19-PC-09-19

CITY OF HAPEVILLE ECONOMIC DEVELOPMENT DEPARTMENT PLANNING COMMISSION APPLICATION

Name of Applicant Mailing Address: 160 Glendale Drive Rewitter ("by 6#50269")	
Property Owner (s)	Nume of Applicant
Property Owner (s)	Mailing Address: 100 Glendale Drive Peachtre City 6#30269
Mailing Address 8024 Fairack Ct. Joweshore Ch 30236 Telephone Mobile # Address/Location of Property: 261 Birch Street Parcel I.D. # (INFORMATION MUST BE PROVIDED): 14-094-0009-113-0 Present Zoning Classification: Size of Tract: ros acre(s) Present Land Use: Single Family Testdenthal Vacant Please check the following as it applies to this application Site Plan Review Conditional Use Permit Temporary Use Permit Other (Please State) I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I undestand that any inaccuracies may be considered just cause for invalidation of this application and any action token on this application. I understand that the City of Hapeville Georgia, reserves the right to enforce any and all ordinances. I further understand that it is in my/our responsibility to conform with all of City of Hapeville in the English language and/or his document has been read and explained to me and I have full and voluntarily completed this application. I understand that his been read and explained to me and I have full and voluntarily completed this application. I understand that his a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof. Applicant's signature Date: Signature Date: Signature Date: Signature Date: Signature Date: Signature	Telephone Email Cokedu Louke ad Coun
Address/Location of Property: 201 Birch Street Parcel I.D. # (INFORMATION MUST BE PROVIDED): 14-0094-0009_1/3-0 Present Zoning Classification: Size of Tract: 50 acre(s) Present Land Use: 51/4/4 Family Testdential Valunt Please check the following as it applies to this application Site Plan Review Conditional Use Permit Temporary Use Permit Other (Please State) I hereby make application to the City of Hapeville, Georgia for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves the right to enforce any and all ordinances. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or withings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof. Applicant's signature Date: 500 NEW ARM	
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This day of LIQUST, 20 CARY	Date: 8/3/41919
A A CALCULATION OF THE STATE OF	This day of LIGUS, 20 CARY

CITY OF HAPEVILLE ECONOMIC DEVELOPMENT DEPARTMENT PLANNING COMMISSION APPLICATION

WRITTEN SUMMARY

provided below. (Please type or print legibly.)					
Construct House	Single	family	residential		

CITY OF HAPEVILLE **ECONOMIC DEVELOPMENT DEPARTMENT** PLANNING COMMISSION APPLICATION

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

261 Birch street	t
itapeville GA 3	354
City of Hapeville, County of Fu	lton, State of Georgia
	THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED NT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING
Name of Applicant	D W Coot
	or Pachtree City 64 30354
Telephone of Applicant	
	Signature of Owner
	DAVID W Cook Print Name of Owner
Personally Appeared Before M Notary Public	e this 3 day of the AYSOM FENSON OF TARK TO TA
	5

CITY OF HAPEVILLE ECONOMIC DEVELOPMENT DEPARTMENT PLANNING COMMISSION APPLICATION

Date	
AUTHORIZATION OF ATTO	DRNEY
THIS SERVES TO CERTIFY THAT AS AN ATTORNEY-AT BY THE OWNER(S) TO FILE THE ATTACHED APPLOCATED AT:	
City of Hapeville, County of Fulton, State of Georgi	
	Name or Attorney
	Bar No.:
	Address
	Telephone

Site Plan Checklist - Please include with your application.

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan <u>must</u> contain the following information:

(Please <u>initial</u> each item on the list above certifying the all required information has been included on the site plan)



A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.



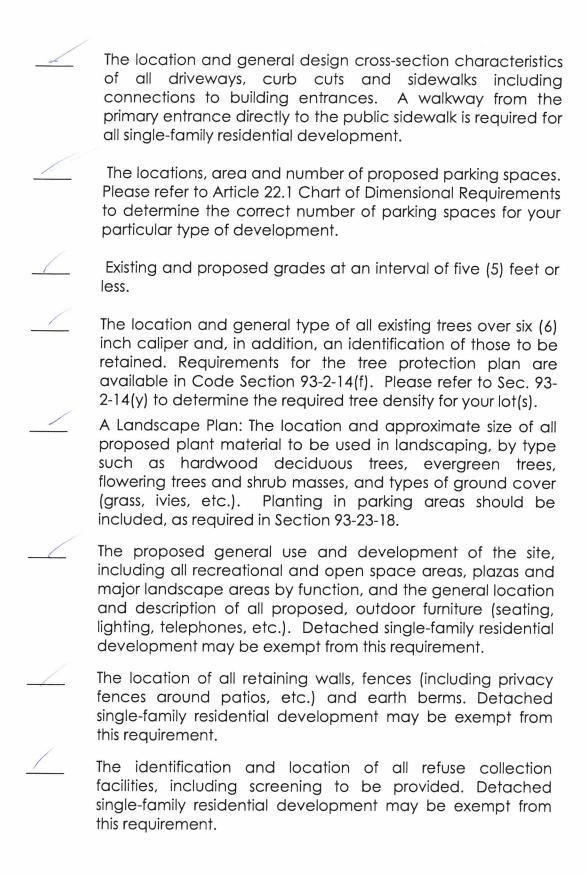
Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.



The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.



Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional sitting of adjoining structures, etc).



mily	Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.					
pela	Location and size of all signs. Detached single-family residential development may be exempt from this requirement.					
<u>/</u>	Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show <u>all</u> sides of a proposed building.					
	Site area (square feet and acres).					
	Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.					
<u></u>	Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.					
_/	Total floor area ratio and/or residential density distribution.					
	Number of parking spaces and area of paved surface for parking and circulation					
	At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.					
Please <u>initial</u> each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.						
Applicant Signature:						

Deed Book 59374 Ps 317
Filed and Recorded Oct-22-2018 11:33am
2018-0286680
Real Estate Transfer Tax \$37.00
CATHELENE ROBINSON
Clerk of Superior Court
Fulton County, Georgia

TPIN: 14 -0094-0009-113-0

WARRANTY DEED

Girardot & Associates, P.C. 4-A Lenox Pointe, NE Atlanta, GA 30324 18473

STATE OF GEORGIA COUNTY OF FULTON

THIS INDENTURE, Made this the 15th day of October, 2018 between

GRAVITOA, LLC

as party or parties of the first part, hereinafter called Grantor, and

TSLE LLC

as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable consideration in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee,

SUBJECT PROPERTY KNOWN AS 261 Birch Street, Hapeville (Fulton Co.) GA 30354 AND AS SHOWN ON EXHIBIT "A" HERETO WHICH IS INCORPORATED HEREIN.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoove the said Grantee forever in FEE SIMPLE.

AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons whomsoever.

IN WITNESS WHEREOF, the Grantor has signed and sealed this deed, the day and year above written.

sun o Ce

Witness

GRAVITOA, LLC

MANAGER MANAGER

NITHE HEUN

(SEAL)

(SEAL)

Deed Book 59374 Ps 318
CATHELENE ROBINSON
Clerk of Superior Court
Fulton County, Georgia

EXHIBIT "A"

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 94 of the 14th District of Futton County, Georgia, being Lot 22, Block F of Moreland Park Subdivision, as per plat recorded in Plat Book 19, Page 68, Fution County records, more particularly described as follows:

2.12.3

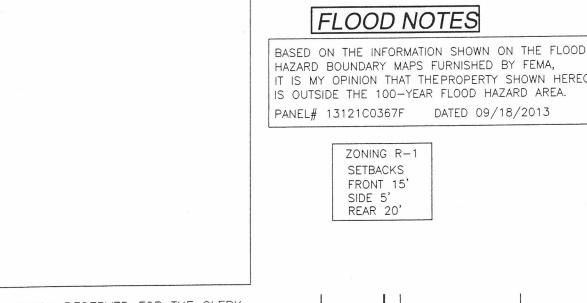
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direct _ - - 11

 $(x,y) = e_{x} \in \mathcal{C}$

BEGINNING at a point on the north side of Birch Street, two hundred (200) feet east from the northeast comer of Birch and Fifth Streets; thence north one hundred fifty (150) feet; thence east Fifty (50) feet thence South one hundred fifty (150) feet to Birch Street, thence west along the north side of Birch Street, fifty (50) feet to the point of beginning, being improved property having thereon a one-story concrete block house as shown by blue print of survey made by E. Z. Hulf, surveyor, dated April 18, 1947.

Property known as 261 Birch Street and Tax Parcel ID: 14-0094-0009-113-0 per records of Fulton County Tax Commissioner and plat maps of the Fulton County Tax Assessors office.



THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT

PARCEL ID# 14 009400091130 REF. DEED D.B. 50699, PG. 32 LOT 22 BLOCK F OF MORLAND PARK S/D PB.19, PG. 68 #261 BIRCH ST.

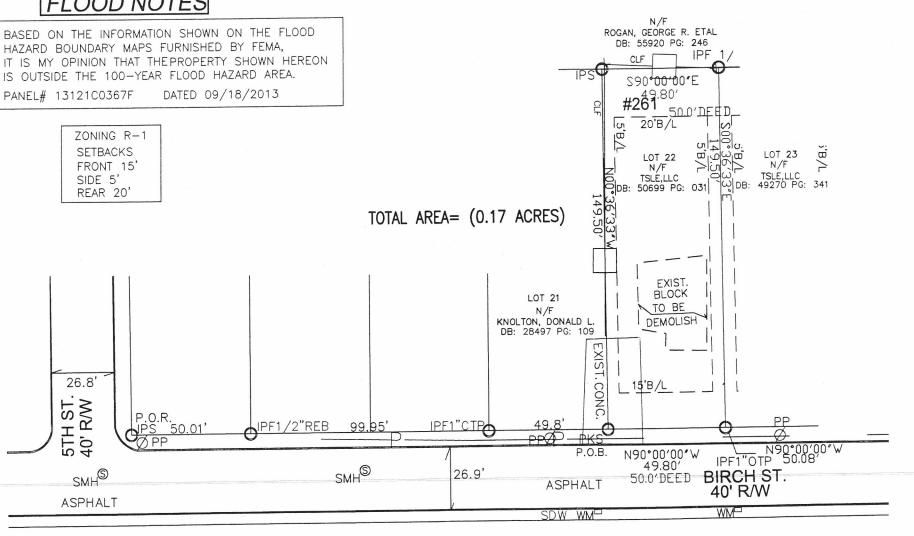
SURVEY ORDERED BY: NAME: DAVID COOK ADDRESS: 100 GLENDALE DR. PEACHTREE, CITY, GA 30269 PHONE (24HR.): 770-231-7215

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN (N/A) FEET, AND AN ANGULAR ERROR OF (N/A) PER ANGLE POINT, AND WAS ADJUSTED USING (N/A) COMPASS RULE. FIELD DATA WAS OBTAINED RADIALLY

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 398,600,000 FEET. EQUIPMENT USED GTS220

GENERAL NOTES

- 1. TOGETHER WITH ALL EASEMENTS RECORDED OR UNRECORDED.
- 2. LAST DATE OF FIELD SURVEY 07/31/19
- 3. ALL LINEAR DISTANCES SHOWN ON PLAT SHALL BE HORIZONTAL.
- 4. INFORMATION REGARDING THE PRESENCE, SIZE, AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THE INFORMATION IS BASED ON THE LOCATION OF ABOVE GROUND APPURTENANCES, AVAILABLE SITE PLANS, AND PAINT PLACED BY UNDERGROUND SERVICES. "NO CERTIFICATION IS MADE AS TO THE ACCURACY"
- 5. ALL BEARINGS AND DISTANCES WERE MEASURED AND USED.
- 6. This survey was prepared without benefit of a title report which may reveal additional conveyances, easements or rights-of-way not shown hereon.

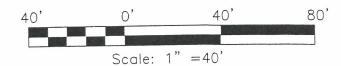


PURSUANT TO RULE 180-6.09 OF THE GEORGIA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS, THE TERM "CERTIFY" OR "CERTIFICATION" MEANS TO DECLARE A PROFESSIONAL OPINION REGARDING THOSE FACTS OR FINDINGS AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, NOR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in 0.C.G.A.Section 15-6-67.



A'NGEL M. MARRERO P.L.S. #2642 Certified Design Professional # 4479



LEGENDS OF SYMBOLS

GAS MARKER/GAS METER

IRON PIN SET 1/2" REBAR W/ CAP CURB AND GUTTER

CONCRETE MONUMENT FOUND

POINT OF BEGINNING POINT OF REFERENCE

OPEN TOP PIPE

PROPERTY LINE

RIGHT-OF-WAY

LAND LOT LINE

POINT ON LINE

STEEL POLE

GUY WIRE

HEADWALL

DROP INLET

WATER METER WATERLINE

- OVP- OVERHEAD POWERLINE

LANDSCAPING

CLEAN-OUT

GASLINE

POWER POLE

BACK OF CURB

FENCE CORNER EDGE OF PAVEMENT

PROPERTY CORNER

EXISTING JUNCTION BOX EXISTING WATER VALVE

EXSITING FIRE HYDRANT

TEMPORARY BENCH MARK BASE FLOOD ELEVATION

MINIMUM FLOOR ELEVATION

SINGLE WALL CATCH BASIN

DOUBLE WALL CATCH BASIN

OUTLET STRUCUTRE (RISER)

UNDERGROUND FIBER OPTICS

SANITARY SEWER MANHOLE SANITARY EASEMENT

FIRE DEPARTMENT CONNECTOR

EXISTING SANITARY SEWER MANHOLE

SANITARY SEWER LINE

PK NAIL SET (FOUND)

CHAIN LINK FENCE

AIRCONDITION UNITS

HEIGHT UNDERGROUND ELECTRIC

D.E. DRAINAGE EASEMENT

R.R.E. RAIL ROAD EASEMENT

OIPE

R/W

CMF

POL

FNC

EP PC

⊕SP

ØPP

GW

⋈ WV

T.B.M.

M.F.E.

►SWCB

△DWCB

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--ss-

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PKS (F)

S.S.E.

