



DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: September 9, 2019
TO: Tonya Hutson
FROM: Michael Smith
RE: **Design Review – 219 Maple Street Remodel**

Key:

Compliant:	✓
Not Compliant:	✗
Incomplete:	✋
Not Applicable:	⊘

BACKGROUND

The City of Hapeville has received a design review application from Daniel Moore to remodel a front porch and a rear deck on an existing single-story single-family dwelling at 219 Maple Street. The porch roof addition will increase the heated floor area by 160 sq. ft. from 1,400 sq. ft. to 1,560 sq. ft.

The property is zoned R-1 - One-Family Detached and is subject to the Neighborhood Conservation Area, Subarea E of the Architectural Design Standards.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(c) Utility Standards

- ⊘ Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- ⊘ When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- ⊘ Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.

All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.



- ⊖ Trees shall not be planted directly above storm drains.

STAFF COMMENT:

- The scope of construction does not include changes to utilities.
- The applicant should retain the light at the front door and include it on the plans.

(e) Roof and Chimney Standards



Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.



Roof shingles shall be slate, cedar, or asphalt.



⊖ Roof tiles shall be clay, terra cotta or concrete.



⊖ Metal roofs are:

Allowed on one-family and two-family detached dwellings;

Permitted on multifamily and townhouse dwellings only when screened from the adjacent street by a parapet wall.



Gutters shall be copper, aluminum or galvanized steel.



Downspouts shall match gutters in material and finish.



✓ Roof forms shall be based on architectural style.



All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.



⊖ Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.



⊖ Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.



⊖ Chimneys on exterior building walls shall begin at grade.



⊖ Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT:

- The applicant should ensure the shingles for the proposed porch roof match the existing shingles in style and are guaranteed for at least 30 years by manufacturer's warranty.
- The applicant should show gutters and downspouts on the new roof and provide their material.
- The applicant should ensure the new roof overhangs at least 12" beyond the facade.

(f) Street Facing Facade and Style Standards.



⊖ Exterior facade materials shall be limited to:

Full-depth brick;

Natural or cast stone;

Smooth natural-wood siding and/or cement-based siding;

Shake siding;

- Painted fish-scale style shingles, but only when used in front gables;
- True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.
- ⊖ Exterior building materials shall not be:
 - Simulated brick veneer, such as Z-Brick;
 - Exterior insulation and finish systems (EIFS);
 - Exposed concrete block;
 - Metal siding or other metal exterior treatment;
 - Glass curtain walls;
 - Liquid vinyl;
 - T-1-11 siding;
 - Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.
- ⊖ Facade materials shall be combined horizontally, with the heavier below the lighter.
- ⊖ Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(g)11.
- ⊖ Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ⊖ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- ✓ Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ✓ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- 👉 Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- ✓ Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✓ Porch and stoop foundations shall be enclosed.
- ✓ Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- ⊖ Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- 👉 Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- ⊖ Stoops shall provide a minimum top landing of four feet by four feet.
- ⊖ Stoop stairs and landings shall be of similar width.
- ⊖ Stoops may be covered or uncovered.
- 👉 When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ✗ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- ⊖ Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.

- ⊖ Enfronting porches may have multistory verandas, living space, or balconies above.
- ✋ Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- ⊖ Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- ⊖ Enfronting balconies shall have a minimum clear depth of four feet.
- ⊖ Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- ⊖ Balconies may be covered or uncovered.

STAFF COMMENT:

- **The scope of construction does not include changes to the façade.**
- **The top and bottom horizontal porch railings must comply with the following requirements:**
 - **The top railing must consist of two elements, the upper one measuring 2" x 6" and the lower one 2" x 4"**
 - **The bottom railing must measure 2" x 4"**
- **The height of the porch from grade has not been provided. Porches must be between 2' and 4' above grade. The project will re-use an existing porch slab.**
- **The depth of the porch columns from the front facade has not been provided. The front of the porch columns must measure 8' from the front facade. The project will re-use an existing porch slab.**
- **The porch will be less than 80% of the width of the front facade. The project will re-use an existing porch slab.**
- **Porch columns can be spaced no greater than 8' apart on center. The width between the two support columns has not been provided.**

RECOMMENDATIONS

Upon review of the information provided by the Applicant, the following items have been found to be missing or deficient and should be addressed prior to formalizing a recommendation:

1. The applicant should retain the light at the front door and include it on the plans.
2. The applicant should ensure the shingles for the proposed porch roof match the existing shingles in style and are guaranteed for at least 30 years by manufacturer's warranty.
3. The applicant should show gutters and downspouts on the new roof and provide their material.
4. The applicant should ensure the new roof overhangs at least 12" beyond the facade.
5. Scope of construction does not include changes to the façade.
6. The top and bottom horizontal porch railings must comply with the following requirements:
 - a. The top railing must consist of two elements, the upper one measuring 2" x 6" and the lower one 2" x 4"
 - b. The bottom railing must measure 2" x 4"
7. The height of the porch from grade has not been provided. Porches must be between 2' and 4' above grade. The project will re-use an existing porch slab.
8. The depth of the porch columns from the front facade has not been provided. The front of the porch columns must measure 8' from the front facade. The project will re-use an existing porch slab.
9. The porch will be less than 80% of the width of the front facade. The project will re-use an existing porch slab.

