	Southern pine	12	10-3	10-1	8-0
	Southern pine	13	9-8	10-1	8-0
14	Southern pine	16	10-8	9-6	8-0
	Southern pine	12	9-18	9-6	8-0
	Southern pine	12	9-3	10-1	8-0
	Southern pine	13	8-8	9-6	8-0

	LOAD-BEARING VALUE OF 30K (psf)			
	1,500	2,000	3,000	≥ 4,000
Conventional light frame construction				
1-story	12	12	12	12
2-story	15	12	12	12
3-story	20	12	12	12
4-inch brick veneer over light frame or 8-inch hollow concrete masonry				
1-story	12	12	12	12
2-story	21	15	12	12
3-story	27	16	16	12
8-inch solid or half grouted masonry				
1-story	15	12	12	12
2-story	20	21	16	12
3-story	22	32	21	16

		TABLE THREE 3.121									
		PLC/SCADA IMPACT PAPER CONDUCTED IN SEPTEMBER 2007-2008									
		Overall trend in living water, 2004 trend - 40 gpd, 6.5% - 2007									
ASBEST contaminated wastewater	percentage of water quality	DEMAND LOADS - 10 gpd					SOLIDS LOADS - 20 gpd				
		2-8	9-9	10-10	11-10	12-10	2-9	9-9	10-9	11-9	12-9
		Organic matter present (gpd)									
		gpd/100	gpd/100	gpd/100	gpd/100	gpd/100	gpd/100	gpd/100	gpd/100	gpd/100	
11	Asbestos paper	15	1.7	14.7	13.0	10.7	12.5	14.8	7.0	15.0	15.0
	Asbestos paper	16	18.0	18.0	22.0	22.0	18.0	18.0	18.0	20.0	
	Asbestos paper	17	18.1	15.4	16.5	15.7	15.0	15.0	15.0	17.0	
	Asbestos paper	18	8.2	10.5	12.4	12.9	7.7	9.5	11.5	13.4	
	Asbestos paper	19	16.2	12.4	14.7	30.0	18.0	15.0	15.0	15.0	
16	Asbestos paper	20	3.0	13.1	16.1	15.2	16.0	17.5	5.0	17.5	
	Asbestos paper	21	9.4	13.1	16.0	16.0	9.4	10.0	13.0	15.0	
	Asbestos paper	22	5.1	11.1	16.0	15.0	15.0	15.0	15.0	15.0	
	Asbestos paper	23	5.1	11.1	16.0	15.0	15.0	15.0	15.0	15.0	
	Asbestos paper	24	9.4	11.1	16.0	15.0	15.0	15.0	15.0	15.0	
15-2	Asbestos paper	25	12.1	11.1	16.0	15.0	15.0	15.0	15.0	15.0	
	Asbestos paper	26	12.1	11.1	16.0	15.0	15.0	15.0	15.0	15.0	
	Asbestos paper	27	10.1	11.1	16.0	15.0	15.0	15.0	15.0	15.0	
	Asbestos paper	28	6.5	8.7	9.7	11.0	11.0	7.5	8.0	10.0	
	Asbestos paper	29	11.0	11.1	16.0	15.0	15.0	15.0	15.0	15.0	
24	Asbestos paper	30	11.0	11.1	16.0	15.0	15.0	15.0	15.0	15.0	
	Asbestos paper	31	11.0	11.1	16.0	15.0	15.0	15.0	15.0	15.0	
	Asbestos paper	32	11.0	11.1	16.0	15.0	15.0	15.0	15.0	15.0	
	Asbestos paper	33	11.0	11.1	16.0	15.0	15.0	15.0	15.0	15.0	
	Asbestos paper	34	11.0	11.1	16.0	15.0	15.0	15.0	15.0	15.0	