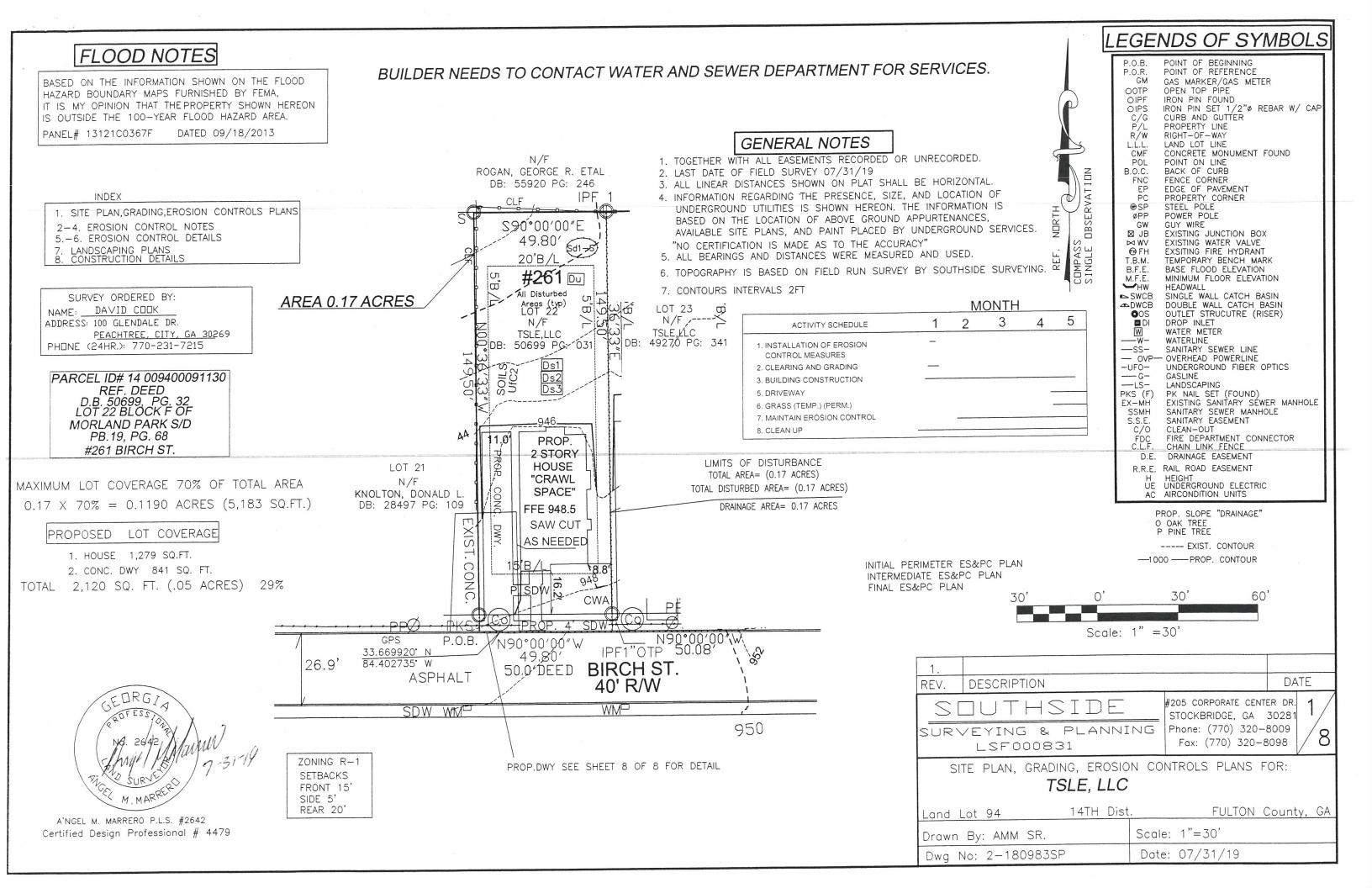
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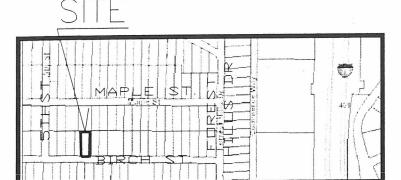
DBSERVATION

VORTH

IRON PIN FOUND

REV.	REV. DESCRIPTION			DAT	E	
		#205 CORPORATE CENTER DR. 1 STOCKBRIDGE, GA 30281		1/		
		NG	Phone: (770) 320-8009 Fax: (770) 320-8098		/1	
RE	RETRACEMENT SURVEY FOR:					
TSLE, LLC						
Land	Lot 94	14TH Dis	t.	FULTON (County	, GA
Drawn	By: AMM		Scale	e: 1"=40'		
Dwg No: 2-180983 Date: 0		: 07/31/19				





VICINITY MAP "NTS"

TERTIARY Permittee Operator Qualified Personnel

TSLE, LLC

CONTRACTOR

Land Surveyors (NPDES):

Land Lot 94

DEVELOPER:

14th Dist.

t.
Southside Surveying and Planning LLC.
#18 Atlanta Street
Mcdonough, GEORGIA 30253

.....

ADDRESS: 100 GLENDALE DR.
PEACHTREE, CITY, GA 30269

PHONE (24HR.): 770-231-7215

Description of Existing Land Use:

DAVID COOK

Site Purpose and Construction Activity:

One Residential Home

Site Description and Location:

LOCATION: LAND LOT 94,14th DISTRICT, Fulton COUNTY, GEORGIA SITE AREA: 0.17 ACRES
TOTAL AREA OF DISTURBANCE: 0.17 ACRES
SOIL TYPES: UFc2 (Urban Land)

Wetlands

THERE ARE NO WETLANDS LOCATED ON OR WITHIN 200' OF THIS SITE

Receiving Waters

UNNAMED TRIBUTARY TO SOUTH RIVER

State Waters

THERE ARE **NO STATE WATERS** LOCATED ON OR WITHIN 200' OF THIS SITE.

Drainage Description

Please refer to the Site Plan, prepared by Southside Surveying for more specific information concerning proposed drainage patterns and slopes.

Slopes After Grading Maximum Slope is 3:1

Erosion Control Measures

Structural and nonstructural controls will be used onsite to prevent erosion during construction including temporary and permanent grassing, silt fencing.

1. Site Description

The proposed site will be used for 1 Residential home

Approximately 0.17 acres of disturbed land will be utilized for this development. There will be numerous structural and nonstructural controls to be implemented throughout the site. Temporary vegetation as well as permanent vegetation will be strongly utilized and are essential for the development of this lot.

2. Controls

The following controls will be implemented at the construction site:

- 1. Initial perimeter controls will include silt fencing, and a crushed stone pad to be used at the construction exit.
- 2. Intermediate grading and drainage BMPS will include temporary grassing and Silt Fence
- 3. Final BMPs will include permanent grassing and landscaping.

Stabilization measures will be initiated as soon as practicable in portions of the site where construction activities have temporarily or permanently ceased, but in no case more than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Where the initiation of stabilization measures by the 14th day after construction activity temporarily or permanently ceases is precluded by snow cover or other adverse weather conditions, stabilization measures shall be initiated as soon as practicable. Where construction activity will resume on a portion of the site within 21 days from when activities ceased, (i.e., the total time period that construction activity is temporarily ceased is less than 21 days) then stabilization measures do not have to be initiated on that portion of the site by the 14h day after construction activity temporarily ceased.

OTHER CONTROLS

ALL WASTE MATERIALS WILL BE COLLECTED AND STORED IN A SECURELY LIDDED METAL DUMPSTER, THE DUMPSTER WILL MEET ALL SOLID WASTE MANAGEMENT REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF ONCE PER WEEK OR MORE OFTEN IF NECESSARY — AND TRASH WILL BE HAULED AS REQUIRED BY LOCAL REGULATIONS. NO CONSTRUCTION WASTE WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED ON PROPER PROCEDURES FOR WASTE DISPOSAL.A NOTICE STATING THESE PRACTICES WILL BE POSTED AT THE JOB SITE AND THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

SPILL PREVENTION & CONTROL

PETROLEUM BASED PRODUCTS, INCLUDING FUELS, LUBRICANTS, TRANSFORMER DIL, TARS, ETC., KEPT DN SITE SHALL BE STORED IN TIGHTLY SEALED CONTAINERS THAT ARE CLEARLY LABELED. ALL DN-SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE.
ASPHALT SUBSTANCES SHALL BE APPLIED AS LABELED. LOCAL, STATE, AND
MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE, TYPICAL EQUIPMENT AND MATERIALS FOR CLEANUP INCLUDE GLOVES, GOGGLES, RAGS, RESPIRATORS, CAT LITTER, SAWDUST, AND PROPERLY LABELED PLASTIC AND METAL WASTE CONTAINERS. SPILL PREVENTION PRACTICES AND PROCEDURES WILL BE REVIEWED AFTER A SPILL AND ADJUSTED AS NECESSARY TO PREVENT FUTURE SPILLS, ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY FOLLOWING DISCOVERY ALL SPILLS WILL BE REPORTED AS REQUIRED BY LOCAL, STATE, AND FEDERAL REGULATIONS. -- FOR SPILLS THAT IMPACT SURFACE WATER (LEAVE A SHEEN ON SURFACE WATER), THE NATIONAL RESPONSE CENTER (NRC) WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-426-2675. 1-800-426-2675.

"FOR SPILLS OF AN UNKNOWN AMOUNT, THE NATIONAL RESPONSE CENTER (NRC)

WILL BE CONTACTED WITHIN 24 HOURS AT 1-800-426-2675". FOR SPILLS GREATER

THAN 25 GALLONS AND NO SURFACE WATER IMPACTS, THE GEORGIA EPD WILL

BE CONTACTED WITHIN 24 HOURS", "FOR SPILLS LESS THAN 25 GALLONS

AND NO SURFACE WATER IMPACTS, THE SPILL WILL BE CLEANED UP AND

LOCAL AGENCIES WILL BE CONTACTED AS REQUIRED. THE CONTRACTOR SHALL NOTIFY

THE LICENSED PROFESSIONAL WHO PREPARED THIS PLAN IF MORE THAN 1,320

GALLONS OF PETROLEUM IS STORED ONSITE (THIS INCLUDES CAPACITIES OF EQUIPMENT) OR IF ANY ONE PIECE OF EQUIPMENT HAS A CAPACITY GREATER THAN 660 GALLONS. THE CONTRACTOR WILL NEED A SPILL PREVENTION CONTAINMENT AND COUNTERMEASURES PLAN PREPARED BY THAT LICENSED PROFESSIONAL.

Certification

"I certify that the permittee's Erosion, Sedimentation and Pollution Control Plan provides for an appropriate and comprehensive system of best management practices required by the Georgia Water Quality Control Act and the document "Manual for Erosion and Sediment Control in Georgia" (Manual) published by the State Soil and Water Conservation Commission as of January 1 of the year in which the land-disturbing activity was permitted, provides for the sampling of the receiving water(s) or the sampling of the storm water outfalls and that the designed system of best management practices and sampling methods is expected to meet the requirements contained in the General NPDES Permit No. GAR 100003."

Georgia Licensed Professional #4479 Date

Certification

"I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY

AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION."

ANGEL M. MARRERO, PLES

/-3/-/ DATE

Certified Design Professional # 4479

1.	1.					
REV.	REV. DESCRIPTION			DA	ATE	
SURVEYING & PLANNING LSF000831		#205 CORPORATE CENTE STOCKBRIDGE, GA Phone: (770) 320-8 Fax: (770) 320-8	30281 8009	2/ /8		
EROSION CONTROLS NOTES FOR:						
TSLE, LLC						
Land Lot 94 14TH Dist.				FULTON (Count	ty, GA
Drawn By: AMM SR. Sc			Scale	e: N.T.S.	TOTAL PROPERTY.	
Dwg No: 2-180983SP Date: 07/31			: 07/31/19			

HAZARDOUS WASTES

OTHER CONTROLS

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL, STATE, AND/OR FEDERAL REGULATIONS AND BY THE MANUFACTURER OF SUCH PRODUCTS. THE JOB SITE SUPERINTENDENT, WHO WILL ALSO BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED, WILL INSTRUCT SITE PERSONNEL IN THESE PRACTICES. MATERIAL SAFETY DATA SHEETS (MSDS's) FOR EACH SUBSTANCE WITH HAZARDOUS PROPERTIES THAT IS USED ON THE JOB SITE WILL BE OBTAINED AND USED FOR THE PROPER MANAGEMENT OF POTENTIAL WASTES THAT MAY RESULT FROM THESE PRODUCTS. A MSDS WILL BE POSTED IN THE IMMEDIATE AREA WHERE SUCH PRODUCT IS STORED AND/OR USED AND ANOTHER COPY OF EACH MSDS WILL BE MAINTAINED IN THE ESPCP FILE AT THE JOB SITE CONSTRUCTION TRAILER OFFICE. EACH EMPLOYEE WHO MUST HANDLE A SUBSTANCE WITH HAZARDOUS PROPERTIES WILL BE INSTRUCTED ON THE USE OF THE MSDS SHEETS AND THE SPECIFIC INFORMATION IN THE APPLICABLE MSDS FOR THE PRODUCT HE/SHE IS USING, PARTICULARLY REGARDING SPILL CONTROL TECHNIQUES.

"THE CONTRACTOR WILL IMPLEMENT THE SPILL PREVENTION CONTROL AND COUNTERMEASURES (SPCC) PLAN FOUND WITHIN THE ESPCP AND WILL TRAIN ALL PERSONNEL IN THE PROPER CLEANUP AND HANDLING OF SPILLED MATERIALS. NO SPILLED HAZARDOUS MATERIALS OR HAZARDOUS WASTES WILL BE ALLOWED TO COME IN CONTACT WITH STORMWATER DISCHARGES. IF SUCH CONTACT OCCURS, THE STORMWATER DISCHARGE WILL BE CONTAINED ON SITE UNTIL APPROPRIATE MEASURES IN COMPLIANCE WITH STATE AND FEDERAL REGULATIONS ARE TAKEN TO DISPOSE OF SUCH CONTAMINATED STORMWATER, IT SHALL BE THE RESPONSIBILITY OF THE JOB SITE SUPERINTENDENT TO PROPERLY THAIN ALL PERSONNEL IN THE USE OF THE SPCC PLAN.

PRODUCT SPECIFIC PRACTICES

PETROLEUM BASED PRODUCTS - CONTAINERS FOR PRODUCTS SUCH AS FUELS, LUBRICANTS, AND TARS WILL BE INSPECTED DAILY FOR LEAKS AND SPILLS. THIS INCLUDES ON-SITE VEHICLE AND MACHINERY DAILY INSPECTIONS AND REGULAR PREVENTATIVE MAINTENANCE OF SUCH EQUIPMENT, EQUIPMENT MAINTENANCE AREAS WILL BE LOCATED AWAY FROM STATE WATER, NATURAL DRAINS AND STORMWATER DRAINAGE INLETS. IN ADDITION, TEMPORARY FUELING TANKS SHALL HAVE A SECONDARY CONTAINMENT LLINER TO PREVENT/MINIMIZE SITE CONTAIMINATION. DISCHARGE OF DILS, FUELS, AND LUBRICANTS IS PROHIBITED. PROPERTY DISPOSAL METHODS WILL INCLUDE COLLECTION IN A SUITABLE CONTAINER AND DISPOSAL AS REQUIRED BY LOCAL AND STATE REGULATIONS.

"PAINTS/FINISHES/SOLVENTS - ALL PRODUCTS WILL BE STORED IN TIGHTLY SEALED DRIGINAL CONTAINERS WHEN NOT IN USE. EXCESS PRODUCT WILL NOT BE DISCHARGED TO THE STORMWATER COLLECTION SYSTEM. EXCESS PRODUCT, MATERIALS USED WITH THESE PRODUCTS AND PRODUCT CONTAINERS WILL BE DISPOSED OF ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

"CONCRETE TRUCK WASHING" - NO CONCRETE TRUCKS WILL BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ONSITE.

"FERTILIZER/HERBICIDES" - THESE PRODUCTS WILL BE APPLIED AT RATES THAT DO NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS OR ABOVE THE GUIDELINES SET FORTH IN THE CROP ESTABLISHMENT OR IN THE GSWCC MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA. ANY STORAGE OF THESE MATERIALS WILL BE UNDER ROOF IN SEALED CONTAINERS.

"BUILDING MATERIALS"-NO BUILDING OR CONSTRUCTION MATERIALS WILL BE BURIED OR DISPOSED OF ONSITE, ALL SUCH MATERIALS WILL BE DISPOSED OF IN PROPER WASTE DISPOSAL PROCEDURES.

EROSION CONTROL NOTES:

- 1. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- 2. ALL DISTURBED AREAS TO BE GRASSED AS SOON AS CONTRUCTION PHASES PERMIT.
- 3. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, LAND DISTURBING ACTIVITIES.
- 4. CUT AND FILL SLOPES SHALL NOT EXCEED 3H:1V ON ALL SLOPES
- 5. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- 6. AMENDMENTS/ REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMP'S WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL
- 7. INSPECTIONS BY CERTIFIED PERSONNEL PROVIDED BY THE TERTIARY PERMITTEE AND THE ASSOCIATED RECORDS SHALL BE KEPT ON SITE IN COMPLIANCE WITH GAR. 100003.
- 8. WASTE MATERIALS SHALL NOT BE DISCHARGED INTO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- 9. IT IS THE RESPONSIBILITY OF THE TERTIARY PERMITTEE TO PREPARE AND FILE THE NOTICE OF INTENT.
- 10. NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WRESTED VEGETATION WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES & PERMITS.
- 11. THIS ES&PC PLAN IS IN COMPLIANCE WITH WASTE DISPOSAL & SANITARY SEWER REGULATIONS DURING AND AFTER CONSTRUCTION (SEE SHEET NPDES FOR WASTE DISPOSAL NOTES).
- 12. 67 CY/ AC. SEDIMENT STORAGE SUBSTANTIALLY HANDLED BY PERIMETER SD1-S. 0.17 X 67 =11.4 C.Y. REQUIRED 410 LF X 0.083= 34.0 C/Y PROVIDED
- 13. SEDIMENT STORAGE VOLUME MUST BE IN PLACE PRIOR TO, AND DURING ALL LAND DISTURBANCE ACTIVITIES UNTIL FINAL STABILIZATION OF THE SITE HAS BEEN ACHIEVED.
- 14. CONTRACTOR MUST HAUL OFF ALL SOLID WASTE TO AN APPROVED LANDFILL. SOLID WASTE BURNING ON SITE IS PROHIBITED.
- 15. ADDITIONAL EROSION & SEDIMENT CONTROL MEASURES AND PRACTICES WILL BE INSTALLED IF DEEMED NECESSARY BY THE ON-SITE INSPECTOR.
- 16. EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED DAILY.
- 17. WEEKLY EROSION AND SEDIMENT CONTROL REPORTS SHALL BE SUBMITTED TO THE DEV. DEPT. STARTING WITH THE ISSUANCE OF THE DEV. PERMIT AND ENDING WHEN THE PROJECT IS RELEASED BY THE INSPECTOR.
- 18. WASHOUT OF THE CONCRETE DRUM AT THE CONSTRUCTION SITE IS PROHIBITED. SEE DETAIL SHEET# 5
- 19. No additional storm pipe added for this project.



A'NGEL M. MARRERO P.L.S. #2642 Certified Design Professional # 4479

1.					
REV.	DESCRIPTION				DATE
	OTHS /EYING & F LSF00083	PLANNI	NG N	#18 ATLANTA S MCDONOUGH, GA S Phone: (770) 320- Fax: (770) 320-8	30253
ER	JSION CONTR	ROLS NO	TES	FDR:	
	TSLE	E, LLC			
Land L	ot 94	14TH Dist.		FULTON (County, GA
Drawn	By: AMM SR.		Scale	e: N.T.S.	
Dwa N	o: 2-180983SP		Date:	: 07/31/19	

c. Tertiary Permittee.

- (1). Each day when any type of construction activity has taken place at a tertiary permittee's site, certified personnel provided by the tertiary permittee shall inspect: (a) all areas used by the tertiary permittee where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment; and (b) all locations at the tertiary permittee site where that permittee's vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.
- (2). Measure rainfall once every 24 hours except any non-working Saturday, non-working Sunday and non-working Federal holiday until a Notice of Termination is submitted. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region.
- (3). Certified personnel (provided by the tertiary permittee) shall inspect at least the following once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the tertiary permittee's construction site; (b) areas used by the tertiary permittee for storage of materials that are exposed to precipitation; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the tertiary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a

Inis paragraph is not applicable to utility companies and utility contractors performing our service line installations or when conducting repairs on existing line installations.

- (4). Certified personnel (provided by the tertiary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is submitted to EPD) the areas of their sites that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.
- (5). Based on the results of each inspection, the site description and the pollution prevention and control measures identified in the Erosion, Sedimentation and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following the inspection.
- (6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IV.D.4.c.(5) of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by the end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2. of this permit. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

F. Retention of Records.

- 1. The primary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:
 - a. A copy of all Notices of Intent submitted to EPD;
 - b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit;
 - c. The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5. of this permit:
 - d. A copy of all sampling information, results, and reports required by this permit;
 - e. A copy of all inspection reports generated in accordance with Part IV.D.4.a. of this permit;
 - f. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2, of this permit; and
 - g. Daily rainfall information collected in accordance with Part IV.D.4.a.(2). of this permit.
- 2. Each secondary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:
 - a. A copy of all Notices of Intent submitted to EPD;
 - b. A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit or the applicable portion of the Erosion, Sedimentation and Pollution Control Plan for their activities at the construction site required by this permit.
 - c. A copy of all inspection reports generated in accordance with Part IV.D.4.b. of this permit; and
 - d. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit.
- 3. Each tertiary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:
 - c. The design professional's report of the results of the inspection conducted in accordance with Part IV.A.5. of this permit;
 - d. A copy of all sampling information, results, and reports required by this permit;
 - e. A copy of all inspection reports generated in accordance with Part IV.D.4.c. of this permit;
 - f. A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit; and.
 - g. Daily rainfall information collected in accordance with Part IV.D.4.c.(2). of this permit.
- 4. Copies of all Notices of Intent, Notices of Termination, inspection reports, sampling reports (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation) or other reports requested by the EPD, Erosion, Sedimentation and Pollution Control Plans, records of all data used to complete the Notice of Intent to be covered by this permit and all other records required by this permit shall be retained by the permittee who either produced or used it for a period of at least three years from the date that the NOT is submitted in accordance with Part VI of this permit. These records must be maintained at the permittee's primary place of business once the construction activity has ceased at the permitted site. This period may be extended by request of the EPD at any time upon written notification to the permittee.



A'NGEL M. MARRERO P.L.S. #2642 Certified Design Professional # 4479

1.	1.					
REV.	REV. DESCRIPTION				DA	NTE .
SOUTHSIDE surveying & planning lsf000831		#205 CORPORATE CENTER DR. STOCKBRIDGE, GA 30281 Phone: (770) 320-8009 Fax: (770) 320-8098				
ERO	EROSION CONTROLS NOTES FOR: TSLE, LLC					
Land Lot 94 14TH Dist. FULTON Co			Count	y, GA		
Drawn By: AMM SR. Scale			Scale	e: N.T.S.		
Dwg No: 2-180983SP Date: 07/31/19						



(WITH MULCHING ONLY)

MATERIAL	RATE	DEPTH
STRAW OR HAY	2.5TON\ACRES	6"-10"
WOOD WASTE CHIPS, SAWDUST, BARK	6 TO 9TON/Ac	2"-3"
CUTBACK ASPHALT	1200GAL/Ac	
POLYETHYLENE FILM	SEE MANUFACTURER'S RECOMMENDATION	
GEOTEXTILE JUTE MATTING	SEE MANUFACTURER'S RECOMMENDATION	

Ds2 - DISTURBED AREA STABILIZATION

(WITH TEMPORARY SEEDINGS)

SPECIES	SEEDING RATE (LBS. PURE LIVE SEED)	PLANTING DATES
RYEGRASS (ANNUAL)	40 LBS/ACRE	AUGUST - APRIL
MILLET, PEARL	50 LBS/ACRE	APRIL - AUGUST
RYE	168 LBS/ACRE	AUGUST - DECEMBER

- 1. OTHER SPECIES MAY BE USED AS RECOMMENDED BY THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA"
- 2. LIME AND FERTILIZATION ARE REQUIRED
- 3. MULCHING SHALL BE REQUIRED AS DIRECTED BY THE ENGINEER USING DRY STRAW OR HAY AT A RATE OF 2.5 TONS/ACRE.

DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION)

SPECIES SEEDING RATE (LBS. PURE LIVE SEED)		PLANTING DATES
 BERMUDA, COMMON (HULLED)	6-10 LBS/ACRE	MARCH - JUNE
BERMUDA, COMMON (UN-HULLED)	6-10 LBS/ACRE	OCTOBER - FEBRUARY
FESCUE, TALL	30 -50 LBS/ACRE	AUGUST - OCTOBER MARCH - APRIL
LESPEDEZA	60 - 75 LBS/ACRE	JANUARY - DECEMBER

SD1- MAINTENANCE

Sediment shall be removed once it has accumulated to one-half the original height of the barrier. Filter fabric shall be replaced whenever it has deteriorated to such

an extent that the effectiveness of the fabric is reduced (approximately six months). Temporary sediment barriers shall remain in place until disturbed areas have been

permanently stabilized. All sediment accumulated at the barrier shall be removed and properly disposed of before the barrier is removed.

EROSION & SEDIMENT CONTROL

CODE	PRACTICE	DETAIL	MAP SCALE	DESCRIPTION
(Co)	CONSTRUCTION EXIT		#6	A CRUSHED STONE PAD LOCATED AT THE CONSTRUCTION SITE EXIT TO PROVIDE A PLACE FOR REMOVING MUD FROM TIRES TO PROTECT STREETS.
Ds1)	DISTURBED AREA STABLIZATION WITH MULCHING ONLY		Ds1	ESTABLISHING TEMPORARY PROTECTION FOR DISTURBED AREAS WHERE SEEDINGS MAY NOT HAVE A SUITABLE GROWING SEASON TO PRODUCE AN EROSION RETARDING COVER.
Ds2	DISTURBED AREA STABLIZATION WITH TEMPORARY SEED		Ds2	ESTABLISHING A TEMPORARY VEGETATIVE COVER WITH FAST GROWING SEEDINGS
Ds3	DISTURBED AREA STABLIZATION WITH PERMANENT VEG.	· 9 · 9	Ds3	ESTABLISHING A PERMANENT VEGETATIVE COVER
(Sd1)	SEDIMENT BARRIER TYPE-C		HAYBALES DR SILT FENCE	A BARRIER TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. IT MAY BE SANDBAGS. BALES OR STRAW OR HAY, BRUSH, LOGS AND POLES, GRAVEL, OR A SEDIMENT FENCE. THE BARRIERS ARE USUALLY TEMPORARY AND INEXPENSIVE.

St





A paved or short section of riprap channel at the outlet of a storm drain system preventing erosion from the concentrated runoff.

similar sites.

Controlling surface and air movement of

dust on construction site, roadways and

NOTES:

- OTHER SPECIES MAY BE USED AS RECOMMENDED BY THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA"
- 2. MULCHING, LIME AND FERTILIZATION ARE REQUIRED. CONVENTIONAL PLANTING SHALL UTILIZE RECOMMENDED RATES DESCRIBED IN THE "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA"
- 3. HYDRAULIC SEEDING MIXTURES SHALL CONSIST OF APPROPRIATE AMOUNTS OF SEED, MULCH AND FERTILIZER AS DIRECTED BY THE
- 4. SPECIES MAY BE MIXED TO OBTAIN OPTIMUM RESULTS.

5. APPLY AGRICULTURAL LIME AS PRESCRIBED BY SOIL TESTS OR AT A RATE OF 1 TO 2 TONS PER ACRE.



CONCRETE

WASHOUT

The concrete washout sign shall be installed

10 Mil Plastic liner shall be anchored with gravel-filled bags for below grade concrete

-Plastic line

within 30' of the temporary concrete washout facility.

washout facility.