RAFTER SPECIES (Footnote)	SPACING AND GRADE	BEND LOAD = 60 psf				BEND LOAD = 90 psf			
		S-P		K-P		S-P		K-P	
		Span - feet	Span - inches	Span - feet	Span - inches	Span - feet	Span - inches	Span - feet	Span - inches
Members with open ends									
22	Common pine	18	21-6	19-2	22-3	18	21-6	19-2	22-3
	Common spruce	18	22-0	19-6	22-7	18	22-0	19-6	22-7
	Common fir	18	22-0	19-6	22-7	18	22-0	19-6	22-7
	Redwood	18	22-0	19-6	22-7	18	22-0	19-6	22-7
	Douglas fir	18	22-0	19-6	22-7	18	22-0	19-6	22-7
26	Common pine	18	22-0	19-6	22-7	18	22-0	19-6	22-7
	Common spruce	18	22-0	19-6	22-7	18	22-0	19-6	22-7
	Common fir	18	22-0	19-6	22-7	18	22-0	19-6	22-7
	Redwood	18	22-0	19-6	22-7	18	22-0	19-6	22-7
	Douglas fir	18	22-0	19-6	22-7	18	22-0	19-6	22-7
23.1	Common pine	18	22-0	19-6	22-7	18	22-0	19-6	22-7
	Common spruce	18	22-0	19-6	22-7	18	22-0	19-6	22-7
	Common fir	18	22-0	19-6	22-7	18	22-0	19-6	22-7
	Redwood	18	22-0	19-6	22-7	18	22-0	19-6	22-7
	Douglas fir	18	22-0	19-6	22-7	18	22-0	19-6	22-7
24	Common pine	18	22-0	19-6	22-7	18	22-0	19-6	22-7
	Common spruce	18	22-0	19-6	22-7	18	22-0	19-6	22-7
	Common fir	18	22-0	19-6	22-7	18	22-0	19-6	22-7
	Redwood	18	22-0	19-6	22-7	18	22-0	19-6	22-7
	Douglas fir	18	22-0	19-6	22-7	18	22-0	19-6	22-7

A D
AD Designs

3384 North Fulton
Ave. Atlanta GA
30354

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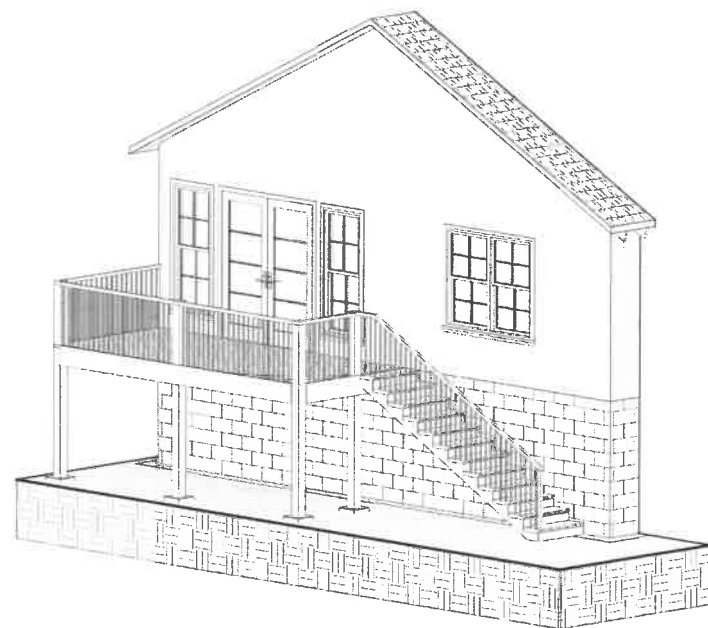
Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A106

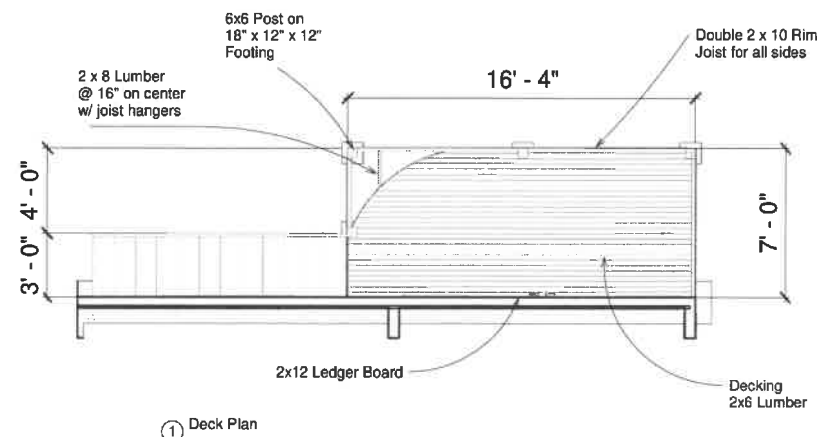
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② Deck View