SECTION B-B

SECTION A-A

Plastic line

Earthen berm

Plastic liner-

Plastic line over berm

Earthen berm-

Gravel-filled-

Gravel-- filled

bag

Black letters

Plastic liner -under berm side only)

CWA

Farthen berm

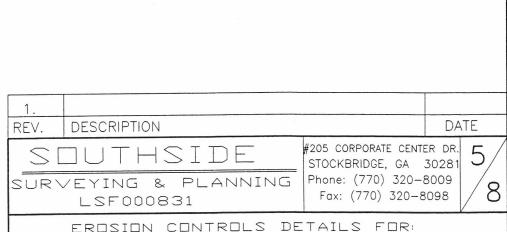
Gravel—filled bag

FACILITY ONLY

SITE IS PROHIBITED.

neight

A'NGEL M. MARRERO P.L.S. #2642 Certified Design Professional # 4479



CONCRETE TOOLS, MIXER CHUTES, HOPPERS & THE REAR OF V VEHICLES ARE TO BE WASHED DOWN IN TEMPORARY WASHDOWN

B-

Тур

Plastic liner placed under berm (entry side only)

Edge of Plastic Liner (See Note 2)

-WASHOUT OF THE DRUM AT THE CONSTRUCTION

Entry side of washout facility

18. WASHOUT CONCRETE DETAIL

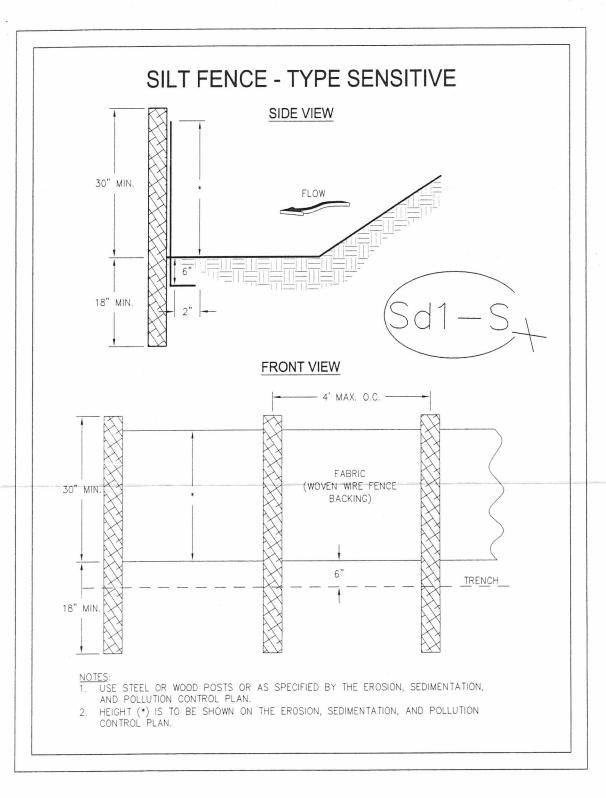




DUST CONTROL ON DISTURBED AREAS







CRUSHED STONE CONSTRUCTION EXIT **EXIT DIAGRAM** (IF NEEDED) **ENTRANCE ELEVATION**

AVOID LOCATING ON STEEP SLOPES OR AT CURVES ON PUBLIC ROADS. 2. REMOVE ALL VEGETATION AND OTHER UNSUITABLE MATERIAL FROM THE FOUNDATION AREA, GRADE, AND CROWN FOR POSITIVE DRAINAGE.

3. AGGREGATE SIZE SHALL BE IN ACCORDANCE WITH NATIONAL STONE ASSOCIATION R-2 (1.5"-3.5" STONE).

4. GRAVEL PAD SHALL HAVE A MINIMUM THICKNESS OF 6".

5. PAD WIDTH SHALL BE EQUAL FULL WIDTH AT ALL POINTS OF VEHICULAR EGRESS, BUT NO LESS THAN 20'.

6. A DIVERSION RIDGE SHOULD BE CONSTRUCTED WHEN GRADE TOWARD PAVED AREA IS GREATER THAN 2%.

. INSTALL PIPE UNDER THE ENTRANCE IF NEEDED TO MAINTAIN DRAINAGE DITCHES.

8. WHEN WASHING IS REQUIRED, IT SHOULD BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN (DIVERT ALL SURFACE RUNOFF AND DRAINAGE FROM THE ENTRANCE TO A SEDIMENT CONTROL DEVICE).

9. WASHRACKS AND/OR TIRE WASHERS MAY BE REQUIRED DEPENDING ON SCALE AND CIRCUMSTANCE. IF NECESSARY, WASHRACK DESIGN MAY CONSIST OF ANY MATERIAL SUITABLE FOR TRUCK TRAFFIC THAT

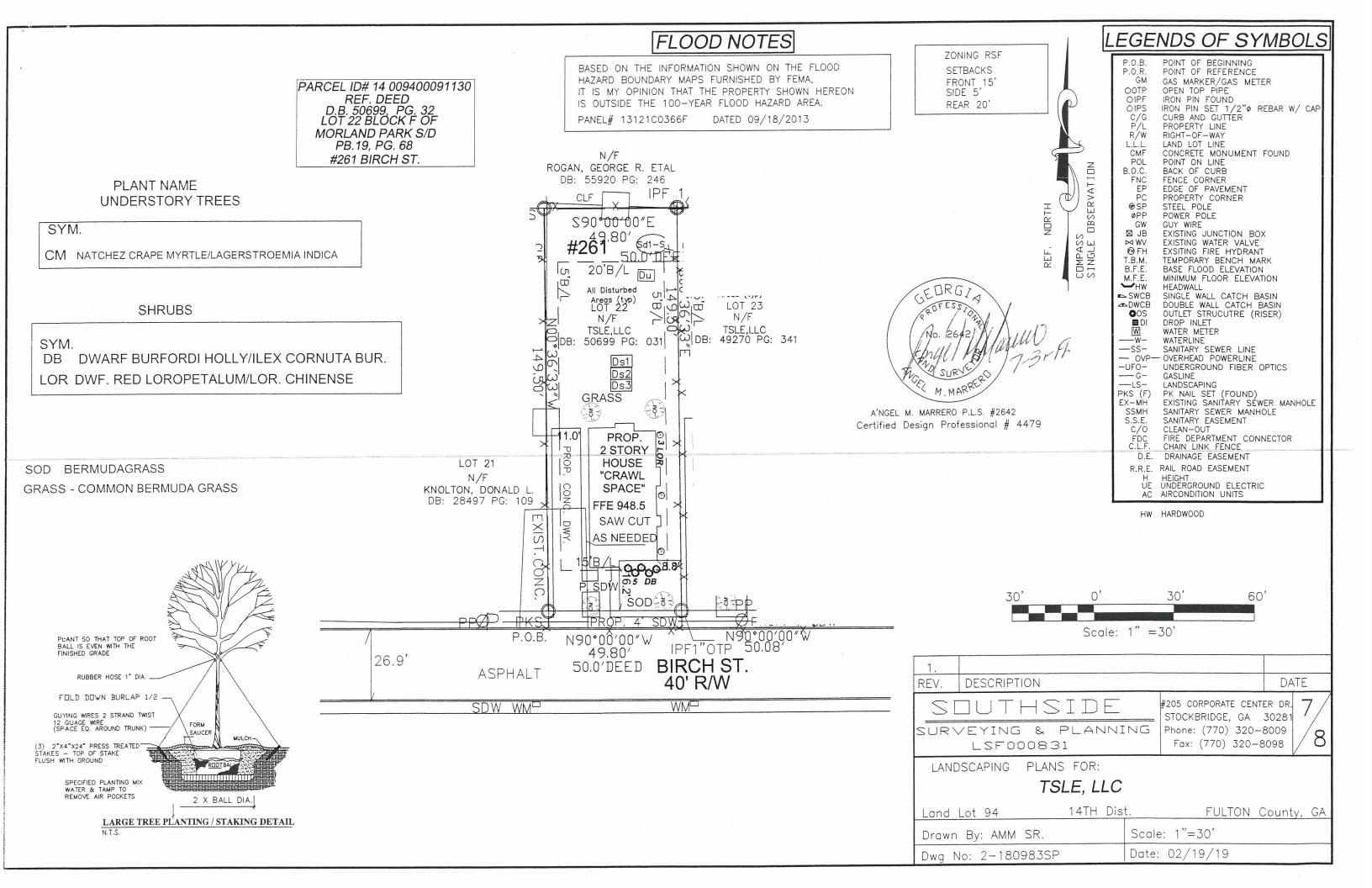
REMOVE MUD AND DIRT.

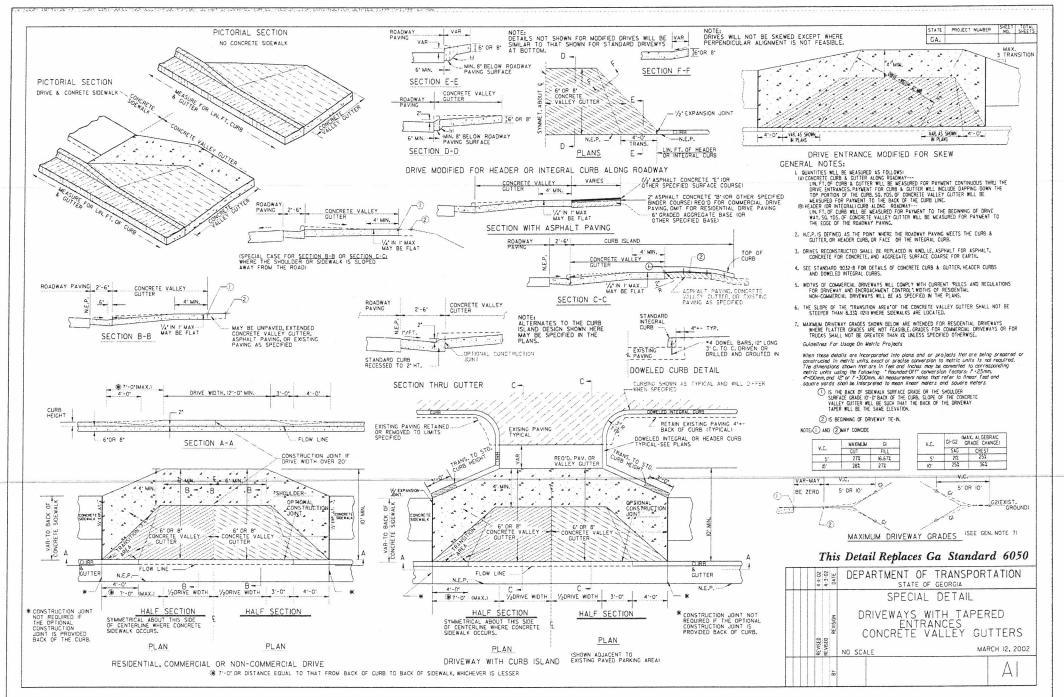
O.MAINTAIN AREA IN A WAY THAT PREVENTS TRACKING AND/OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.



A'NGEL M. MARRERO P.L.S. #2642 Certified Design Professional # 4479

1.						
REV.	DATE					
S	DUTHSI	DE	#205 CORPORATE CENT STOCKBRIDGE, GA	30281 0		
SUR	VEYING & PL LSF000831	Phone: (770) 320-8	1 / 0			
	EROSION CONTROLS DETAILS FOR:					
	TSLE, LLC					
Land	Lot 94 14	ATH Dist.	FULTON (County, GA		
Drawi	By: AMM SR.	Sco	ile: N.T.S.			
Dwg	No: 2-180983SP	Dat	te: 07/31/19	9		





LEGENDS OF SYMBOLS

POINT OF BEGINNING POINT OF REFERENCE P.O.R. GM GAS MARKER/GAS METER OOTP OPEN TOP PIPE OIPF IRON PIN FOUND OIPS IRON PIN SET 1/2" FEBAR W/ CAP CURB AND GUTTER PROPERTY LINE R/W RIGHT-OF-WAY LAND LOT LINE CONCRETE MONUMENT FOUND POL POINT ON LINE BACK OF CURB FNC FENCE CORNER EDGE OF PAVEMENT PROPERTY CORNER STEEL POLE **ØPP** POWER POLE GW GUY WIRE **⊠** JB EXISTING JUNCTION BOX EXISTING WATER VALVE ⊕ FH EXSITING FIRE HYDRANT T.B.M. TEMPORARY BENCH MARK B.F.E. BASE FLOOD ELEVATION MINIMUM FLOOR ELEVATION **HW** HEADWALL SINGLE WALL CATCH BASIN DOUBLE WALL CATCH BASIN OUTLET STRUCUTRE (RISER) SWCB **△**DWCB **0**0S **■** DI DROP INLET WATER METER WATERLINE --W----ss-SANITARY SEWER LINE - OVP- OVERHEAD POWERLINE -UFO-UNDERGROUND FIBER OPTICS ---- G-GASLINE --LS-LANDSCAPING PK NAIL SET (FOUND)

EXISTING SANITARY SEWER MANHOLE PKS (F) FX-MH SANITARY SEWER MANHOLE SSMH SANITARY EASEMENT S.S.E. CLEAN-OUT FIRE DEPARTMENT CONNECTOR CHAIN LINK FENCE D.E. DRAINAGE EASEMENT R.R.E. RAIL ROAD EASEMENT H HEIGHT UE UNDERGROUND ELECTRIC AC AIRCONDITION UNITS

HW HARDWOOD

PROPP. CONC. DWY AND SDW.

4"



A'NGEL M. MARRERO P.L.S. #2642 Certified Design Professional # 4479

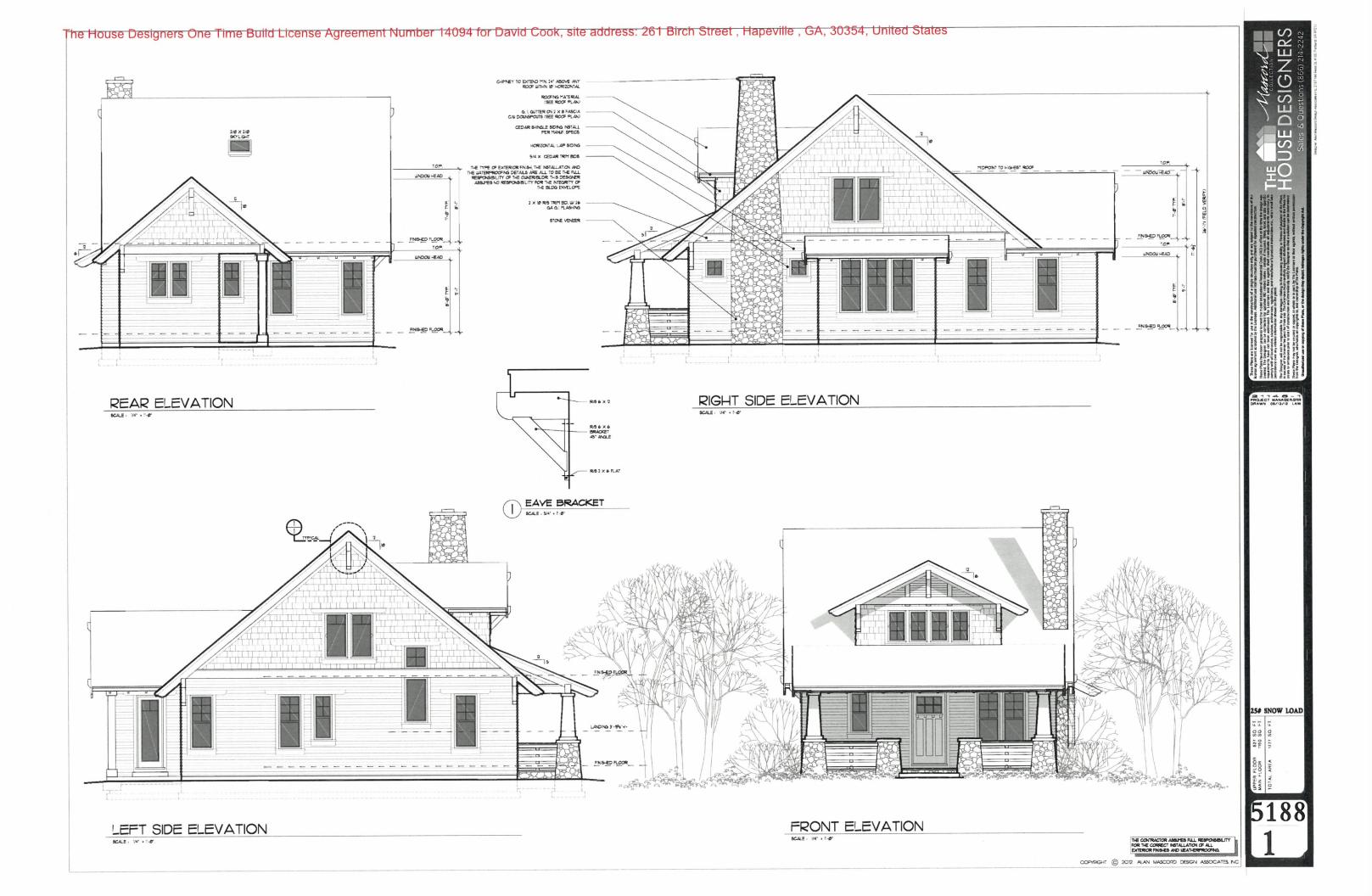
1. REV.	DESCRIPTION			DATE
SI	OTHS /EYING & LSF0008;	PLANNING	#205 CORPORATE CENTI STOCKBRIDGE, GA Phone: (770) 320-8 Fax: (770) 320-8	ER DR. 30281 8009
	DETAILS FOR	:		
	Т	SLE, LLC		
Land	_ot 94	14TH Dist.	FULTON C	County, GA

Drawn By: AMM SR.

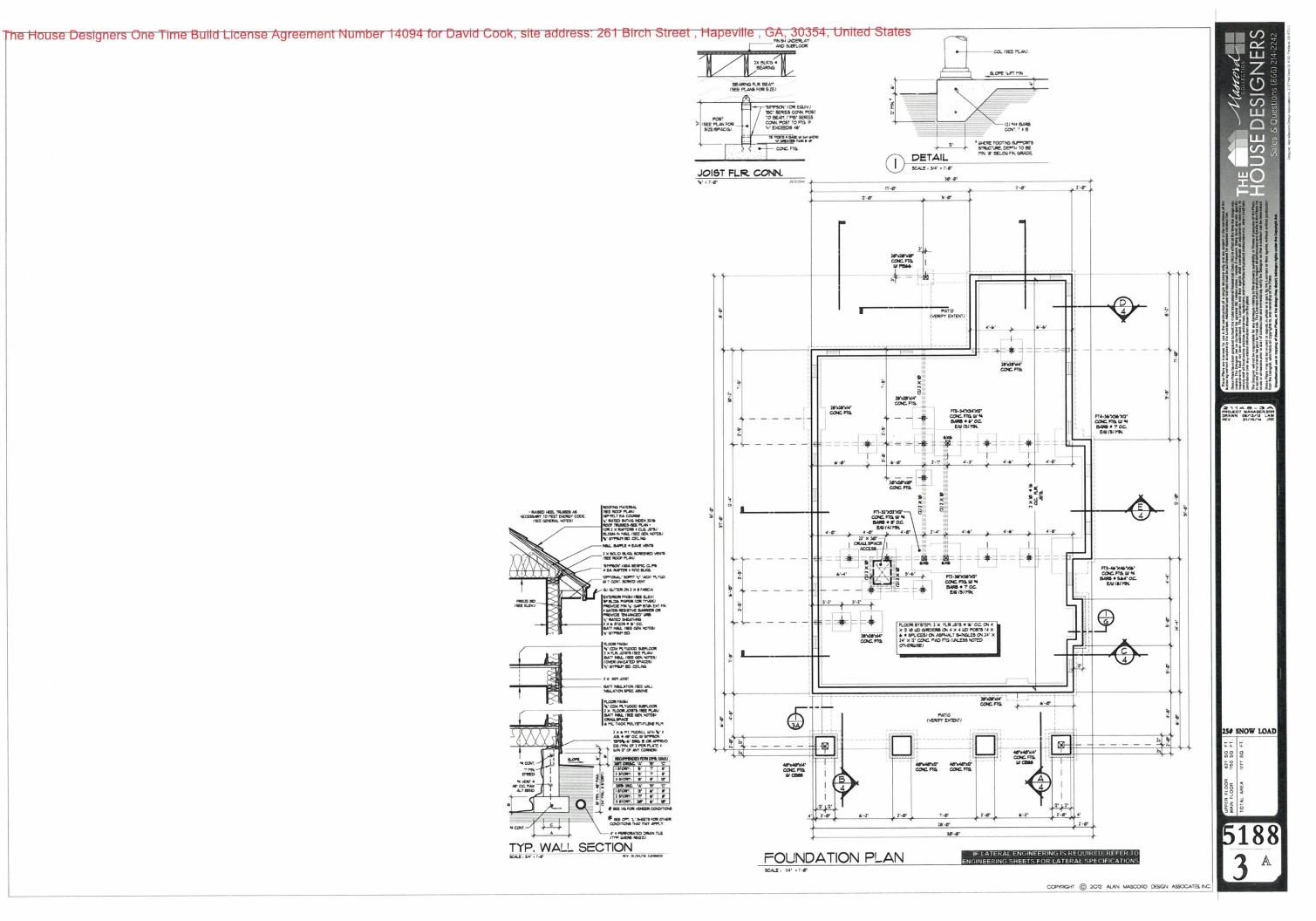
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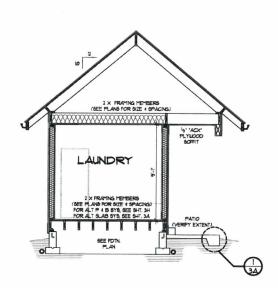
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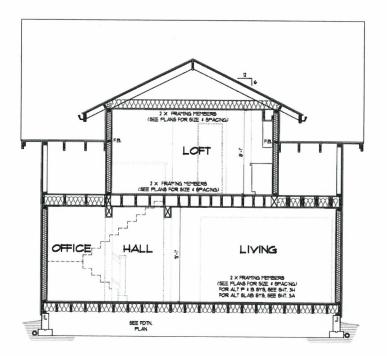
Date: 07/31/19

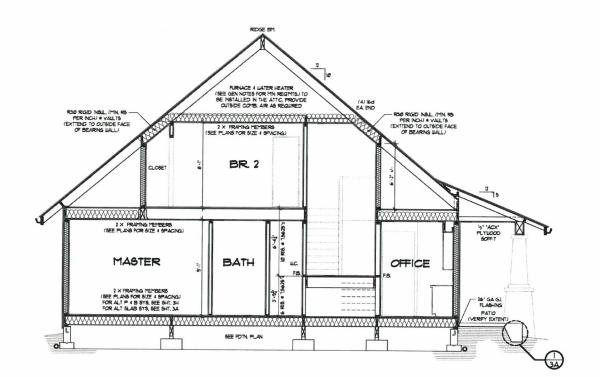


DESIGN USE 뿔 2 1 1 4 5 - 2 PROJECT MANAGERISAR DRAWN 06/13/12 LAW REV 01/16/14 JRE 25# SNOW LOAD 5188









BUILDING SECTION

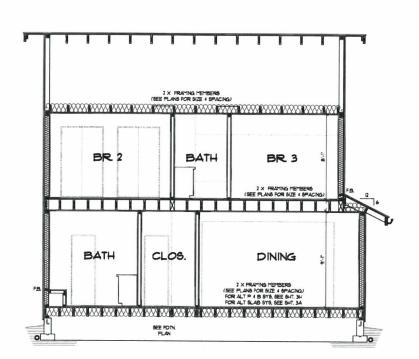
SCALE 1/4" + 1-89"

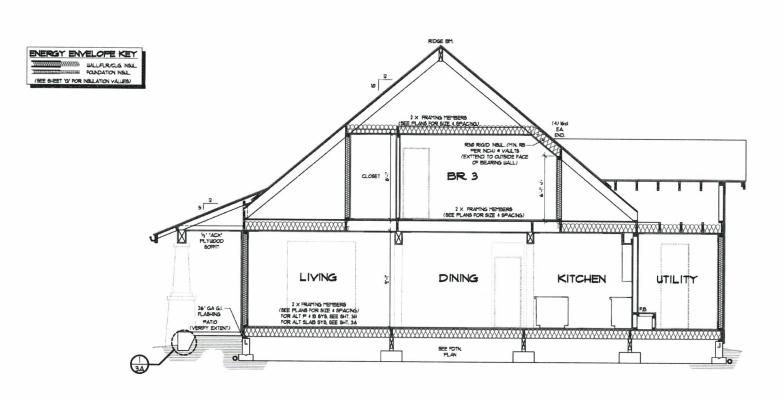
BUILDING SECTION

SCALE : 1/4' : 1-0'

BUILDING SECTION

SCALE : NOT - 17-0"





BUILDING SECTION

SCALE: 14" + 1"-0"

BULDING SECTION

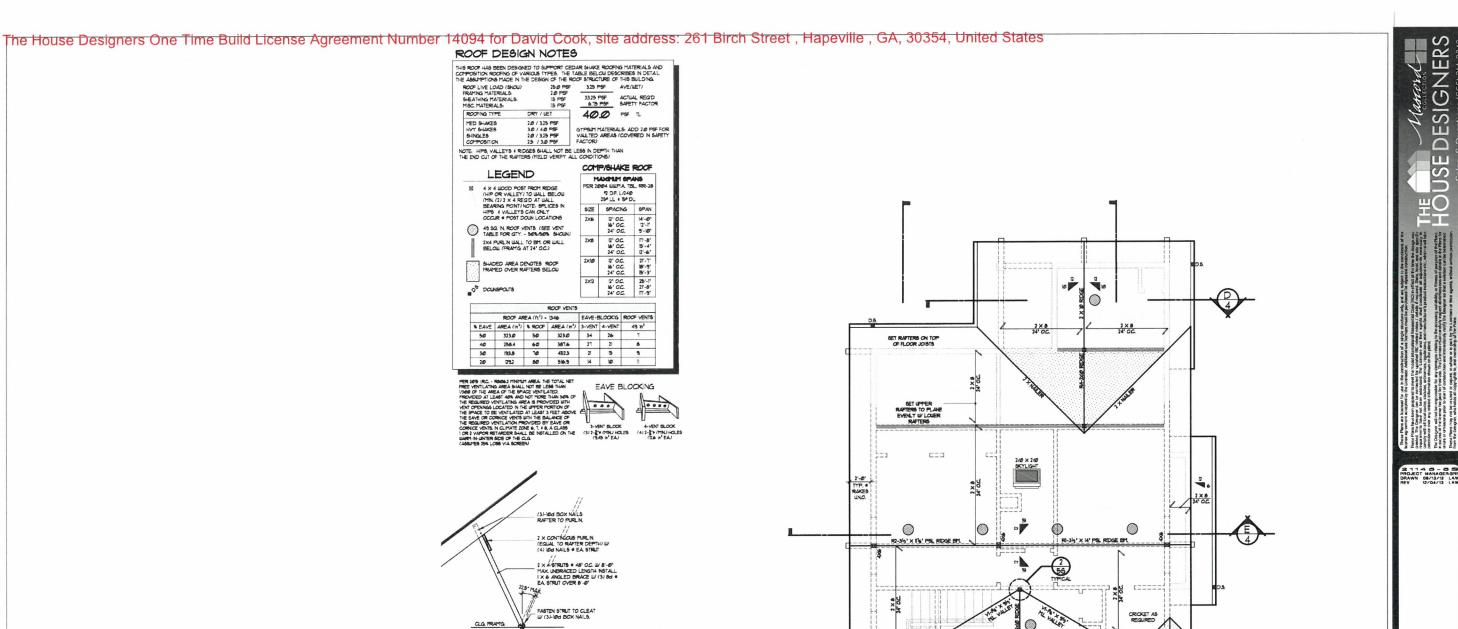
6CALE: 14" - 1"-6"

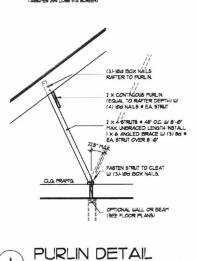
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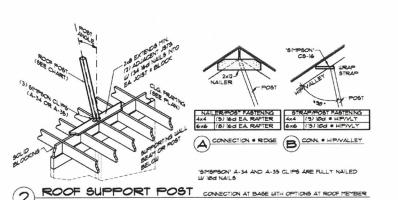
2 1 1 4.5 - 4.
PROJECT MANAGERISAR
DRAWN 08/13/12 LAW
REV 01/15/14 JRE
REV 12/04/13 LAW

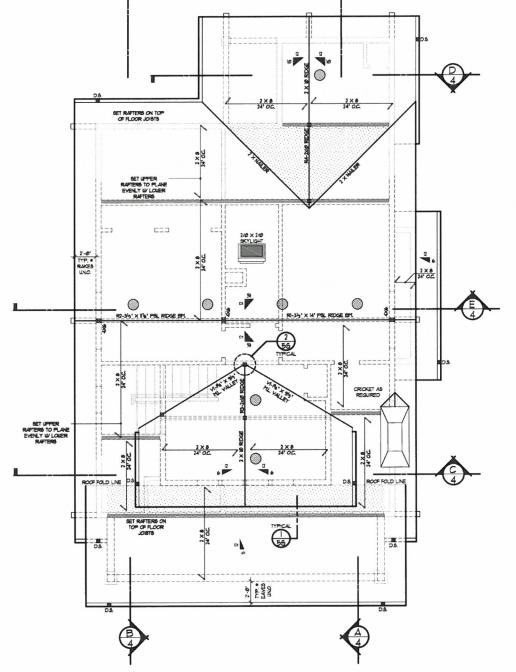
25# SNOW LOAD





SCALE : N. T. S.