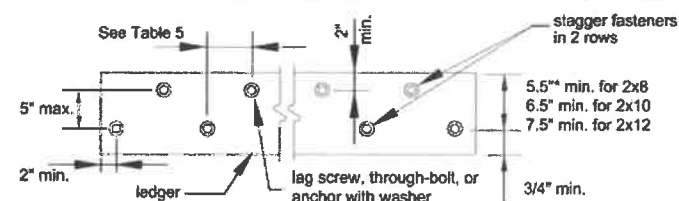


① Deck Plan

Beam Span, L _b	Joist Span L _j	Post Heights ¹					Footing Sizes ²		
		Southern Pine	Douglas Fir-Larch ³	Hem-Fir ³ , Western Cedars	Redwood	Ponderosa Pine, Red Pine, SPF ³	Round Footing Diameter	Square Footing	Footing Thickness ⁴
6'	≤10'	14'	14'	14'	14'	14'	18"	16"x16"	7"
	≤14'	14'	14'	14'	14'	14'	21"	18"x18"	8"
	≤18'	14'	14'	12'	14'	11'	24"	21"x21"	10"
8'	≤10'	14'	14'	14'	14'	14'	20"	18"x18"	8"
	≤14'	14'	14'	14'	14'	11'	24"	21"x21"	10"
	≤18'	14'	13'	11'	12'	8'	27"	24"x24"	11"
10'	≤10'	14'	14'	14'	14'	12'	23"	20"x20"	9"
	≤14'	14'	13'	11'	13'	8'	27"	24"x24"	11"
	≤18'	12'	11'	8'	11'	2'	31"	27"x27"	13"
12'	≤10'	14'	14'	12'	14'	10'	25"	22"x22"	10"
	≤14'	13'	12'	9'	11'	5'	30"	26"x26"	13"
	≤18'	11'	9'	6'	9'	2'	34"	30"x30"	15"
14'	≤10'	14'	13'	11'	13'	8'	27"	24"x24"	11"
	≤14'	11'	10'	7'	10'	2'	32"	29"x29"	14"
	≤18'	9'	8'	2'	8'	NP	37"	33"x33"	16"
16'	≤10'	13'	12'	10'	12'	6'	29"	26"x26"	12"
	≤14'	10'	9'	5'	9'	2'	35"	31"x31"	15"
	≤18'	7'	5'	2'	7'	NP	40"	35"x35"	18"
18'	≤10'	12'	11'	8'	11'	2'	31"	27"x27"	13"
	≤14'	9'	8'	2'	8'	NP	37"	33"x33"	16"
	≤18'	5'	2'	2'	6'	NP	42"	37"x37"	19"