ROOF FRAMING PLAN SCALE : 14' . 1'-0'

IF LATERAL ENGINEERING IS REQUIRED, REFER TO ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

25# SNOW LOAD

5188

House Designers One Time Build Lice se Agreement Number 14094 for Cook, site address: 261 Birch Street , Hapeville , GA, 30354, United States DISCLAIMER FOUNDATION NOTES:

THESE PLANS HAVE BEEN LICENSED TO THE CUSTOMER FOR USE IN THE CONSTRUCTION OF ONE BUILDING ONLY AND ARE SUBJECT TO THE CONSTRUCTION OF CICENSE ACCEPTED BY THE CUSTOMER, CHILDING SUBJECT TO THE CONSTRUCTION OF LICENSE ACCEPTED HIT PLANS BY ANY PARTY OTHER THAN THE CUSTOMER DECEPT ON LOAN BY PARTY OF THE CUSTOMER SUBJECT OF THE PLANS SUCH AS THE CUSTOMER WISE SUCH AS ANY SUBJECT OF THE PLANS SUCH AS ANY SUBJECT OF THE PLANS.

MASCORD PREPARES ITS PLANS CAREFULLY FOR USE BY ITS CUSTOMERS. HOWEVER, ADAPTATION OF THE FLANS TO HEET SPECIFIC STATE AND LOCAL BUILDING CODES AND REGULATIONS, AND SPECIFIC SITE CONDITIONS, IT FLE RESPONSIBILITY OF THE REGULATION OF AND SPECIFIC PLANS CONTRACTOR. IN ADDITION MASCORD MILL NOT BE RESPONSIBLE FOR ANY DAMAGES CONTRACTOR. IN ADDITION MASCORD MILL NOT BE RESPONSIBLE FOR ANY DAMAGES OF THE BULLATION TO THE ACCURACY AND OVERALL INTEGRITY OF THE PLANS IN DECENSION THE REPARENCE HAS TO ARRESTLY. IN ADDITION OF THE PLANS FOR EXPONSION OR OF CHISALIST AND FUND OF THE PLANS FOR EXPONSION OR CHISALIST.

GENERAL NOTES:

L ALL WORK IS TO COMPLY WITH THE LATEST ADOPTED VERSION OF THE 2015 INTERNATIONAL RESIDENTIAL CODE (I.R.C.) AND/OR ANY APPLICABLE STATE, COUNTY OR

THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR CHISSIONS PRIOR TO THE START OF CONSTRUCTION CUNRENCONTRACTOR SHALL VERIFY WITH LOCAL BLDG. DEPT. WHICH CLIMATE ZONE THE PROJECT WILL BE BUILT IN.

3. LIRITTEN D'MENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE THE DRAWNSS.

4. DESIGN LOADS

USE	4	DL
UNINHAB. ATTIC WO STORAGE	10	10
UNINHAB, ATTIC UV LIMITED STORAGE	20	10
HABITABLE ATTICS & ATTICS SERVED BY STAIR	340	100
BALCONES (EXTERIOR) 4 DECKS	40	10
GUARD RAILS I HAND RAILS	200	
GUARD RAIL N-FILL COMPONENTS	50	
PASSENGER VEHICLE GARAGE (3,000° POINT)	50	VARES
ROOMS OTHER THAN SLEEPING ROOMS	40	10
SLEEPING ROOMS	30	10
STARS	40	10

(F YOUR LOCAL AREA REQUIRES DIFFERENT DESIGN LOADS CONSULT WITH A LOCAL QUALIFIED PROFESSIONAL TO DETERMINE THE APPROPRIATE REVISIONS.)

5 NAULATION AND FENEATRATION REQUIREMENTS BY COMPONENTS

CLIMATE ZONE	1	2	3	4 Except Marine	5 And Marine 4	6	1 and 8	For Si: Foot = 3048 mm
FENESTRATION U-FACTOR »	NR	0.40	0.35	Ø35	Ø32	@32	032	UP TO 5 ft GLAZED
SKYLIGHT U-FACTOR b	0.75	045	055	Ø35	Ø35	0.55	Ø35	FENESTRATION 4 (1) SIDE HINGED SQLID DR UP TO
GLAZED FENESTRATION SHGC 0.0	025	Ø25	025	949	NR	NR	NR	24 R. IS PERMITTED TO BE EXEMPTED FROM THE
CLG R-VALLE	30	38	38	49	49	49	49	U-FACTOR SHGC REGITT (
MOOD FRAME	3	13	20 or 13-5 n	20 or 13-5 m	20 or 3-5 h	25 or 3-5 n	20 or 13-5 h	AREA ILEIGHTED AVERAG
MASS WALL R-VALUE	3/4	4/6	8/13	8/3	דוענו	5/20	19/21	OF FENESTRATION PRODUCTS SHALL BE
FLOOR R-VALUE	В	13	19	19	30 8	3Ø €	38 ⁸	PERMITTED TO SATISFY
BASEMENT WALL R-VALUE 6	0	0	5/13	16/3	B/19	15/19	5/19	THE U-FACTOR REQMTS SUPPLY DUCTS IN ATTICS
SLAB R-VALUE AND DEPTH d	0	0	0	10,2 h	10, 2 h	10, 4ft	10, 4ft.	SHALL BE INSULATED TO MIN. OF R-B. ALL OTHER
CRAIL SPACE	0	0	5/13	10/13	5/19	5/9	15/19	DUCTS SHALL BE NSULATED TO MIN. R-6

- R-values are minimus. U-factors and SHGC are maximus. Then insul, in installed in a cavity shirt in less then the label or design thickness of the fault, the healted R-value of the insul, the factor in the R-value specified in the table.

 The freestation U-factor colleges and loss excluded from glazed framework in Bucaption Regigns and loss excluded from glazed framework in Bucaption Regigns and loss excluded from glazed framework in Bucaption Regigns and loss excluded from glazed framework in Bucaption Regigns and loss excluded from glazed framework in Bucaption Regigns and loss excluded from glazed framework in Bucaption Regigns and Regigns and

NFLTRATION. THE SEALING METHODS BETWEEN DISSIPILAR MATERIALS SHALL ALLOWFOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL SEC CALLED GASGETED, JEAN-ERSTRIPPED ON OTHERWISE SEALED WITH AN MIS BARREST MATERIAL, SULFALE FILM OR SOLD MATERIAL.

TESTING DIELLING SHALL BE TESTED TO VERFY LEAKAGE RATE DOES NOT EXCEED 3 AR CHANGES FER HOU IN 2048 I 12, AND 3 AR CHANGES FER DALE IN 2048 3 % SO IS, CORP DR TEST AT A PRESSURE OF 81 IN 10 APRIL 12 APRIL 12

ISE AGREEMENT NUMBER 1 4494 T
SPACE BERNEW MENDAGROOM JAHES HARMAN DA ORICHIES HARMAN DA
DUCTIS, SHATIS, UTLITY PRETRATION I FULL SHATIS OF SHING TO SHIN. OR HUCCONDITIONED SPACE
JACTICA OF PRODUCTION I SILL FLAT JACTICA OF THE OPE FLITE I FOR OF SILL TO BE ADD
MACE RESISTER SCOTE IN ALT PRETRATION BUCK THEY ARE DIVE I SILL TO BEAUTION SHATIS
MACE RESISTER SCOTE IN ALT PRETRATION TO THE SILD THEY ALL INVIDENCE SHALL IS ART TOM!

SERVICES AND THE TOWN OF THE TOWN OF THE SILL THEY ARE AND THE STATE OF THE S

CANTES N. IAL. CORRESS 4 LOSS TO SE RILLY NOLLESS OF SIVE 4 SHALL SE SEALED. R.CORS, NOLLDING, ARDAE GANGE AND CANTESHES PLOCES - NOLL, SHALL SE NISTALLED TO THATAIN FERNINGHI CONTACT WITHOUT SEAL CONTROL OF SHALL SHALL SHALL CONTROL OF SHALL CONTROL OF SHALL SHALL SHALL CONTROL OF SHALL CONTROL OF SHALL SHALL CONTROL OF SHALL CONTROL OF SHALL SHALL CONTROL OF SHALL SHALL CONTROL OF SHALL CONTR

U-ERÉ PROVIDED « CRAILÉPACE, IN LEU OF FLOOR INSL., INSL. SHALL BE FERMAINILY ATTACHED TO THE CRAILÉPACE JALLÉ, DIPOSED EARTH IN INVENTED EARTH SHALL BE COVERED WITH A CLASS-I VAPOR RETARDER W OVERLAPPHOL JOINT 1 JAPED.

BATT NOL. SHALL BE GIT NEATLY TO FIT AROUND WRING & PLUPBING IN BXT, WALLS WITHOUT VOIDSGAPS, AR BARRER SHALL EXTEND BEHND ELECTRICALICOPPLANCATION BOXES OR NISTALL AR SEALED BOXES. EXT. BALLS ADJACENT TO TUBSISHOLERS TO BE INSULATED AND AIR BARRER SHALL SEPARATE THE INSULATED BALL FROM THE SHOLERY US.

6. ALL EXPOSED NBLL TO HAVE A PLANE SPREAD RATINS NOT TO EXCEED 75. SHOKE-DEVELOPED NOEX NOT TO EXCEED 466, UNENT RESTED IN ACCORDANCE WITH ASTINES AN OFFILE TO, AND WERE INSTALLED ON ATTIC FLOORS, ALL HAVE A GRETCAL RADIANT FLUX NOT LESS THAN SIZE MIST PERS of PER ASTINE TO.

8. ALL WINDOWS WITHIN 14" OF ANY DOOR (REGARDLESS OF WALL PLANE), AND WHOSE BOTTOM EDGE IS LESS THAN 66" ABOVE FLOOR OR WALKING SUFFACE SHALL HAVE TET-PERED GLAZING. 9. SKYLIGHTS ARE ASSUMED TO BE PREMER UNIT SKYLIGHTS, UNIT SKYLIGHTS SHALL COMPLY WITH THE RECURREMENTS OF ARMADISMACSA 1899 57/44460

I. ALL DITEOR WOOLS, AND TO BE COURSE (AUSDIN AD ALL DITEOR) COOPS AND TO SE GLID COOPS WITH HEAT PROPERTIES, PROVIDE (FOR PALES AS INCOME ALL DITEORS COORS AND INCOME OF THE PROVIDE REPRIVATE SET AND INCOME WITH TO SEE A SERVICE PROVIDE REPRIVATE SET AND THE PROVIDE REPRIVATE REPRIV

TO 7. CLAING IN DOORS ARE INCLOSURED FOR HOT TIESS SHEEFFOLD, SAMAS STEAM ROOMS, SATHRIBS 1 SOCIES, AND IN ANY PART OF A SALEDAY SALE PARCOLAND THE OFFINE SHEEF SOUTHER DOOR OF CLAIMS IS LESS AND HAVE SHEEFFOLD FOR THE SALE PARCOLAND AND SHEEFFOLD SHEEFFOLD THE SALE PARCOLAND AND SHEEFFOLD SHEEFFOLD TO SEE

B. ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, EXTERIOR LOCATIONS AND GARAGES SHALL BE GFLOR GFL. PER NATIONAL ELECTRICAL CODE (NE.G.) REQUIREMENTS.

b. NITEGER EXTENSION FAME SALL HAVE A FEME TO LILETANT THE STATE NAME AND ANOMALY PRECIDENT AND AN EXTENSION FAME OF A STATE OF ROTHER SHALL HAVE THE REQUESTED LIGHTED AS THE PRODUCT VICINITY OF THE TIPS 4 BOTTOM OF THE STATES. DISTRIBUTE SHALL HE PROVINCED HIT AN ARTIFICIAL LIGHT BOARDES CONTROL DISTRIBUTE OF THE PROPERTY OF THE TIPS AND AND AND ANY EXTENSION OF THE PROPERTY OF THE PROPERTY

II. PROVIDE COMBISSION AR VINTS (IF SOMEN AND BACK DAMPERS FOR PREPLACES, SOOD STOVES, AND ANY APPLIANCES SITE AS OPEN PLAYE PREPLACE FLEE DAMPERS SHALL BE TIGHTLY FITTING AND OPERATED SY A READLY ACCESSING. I FAMILL, OR APPROVED AUTOMATIC CONTROL.

S. LOCAL DAMAST. BATHROOTS-TOLET ROOTS, UTILITY ROOTS I ROOM SURTHING POOLS I SPAS ARE TO BE VISITED BIT A PING CHARLE OF PROCESSA A THIS SO OTH MISSENTITIST OR 30 OFF COME. AND KITCHES THE PERSON OF THE PERSON OF THE PROCESSA A THIS SECTION OF THE PERSON OF THE PER

26. SPECIFIC HANGACTURES AND MATERIALS DEPICTED ON THESE PLANS ARE AN NOIGATION OF QUALITY AND STREAMIN, VERTHY ALL COMMISSIONS MATERIAL QUESTITUTIONS WITH DURBENT AFTH LOADLE BUILDING CODES AND LOCAL BUILDING OFFICIALS PROCE TO INSTALLATION & SUBSTITUTION ST.

21. THIS DESIGN, UNLESS PURCHASED WITH ITS SPECFIC ENGINEERED ANALYSIS, HAS NOT BEEN REVEILED FOR ANY SPECFIC LATERAL DESIGN REQUIREMENTS.

I, FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL DEVOID OF ANY ORGANIC MATERIAL AND STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW THE FINAL GRADE.

 CONTINUOUS FOOTINGS ARE DESIGNED FER 1075 IRC TABLE RADIXITY - SOIL BEARING VALUE OF 5000 PGF, 30° SNOW LOAD, LIGHT FRAME CONSTRUCTION BASED ON 32° WIDE HOUSE WITH CENTER BEARING WALL. 3. MAX. BLOPE OF CUTS AND FILLS TO BE TWO (2) HORIZ. TO ONE (1) VERT, FOR BLDG, STRUCTURES, AND FOTINS. 4. ANY FILL UNDER GRADE SUFFORTED SLASS TO BE A HIN OF 4" IN GRANLAR MAT. COMPACTED TO \$50.

- BASEMENT WALLS & FOUNDATIONS NOT EXPOSED TO WEATHER:	2,500 PSI	MORTAR & GROU
- BASEMENT & INTERIOR SLABS ON GRADE:	2,500 PSI	MER REQMIS
- BASEMENT WALLS & FOUNDATIONS EXPOSED TO THE WEATHER, AND GARAGE SLABS	3,000 PSI	1
- PORCHES, STEPS, 4 CARPORT SLABS EXPOSED TO LEATHER	3,500 PSI	1

6. GARAGE FLOORS TO SLOPE VEHT MIN. TOWARDS OFFENIS AS REQUIRED FOR DRAINAGE. CONCRETE SLASS TO HAVE CONTROL JONTS AT 25" FT. MAKU INTERVALS BA. BAY, SLASS ARE TO BE 9-TS. AR ENTRAINED.

- T. CONCRETE SIDEBALKS TO HAVE 3/4" IN TOOLED JOINTS AT 5" FT. (MINU OC.
- 8. REINFORCING STEEL TO BE A-65 GRADE 66. WELDED OFTIONAL WIRE MESH TO BE A-195 9. EXCAVATE SITE TO PROVIDE A MIN OF B' CLEARANCE UNDER ALL GIRDERA

PROVIDE A INN OF 150 FT. OF VENTLATION AREA FOR EACH 500 50 FT. OF CRAIL SPACE AREA.
LOCATE VENTS TO PROVIDE CROSS VENTLATION OF THE SPACE. FT.C. ASS 1 VAPOR RETARDER VEY USE
PROVIDE 150 FT. OF VENTLATION AREA FOR EA. 50 SET, OF CRAIL SPACE AREA, AND VENTS TO SEE
THEN, I FACED TO PROVIDE CROSS VENTLATION, EXCEPT ON ESCO. OF SILLIPSON NAT. HAVE NO VENT.
THEN, I FACED TO PROVIDE CROSS VENTLATION, EXCEPT ONE SICK OF SILLIPSON TO SICKLY OF APPROVIDE
TENNALT REPORT OF CROSS VENTLATION.

2. ALL MOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED OR PROTECTED WITH 559 ROLL

B. BEAM POCKETS IN CONCRETE TO HAVE IG' IN AIRSPACE AT SIDES AND ENDS WITH A MIN BEARING OF

B. PROVIDE HIN 19" X 24" CRAILEPACE ACCESS THROUGH FLOOR OR HIN 16" X 24" CRAILEPACE ACCESS THROUGH BALL.

FRAMING NOTES:

LALL EXTERIOR WALL OPENINGS (BEARING WALL OPENINGS TO HAVE 4 X 19 HEADERS UNLESS OTHERWISE INDICATED). IF BUILDING BUILT WITH 88%, IN STUDS USE 4 X 5 HEADERS UNLESS OTHERWISE IN OTED ON THE RUAN.

2. ALL EXTERIOR WALLS TO BE BUILT OF 3 X 6 STUD6 4 IS* OC. TYPICALLY UNLESS NOTE OFFICERAL ALL INTERIOR WALLS AND TO BE BUILT OF 3 X 4 STUD6 8 IS* OC. TYPICALLY WALESS NOTE OFFICERISES. ALL INTERIOR WALLS SUPPORTENS THO OF TO FORE FLOORS AND FORE TO THE TO THE

ALL TETAL CONSISTIONS TO BE "SYMBON" OR EQUIVALENT, UNO, JOSTS HAS ON FLUSH BANKS TO BE ATTACHD UST HIDS OR EQUIVALENT, TALTIFLE JOSTS JAB (195-) AND ONDED ON THE TARB. SEE HALL CONVISION CHARGE TO CONSISTION THAN ACTURES CATALOS FOR OTHER NOTES AND RESTRICTIONS THAT HAY APPLY, USIN CONSISTIONS CANDIDORS TO THE NOTES AND RESTRICTIONS THAT HAY APPLY, USIN CONSISTIONS

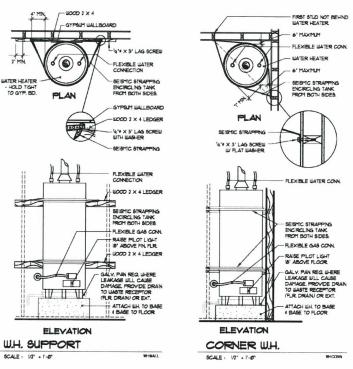
4. PROVIDE DOUBLE JOISTS INDER ALL WALLS ABOVE, RUNNING PARALLEL TO JOISTS AND BOLID BLOOKING BELOW ALL BEARING WALLS RUNNING PERPENDICULAR TO FLOOR JOISTS. 9. PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER SPACE AT VALLED CLG ARZAS, AND INSULATION BAPFLES AT EAVE VENTS BETILEEN RAFTERS, RAFTER VENTILATION IS ALSO REQUIRED AT BLOOMS LOCATIONS ABOVE THE PLATE.

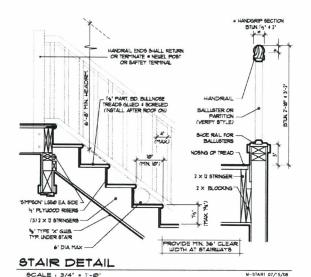
6. PROVIDE FIRE BLOOKING PER 2015 IRC. RSI023 4 DRAFT STOPS PER 2015 IRC. RSI0232 T. HIPS, VALLEY'S AND RIDGES SHALL NOT BE LESS IN DEPTH THAN THE END CUT OF THE RAFFER

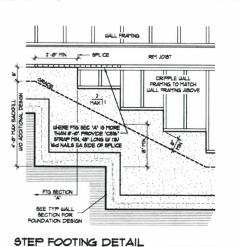
POSTS, BEAMS, HEADERS J	NO. 2 DOUGLAS FIR	
SILLS, PLATES, BLOCKING	NO. 3 DOUGLAS FIR	
STUDS	STUD GRADE DF.	
STUDS OVER W HIGH		NO. 2 OR BETTER DA
POST 4 BEAM DECKING	UTILITY GRADE DF.	
PLYWOOD SHEATHING	'5' CDX FLY, 32/6	
GLU-LAM BEAMS (EXT. ADI	Fb-1400, DRY ADH.	
LYL MATERIALS "	Po - 2988 E - 28 Po - 2988 E - 28 Po - 2688 E - 19 Po - 2335 E - 155	Fv = 285
PSL NOICATES PARALLEL LVL NOICATES LAMNATED LAMNATED STRAND LIMES METAL HANGERS & FASTENEI TEEL OR HOT DIFFED GALY	VENEER LUMBER IR NO USED WITH PIT, LUMBER T	O BE STAINLESS

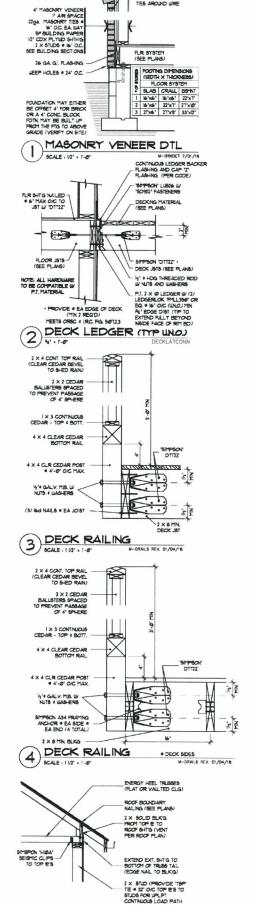
П	BLASS RETURN CELL JOTS OR NETWO TO TOP 2	4-8d BOX (7/3 1/0/131)	TCE NAIL
	CLG JST TO TOP E	4-8d BOX (2'4'x0.13')	FACE NAL
Ø	CLG JST LAPPED AT PARTITION	4-10d BOX (3'x8/26')	TOE NAIL
ĕ	CEL JSTS TO RAFTER	PER TABLE 86251(9)	FACE NAL EA RETR
	COLLAR TIE TO RAFTER	4-10d BOX (3'x6.29')	TOE NAIL
	RAFTER/TRUSS TO R	3-16d BOX (31/3/001351)	END NAIL
	RAFTER TO RIDGE APPLYALLEY (MIN. 2")	3-4d BOX (3/2/x8/35')	D' OC FACE
	STUD TO STUD . NITSECTING WALL CORNERS	16d BOX (31/1/0/35")	%' OC EA EDGE
	BUILT-UP FOR 2X MEMBERS	16d COM (3121/08/62")	TOE NAIL
	CONT. HOR TO STUD	5-8d BOX (2'3'x8.13")	T' OC FACE
	TOP E TO TOP E	2-led COM (3/5 'x0.162')	FACE EA SIDE
	DBL TOP & SPLICE	12-16d COM (31/2/00/62")	W' OC FACE
3	SOLE E TO JST, RIM OR BLKG	16d COM (35'40'62')	END NAIL
3	TOP OR BOTTOM IS TO STUD	3-lbd BCX(3½ 'x0135')	FACE NAL
	TOP E LAPS & CORNER/INTERSECTION	2-led COM (3/4/201621)	
			TOE NAIL
	JOIST TO SELL, TOP E OR GIRDER	4-8d BOX (25 10)(3")	4" OC TOE NAIL
	RIM JET OR BLKG TO SILL OR TOP E	8d BOX (25'38)(3')	· EA BEARG
ĸ	2" SUBPLIR TO JOT/GIRDER	3-16d BOX (7'5' x0135')	· EA BEARG
6	2" PLANS (P + B FLR AND ROOF)	3-40 BCX (75 1883551)	END NAL
9	RIM JST, TO JST,	3-16d COM (3/s/x01621)	24" O.C. FACE TOP 4
8	BUILT-UP GROERS/BEARS (2" LAYERS)	IDd BOX (3'w0.08')	6' EDGE/Q' FELD
4	1-1 LOOD STRUCTURAL PANELS	8d COH (25 'x0151')	6' EDGE/Q' FIELD
	T-F WOOD STRUCTURAL PANELS	8d COM (25 'x6/31')	6' EDGE/Q' FELD
	16'-16' BOOD STRUCTURAL PANELS	10d COM (3'x0)48')	1' EDGE/T' FIELD
	4' GYPSIM BIALLICLG, BO, (UNO)	I's' TYPE 'S'/W' SCREW	T' EDGE/T' FIELD
	S' GYPSIM BALL/CLG, BD. (UNO)	%' TYPE '9'/W' SCREW	781

		BASED ON 2015 IR	C. TABLE REGISS	TO, POSTAN	ZI PROBLACII, A	4ND R002.4(2)			
JOISTS		FLOOR (40° LL/0° DL) (L/340)	FLOOR JOIS		(40° IL/0° DL) (30° LL/0° DL)		STS	20° LL/0° DL/ (L/340)	CEILNG (LO LLO DL (LO40)
DF. 7	SPACG O.C.	MAX. SPAN	MAX. SPAN	DF. 2	SPAC'G	MAX. SPAN	MAX. SPAN		
2 × 6	19.	3-3	0.3,	2 × 4	5,	3,-10,	12'-5' 11'-3'		
2 × 8	24'	8'-3' 4'-2' 2'-9'	9'-3' B'-1' 14'-2'	2×6	24'	7'-3' 5'-0'	9-6' 11-8'		
x lø	24'	8-0	1310,	2×8	24'	19-11	5'-0' 75-8'		
	24'	5'-3'	fi'-5' 4'-3'	*^•	241	3'-6'	23'-4'		
2 × 12	12' 16' 24'	20'-11' 18'-1'	23'-4' 20'-3'	2 × 10	12°	23'-3 20'-2'	26'-0' 26'-0' 23'-3'		









TRUSS CONNECTION

5CALE : 1/2" : 1"-8" TYP 4 ENERGY HEEL TRUSS

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26 GA GJ. FLASHING

2 X RS. TRM BD. -

STD BRICK SET FLAT

"5 UIRE # 2" O.C. HORIZONTAL URAP TIES AROUND WIRE

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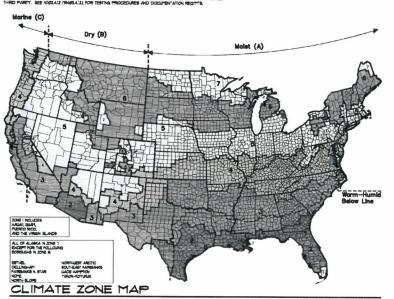
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OJECT MANAGERISRI RAWN 08/13/12 LAV

25# SNOW LOAD

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PASSIVE SUB-SLAB DEPRESSURIZATION RADON CONTROL SYSTEM FOR NEW CONSTRUCTION

O'IBM
ALL CONCRETE BLABS THAT COME IN CONTACT WITH THE GROUND SHALL
BE LAD OVER A GAS PERFEABLE MATERIAL MADE UP OF EINER A HIMMIN
4" THICK LINDON LAYER OF ELAN AGGREGATE, OR A MINIMIN 4" THICK
LINDON LAYER OF BAND, OVER, AM BY A LAYER OR STRIPS OF MANFACTUR
MATTINS DESIGNED TO ALLOW THE LATERIAL FLOW OF BOIL GARDEN
TO THE LAYER OF BAND.

2. ALL CONCRETE FLOOR SLASS SHALL BE DESKNED AND CONSTRUCTED IN ACCORDANCE BITH LOCAL BUILDING CODES. ADDITIONAL REPS. AFERCAS CONCRETE INSTITUTE HISLICATIONAL NOTIFICIES.

ACTIONS, OR THE POOT TENSIONAL INSTITUTE HANALL, DESKON AND CONSTRUCTION OF POST TENSIONED.

ACTIONS, CONTROLLED AND CONTROLLED ON GROUND.

3. ALL OPENNOS, GAPS AND JOINTS IN FLOOR AND MALL ASSEMBLES IN CONTACT SOIL, OR GAPS AROUND PIPES, TOILETS, BAITHURS OR DRAINS PREMATATA THESE ASSEMBLES SHALL BE FILLED OR CLOSED WITH HATERALS THAT PROVIDE A PERFANENT ARK-TIGHT SEAL. SEAL LARGE OPENNOS WITH NON-SPRINK MORTHAR GROUTS OR EXPANDING FOAT HATERALS AND SHALLER GAPS WITH AN ELASTOPERC JOINT SEALANT, AS DETINED IN ASTHUR CASIGHT.

VENT PIPES SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOUNLARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER MEMBRANE.

LIVING AREA

FLOORING-

NTERIOR PARTITION

ON HOLLOW BLOCK WALLS

WATERPROOF SEALANT APPLIED TO EXTERIOR WALLS

SEAL OPENINGS IN SLAB AND AROUND PENETRATIONS: NOTE 3

5. CIRCUITS SHOULD BE A MINIMUM IS AMP. IS VOLT

PAFIER

READON MITTIGATION

HE POLLOWS CONSTRUCTION TECHNIQUES AND MEASURES ARE NITENDED TO MINIATE RUDON ENTRY IN NEW CONSTRUCTION. THESE TECHNIQUES MAY BE REQUIRED ON A JURSPORTON BY JURSPORTON BASIS FOR EXAMPLE, IN HE STATE OF OREIGN, FER 1011 ORBIG, THE COUNTES OF MILI INCHMANIATION, CALCAMANS POLY, YAMPLIL, MOOR RYER AND BANKER, REQUIRE RADON MINIATION, AS DO THE CONTIES OF CLARK, FERRY, CKANGOM, PROD ORELLE SHAMMAN SPOKARE AND STEVENS, IN THE STATE OF MASHINGTON, FER 1015 INCLINACE SHISH-GOINT (ARIST II ARIST).