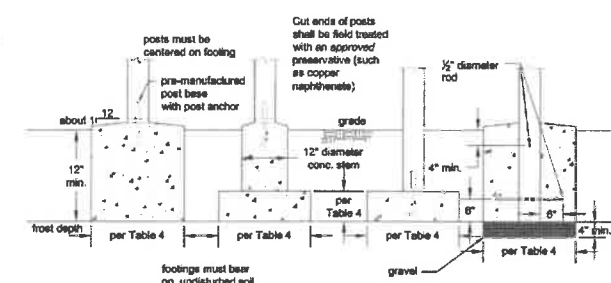
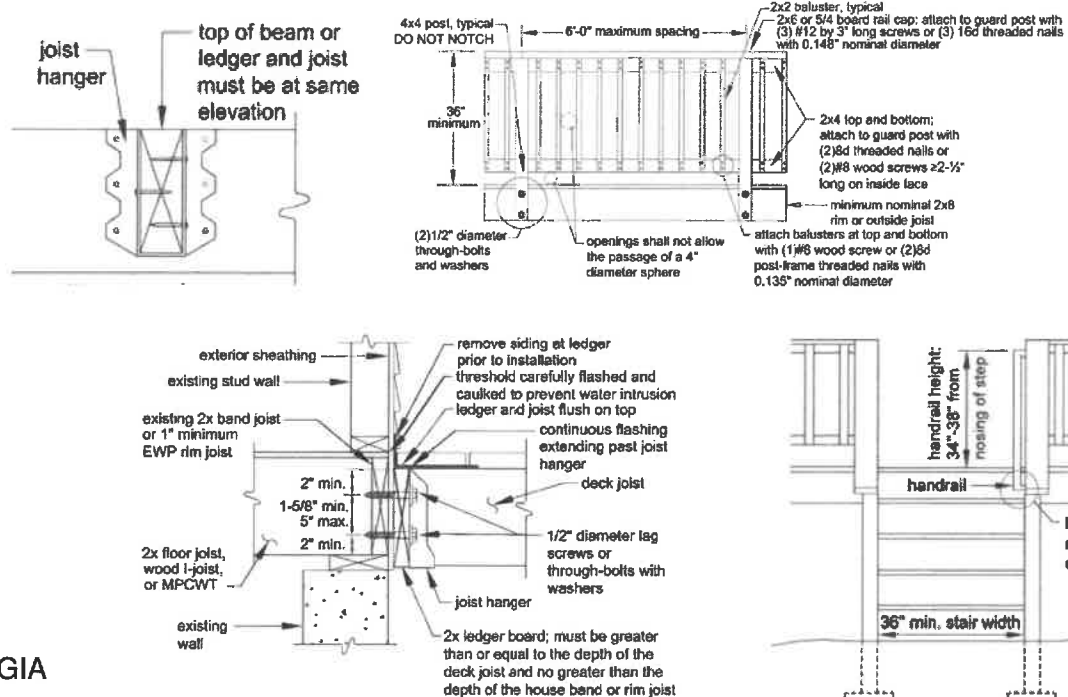
Table 5. Fastener Spacing for a Southern Pine, Douglas Fir-Larch, or Hem-Fir Deck Ledger or Band or Rim Joist and a 2-inch Nominal Solid-Sawn Spruce-Pine-Fir Band Joist or EWP Rim Joist.^{1,2,3,4,5,6}
(Deck Live Load = 40 psf, Deck Dead Load = 10 psf)

Joist Span	Rim Joist or Band Joist	6'-0" and less	6'-1" to 8'-0"	8'-1" to 10'-0"	10'-1" to 12'-0"	12'-1" to 14'-0"	14'-1" to 16'-0"	16'-1" to 18'-0"
On-Center Spacing of Fasteners								
1/2" diameter lag screw ¹ with 1-1/2" EWP	1" EWP	24"	18"	14"	12"	10"	9"	8"
1-1/2" maximum sheathing	1-1/2" Lumber	30"	23"	18"	15"	13"	11"	10"
1/2" diameter bolt with 1-1/2" EWP	1" EWP	24"	18"	14"	12"	10"	9"	8"
1-1/2" maximum sheathing	1-1/2" Lumber	30"	23"	18"	15"	13"	11"	10"
1/2" diameter bolt with 1-1/2" EWP	1-1/2" Lumber	36"	36"	29"	24"	21"	18"	16"
1-1/2" maximum sheathing and 1/2" stacked washers ²	1-1/2" Lumber	36"	36"	29"	24"	21"	18"	16"



Code Summary

International Residential Code 2012 Edition
CODE OF ORDINANCES CITY OF HAPEVILLE, GEORGIA
National Electrical Code 2017 Edition
International Plumbing Code 2012 Edition



stair guard is required for stairs with a total rise of 30" or more; see **GUARD REQUIREMENTS** for more information

stair guard height: 34" min. measured from nosing of step

Openings for required guards on the sides of stair treads shall not allow a sphere 4-3/8" to pass through.



Deck Plan

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker
A107	
Scale	