FOLLOWING THE US. E.P.A. THODEL STANDARDS AND TECHNIQUES FOR CONTROL OF RADON IN NEW RESIDENTIAL, BUILDINGS' THESE SPECIFICATION MEET NOT NATIONAL CODES THE BUILDER AND HOME CHECK FOR ANY LOCAL VARIANTS TO THESE GUIDELNES.

BUILDING TIGHTNESS MEASURES

SLAB ON-GRADE AND BASEMENT WALLS

- SLAS ON GRADE AND BRIDE EN INSTALL
 CRUCKS IN CONCRETE SLADSETE POURS
 COLD JOINT BETWEEN TWO CONCRETE POURS
 PORES AND JOINTS IN CONCRETE SLOOKS
 FLOOR-TO-WALL CREAKY OF REMOVE DRAIN
 EMPORED BOUL, AS IN A SIMPLE
 WEETENING DRAIN TILE, F DRAINED TO OPEN SUPP
 HOWER AND DRAIN THE FEDERIFICATION
 OF THE POWER FLOOK WALLS
 UNDER FORMER STATEMENT ON THE POWER STATEMENT OF THE

FLASHING-

- CRACKS IN SUBLICATING AND FLOORING
 SPACES BEHIND STUD UALLS AND BROCK YEMER WALLS THAT REST ON LOCAFED HOLDUB-LOCK FORDATION
 ELECTRICAL FERETARIONS
 LOOSE-RITUS PIET FERETARIONS
 OFFEN TOPS OF SLOCK WALLS
 WALLER FROM TOPE WELLS
 RATING DUCT REGISTER FENETARIONS
 COLD-AIR RETURN DUCTS IN CRAMAL SPACE

CONDENSATE DRAINS SHALL BE RIN TO THE EXTERIOR USING NON PERFORATED PIPE OR SHALL BE PROVIDED WITH AN APPROVED TRAP

SUPP PITS THAT SERVE AS BID PONT FOR A SUB-SLAS OR EXTERIOR DRAIN TILE LOOP SYSTEM, AND SUPP PITS WHICH ARE NOT SEALED FROM THE SOIL, SHALL BE FITTED WITH A GAMETIET OR SEALED LID, WERE THE SUPP SI USED AS THE SECTION PONT IN A SUB-SLAS DECOMPRESSION SYSTEM THE LID MUST SEE DESIGNED TO ACCOMPONE THE VIDENT PITE. WHERE USED AS A FLOOR DRAINING, THE SUMP PIT LID SHALL HAVE A TRAMPRO N.E.T.

DUCTUORS, PASSING THROUGH A CRAILSPACE "NST HAVE ALL SEAMS AND JONTS SEALED FIREM HISBIAND, ALL, LONTS OF DUCT SYSTEMS LIBED IN THE HEATING OR COLONIGO OF DAVES SHALL BE SEALED BY TEAMS OF TAPES, MASTIC, AEROSCI, SEALANT, GASCETING OR OTHER APPROVED CLOSUSE SYSTEMS, WERE "YASTIC IS LIBED TO SEAL OPPINIOS GREATER THAN IS, A COMBINATION OF MASTIC AND TESH SHALL BE LIBED.

CRAILSPACE ACCESS OR INDER-FLOOR MECHANICAL EQUIPMENT ACCESS FOR THEOR THE HABITABLE SPACE INTO THE CRAILL SPACE, SUCH AS DOORS OR PANELS, MUST BE CLOSED AND GASKETED TO CREATE AN AIRTIGHT SEPARATION.

AIR HANDLING UNITS IN CRAUL SPACES SHALL BE SEALED TO PREVENT AIR FROM BEING DRAWN INTO THE UNIT.

EXHAUST (10" FROM OPENINGS INTO CONDITIONED SPACES OF BUILDING) 2" MN. ABOVE ROOF

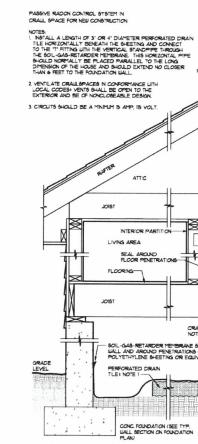
ROOF BRACE

ELECTRICAL JUNCTION BOX FOR FUTURE INSTALLATION OF VENT FAN: NOTE 3.

3'-4' DIA VENT PIPE (PVC OR EQUIVALE)

TO SUPPORT VENT PIPE

SEAL MEMBRANE AROUND PIPE PENETRATION ADJOINING SHEETS OF MEMBRANE OVERLAPPED AND SEALED—



CRAWLSPACE SUB-MEMBRANE DEPRESSURIZATION SYSTEM

CRAUL SPACE RADON MITIGATION

IN ADDITION TO THE CRAIL SPACE SEALING REQUIREMENTS, ONE OF THREE RADON MITIGATION METHODS SHALL BE IMPLEMENTED.

METHOD 9 - MECHANICAL VENTILATION (AFIØ35 EXCEPTION)

PROVIDE AN APPROVED MECHANICAL CRAUL SPACE VENTILIATION SYSTEM OR OTHER EQIVALENT SYSTEM.

METHOD 7 - PASSIVE SUB-MEMBRANE DEPRESSURIZATION SYSTEM (ARIØ351)

- PROVIDE FOUNDATION VENTILATION SYSTEM (SEE FOUNDATION NOTES
 FOR CRALL SPACE VENTING)
 PROVIDE A SOIL-645 SETARDER SUCH AS 6 MIL POLYETHYLENE OR
 EQUIVALENT (SEE GAS-RETIARDER VOTES)
 PROVIDE A VENTI STACK (SEE VENTI STACK NOTES)

METHOD '3 - CRAILLSPACE VENTILATION AND BUILDING TIGHTNESS.

PROVIDE NO LESS THAN ONE NET SQ. FT. OF CRAILSPACE FOUNDATION VENT AREA PER EACH BIG SQ. FT. OF UNDER FLOOR AREA (SEE FOUNDATION NOTES FOR CRAILSPACE VENTING LOCATION

- FOUNDATION NOTES FOR CRAIL SPACE VENTING LOCATION REQUIRESHIPS.

 CREARS IN CAMPAINED AND ATTERED OR CREEK PLEAS TO TEMPORARILY CLOSE OF FAIT OPENINGS ARE NOT ALLIQUED TO THEIR THE REQUIRESHIPS OF THIS RADON HITGATION PETING.

 REQUIRESHIPS OF THIS RADON HITGATION PETING.

 THE LINESHIPS OF THIS RADON HITGATION PETING.

 THE DIBLILINGS TO SEP RASCAL 5 FROM ATTERN CONDITIONS AND POLYCLE AND TO SHAPE THE OFFICE AND TO SHAPE TO SEP RASCAL 5 FROM ATTERN SHAPE AND THE CHARACTER SHAPE TO THE CAMPAIN SHAPE SHAPE FOR NOT SHAPE S

VENTILATION AIR REQUIREMENTS (cfm)

FLOOR AREA	NUMBER OF BEDROOMS						
(FT.1)	0-1	2-3	4-5	6-1	>1		
<500	300	45	60	15	90		
1,501-3,000	45	60	13	30	105		
3,001-4,500	60	15	30	105	20		
4,501-6,000	75	90	105	120	135		
6,000-1500	30	103	20	135	30		
>150€	105	120	35	50	65		

SLAB-ON-GRADE/BASEMENT RADON MITIGATION

A PASSIVE SUB-SUAB DEPRESSURIZATION SYSTEM SHALL BE INSTALLED DURING CONSTRUCTION IN BASEMENT OR SUAD-ON-GRADE BUILDING. FOLLOW THE NOTES HERE REGIARDING BUILDING TIGHTNESS FEASURES AND ASSEMBLE THE FOLLOWING ELEMENTS OF THIS MITUGATION SYSTEM.

- PROVIDE A RADON VENT PIPE EXTENDING FROM A GAS PERFEABLE LAYER BENEATH THE SLAS FLOOR STITENT, THROUGH THE RLOORS OF THE DUELING AND TERMANING AT THE ROOM, SO THE STAND AND TERMANING AT THE ROOM OF THE SOUTH STAND ST

- SLAB SUB-FLOOR PREPARATION

 A LAYER OF GAS-FERREABLE MATERAL SHALL BE PLACED INDER
 ALCONORIES SLABS AND OTHER FLOOR SYSTEMS THAT DIRECTLY
 CONTACT THE GROUND, AND ARE SITHIN THE SALLS OF THE LIVING
 SPACES OF THE BUILDING. THE GAS-FERREAGUE LAYER SHALL
 COMBING ON OF THE TOLLOWING.
- A INFORM LATER OF CLEAN ASSRESATE, A MINITUM OF 4 NOLES THOSE THE ASSRESATE SHALL CONSIST OF MATERIAL SHALL BOUGHT OF ASS THOSE AS THOSE THE THOSE OF A 14 SEPT. A LINE OF A MORE AS THOSE OF THE THOSE OF A 14 SEPT. A LINE OF A MORE AND INVALID OF A MORE AND THOSE OF ASSET OF THE DRAWLE MATTHS DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASAGE

SOIL-GAS-RETARDER

- THE SOL NORMAL SPACES SHALL BE COVERED WITH A CONTINUOUS LATER OF INNIMING HALL POLITITITIES SOL GASS-RETARGER THE GROUP COVER SHALL BE LARPED ANNIMING TO INCHES AT JOINTS AND SHALL EXTEND TO ALL FOUNDATION WHILLS ENCLOSED THE CRALL SPACE AREA TO LOSELY AROUND ANY PIPE, UNE OR OTHER PEDETRALION OF THE PRESENT AROUND ANY PIPE, UNE OR OTHER HENERAL SHALL SHALL BE SEALED OR COVERED WITH ADDITIONAL SECTION.

- (ENT PIPE (RADON)

 A PLIPBING THE OR OTHER APPROVED CONECTION SHALL BE NOTIFIED HORIZONIALLY BENEATH HE SOLL GAS-RETARDER SHETING AND CONNECTED HO 3' OR 4' HOLDER RITING WITH A VERTICAL VENT PIPE NOTALLED THROUGH HE SHETING. HE WIST PIPE SHALL BE STITUDED UP THROUGH HE BUILDING FLOORS TO TERMINIST AT LEAST 2 NOTES AROVE HE ROOF SURFACE OF ALL CAST AND ALL LEAST 18 THE JUANT FROM ANY UNCOUNTY OF THE PLANT ROOT AND ALL CAST SHE OF THE SHETING ANY THROUGH OF THE PLANT ROOT AND ALL CAST SHE OF THE SHETING ANY THROUGH OF THE PLANT ROOT AND ALL CAST SHE OF THE SHETING ANY THROUGH OF THE PLANT ROOT AND ALL CAST SHE OF THE SHETING ANY THROUGH OF THE PLANT ROOT AND ALL CAST SHE OF THE SHETING ANY THROUGH OF THE PLANT ROOT AND ALL CAST SHE OF THE SHETING AND THE SHE

- MATERIAL, EACH AREA SHALL DE RITTED WITH AN NOMINULLY VENT PIPE.

 PLLTIFLE VENT PIPES SHALL CONNECT TO A SNALLE VENT THAT TERMINATES ABOVE THE ROOT.

 TERMINATES ABOVE THE ROOT.

 AND THE STATE OF THE STATE OF THE STATE OF THE SHALL BE ADD.

 SHE STATE OF THE SHALL BE ACCESSIBLE FOR RITURE FAN NOMINUT THE SHALL PROVIDED FOR THE SHALL BE ACCESSIBLE FOR RITURE FAN NOMINUT THEOLOGY. AND ATTEMPT OF THE SHALL BE THE SHALL BE SHALL AND THE SHALL BE SHALL
- FAN.
 ALL EXPOSED AND YSIBLE INTERIOR RADON VENT PIPES SHALL BE
 IDENTIFED WITH AT LEAST ONE LABLE ON EACH FLOOR AND IN
 ACCESSIBLE ATTICS. THE LABEL SHALL READ: "RADON REDUCTION
 SYSTEM!"

POWER SOURCE REGUINEMENT

10 ACCOMPODATE RITURE INSTALLATION OF AN ACTIVE
SUB-PERSONAL OF SUB-64-45 DEPRESSURATION STSTEM, AN
ELECTRICAL CIRCUIT EXPENSITED IN AN APPROVED BOX SHALL SE
NSTALLED DURNIS CONSTRUCTION THE ATTO OF OTHER
ANTICIPATED LOCATION OF VISIT PPET SUB, AN ELECTRICAL SUPPLY
SHALL ALSO BE ACCESSIBLE IN ANTICIPATED LOCATION OF SYSTEM
FAILURE ALARYS.

COMBINATION FOUNDATIONS

COMBINATION BUSINESTICABLE SPACE OR BLAS-ON-GRADELICABLE SPACE FOUNDATIONS SHALL HAVE SEPRANTE RADON HITGATION BYSISTIS IN EACH TYPE OF FOUNDATION AREA PRABNY BUSINES. AS AND PASSIVE SUB-TIESTEAM RADON FINES HAY BE CONDICTED TO A SMALE VENT TERMINATION ABOVE THE ROOF, OR EACH WAYTH MAY NOW DUALLY CONTINUE TO TERMINATE ABOVE THE ROOF (SEE VENT TIPSE NOTES).

25# SNOW LOAD

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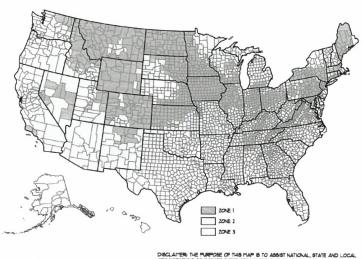
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EPA RADON ZONES

DISCLAMER THE PURPOSE OF THIS MAP IS TO ASSIST NATIONAL, STATE AND LOCAL ORGANIZATIONS TO TARGET THEIR RESOURCES AND TO PRESENT RADON-RESISTANT BUILDING CODES ALL HOMES HOLD DE TESTED REGARDLESS OF GEOGRAPHIC LOCATION, EPA RECOMMENDS THAT THIS MAP BE SUPPLEMENTED WITH ANY AVAILABLE LOCAL DATA IN DODER TO RATHER INDERSIAND AND PREDICT THE RADON POTENTIAL FOR A SPECIFIC AREA.

SLAB ON-GRADE/BELOW-GRADE (BASEMENTS) SUB-MEMBRANE DEPRESSURIZATION SYSTEM

EXHAUST (19" FROM OPENINGS INTO CONDITIONED SPACES OF BUILDING)

SLAB! NOTE 2 OF GAS PERMEABLE MATERIAL: NOTE I

2' MIN. ABOVE ROOF

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