10. Porch columns can be spaced no greater than 8' apart on center. The width between the two support columns has not been provided.

Once these items are addressed to the satisfaction of Staff and/or the Design Review Committee, the application can be approved.

CITY OF HAPEVILLE

DESIGN REVIEW APPLICATION

SUBMITTAL DATE: August 27, 2019

NOTE: All applications must be typed or neatly printed. Applications or an authorized representative is required to personally appear at the Design Review Meeting to answer questions.

The Design Review Committee meets the third Wednesday of each month. Every attempt will be made to place your application for review on the next month's agenda following the submittal of a completed application with supporting documents; however, that may not always be possible. The City reserves the right to schedule applications as deemed necessary.

Applicant: Daniel Moore Contact Number: [REDACTED]

Applicants Address: 219 Maple Street, Hapeville, GA 30354

E-Mail Address: [REDACTED] Zoning Classification: R-1

Address of Proposed Work: 219 Maple Street, Hapeville, GA 30354

Parcel ID# (INFORMATION MUST BE PROVIDED): 14009400090645

Property Owner: Daniel Moore Contact Number: [REDACTED]

Project Description (including occupancy type): Front Porch and Rear Deck modification.

Contractors Name: _____ Contact Number: _____

Contact Person: _____ Contact Number: _____

I hereby make application to the City of Hapeville, to the Design Review Committee for the above referenced property. I do hereby swear or affirm that the information provided here and above is true, complete and accurate, and I understand that any inaccuracies may be considered just cause for invalidation of this application and any action taken on this application. I understand that the City of Hapeville, Georgia, reserves that right to enforce any and all ordinances regardless of any action or approval on this application. I further understand that it is my/our responsibility to conform with all of City of Hapeville's Ordinances in full. I hereby acknowledge that all requirements of the City of Hapeville shall be adhered to. I can read and write the English language and/or this document has been read and explained to me and I have full and voluntarily completed this application. I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for violation thereof.

Daniel Moore
Applicants Signature

8/27/19
Date

Project Class (check one):

☒ Residential ☐ Commercial ☐ Mixed-Use Development

Project Type:

☐ New Commercial Construction ☐ Addition to Existing Commercial Building
☒ Addition to Existing Residential Structure ☐ Accessory Structure
☐ Site Plan, Grading & Landscaping ☐ New Single Family Residential Construction
☐ Other

Total Square Footage of proposed New Construction: P-160, D-100

Total Square Footage of existing building: 1,400

Estimated Cost of Construction: \$10,000

List/Describe Building Materials on the exterior of the **existing** structure: _____

Vinyl Siding & Concrete

List/Describe Building Materials **proposed** for the exterior facade of the new structure: _____

Wood.

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I Daniel Moore DM swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:

DM Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here:
https://library.municode.com/ga/hapeville/codes/code_of_ordinances?nodeId=PTIICOOR_CH81ARDEST

DM Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.

DM Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.

DM Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.

DM Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.

DM Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.

DM Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.

DM **Understood that builder must follow approved plan and that the Certificate of Occupancy will not be issued until a Design Inspection is performed and Architectural Design Standards are met.**

Daniel Moore
Printed Name

DM
Signature

8/27/19
Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

219 Maple Street



Front Elevation



Rear Elevation



Right Side Elevation



Left Side Elevation

PROJECT DATA:

APPLICABLE BUILDING
CODES AND COMMENTS

CITY OF ATLANTA

- INTERNATIONAL BUILDING CODE - 2012 EDITION W/GA. 2014 , 2015 , 2017 & 2018 AMENDMENTS
- INTERNATIONAL RESIDENTIAL CODE - 2012 EDITION W/GA. 2014 , 2015 & 2018 AMENDMENTS
- INTERNATIONAL PLUMBING CODE, 2012 EDITION W/GA. 2014 & 2015 AMENDMENTS
- INTERNATIONAL MECHANICAL CODE, 2012 EDITION W/GA. 2015 AMENDMENTS
- NATIONAL ELECTRICAL CODE, 2017 EDITION. NO AMENDMENTS
- INTERNATIONAL FUEL GAS CODE, 2012 EDITION W/GA. 2014 & 2015 AMENDMENTS
- INTERNATIONAL FIRE CODE, 2012 EDITION W/GA. 2014 AMENDMENTS
- NFPA NATIONAL 101 - LIFE SAFETY CODE, 2012 EDITION. W/GA 2013 AMENDENTS
- INTERNATIONAL ENERGY CONSERVATION CODE 2009 W/GA. 2011 , 2012 AMENDMENTS

PROPOSED FRONT PORCH ROOF ADDITION	=	160 SQ. FT.
EXISTING MAIN FLOOR	=	1,400 SQ. FT.
TOTAL HEATED AREA	=	1,560 SQ. FT.

CODES AND ORDINANCES

2012 INTERNATIONAL RESIDENTIAL BUILDING CODE
WITH 2014 DECK AMENDMENT

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH ALL STATE AND LOCAL BUILDING CODES ENFORCED IN THE ATLANTA , GEORGIA AREA INCLUDING:
INTERNATIONAL RESIDENTIAL BUILDING CODE
- IRC 2012 EDITION W/ GA. AMENMENT
ONE AND TWO FAMILY DEWELLING CODE
- 2012 IRC 2012 EDITION W/ GA. AMENMENT
THE GEORGIA STATE ENERGY CODE.

2. DIMENSIONS ARE TAKEN FROM/TO FACE OF CONCRETE, MASONRY, WOOD STUDS, OR CENTERLINE OF COLUMNS, ETC. AS INDICATED, UNLESS NOTED OTHERWISE. ALL DIMENSIONS MUST BE VERIFIED BY THE CONTRACTOR AND ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.

3. HOUSE ARE AS INDICATED ARE SQUARE FOOTAGE FOR HEATED FLOOR SPACES ONLY. PORCHES OR DECKS ARE NOT INCLUDED. STAIR AREA ARE INCLUDED ON THE MAIN LEVEL FLOOR ONLY.

4. ELECTRICAL DEVICES SHOWN ARE FOR LOCATION PURPOSED ONLY. ALL ELECTRICAL INSTALLATIONS SHALL CONFORM TO THE ENFORCED ELECTRICAL CODE.
5. CONTRACTOR SHALL COORDINATE ALL LOCATIONS AND INSTALLATIONS OF PLUMBING, ELECTRICAL AND HVAC EQUIPMENT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL INFORM ARCHITECT OF ANY CONFLICTS BETWEEN THESE ITEMS AND ARCHITECTURAL ITEMS.

6. BATT INSULATION SHALL BE INSTALLED IN ALL EXTERIOR WALLS, CRAWL SPACES, ATTIC SPACES, AND SOFFITS AS INDICATED. BATT INSULATION SHALL HAVE A THERMAL RESISTANCE OF R-13 FOR 2 X 4 STUD WALLS AND R-30 FOR ALL CRAWL SPACES, ATTIC SPACES AND SOFFITS WITH INTEGRAL VAPOR BARRIER. INSULATION SHALL BE BUILTING. ALL VOIDS AROUND DOOR AND WINDOW FRAMES, AND OTHER PENETRATIONS SHALL BE FILLED TIGHTLY WITH INSULATION MATERIAL.

7. ALL WINDOWS SIZES INDICATED ARE STANDARD SIZES EVERY SLEEPING ROOM MUST HAVE A LEAST ONE OPERABLE WINDOW (OR DOOR) OF CLEAR OPENING SIZE APPROVED FOR EMERGENCY EGRESS OR RESCUE ACCORDING TO THE APPLICABLE BUILDING CODE.

8. ANY DISCREPANCY BETWEEN PLANS, ELEVATIONS, AND DETAILS FOUND BY CONTRACTOR SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION PRIOR TO CONSTRUCTION.

DESIGN LIVE LOADS

FIRST FLOOR : 40 PSF
SECOND FLOOR : 30 PSF
ROOF: 40 PSF

SCOPE OF WORK

- HOUSE RENOVATION
1. ADD GABLE ROOF EXISTING SLAB FRONT PORCH
 2. REPAIR EXISTING DECK
 3. NEW EXTERIOR PAINTING



219 MAPLE ST.

DRAWING INDEX

A-1	COVER SHEET
A-2	EXISTING & PROPOSED FLOOR PLAN
A-3	FRONT PORCH & DECK FRAMING
A-4	EXISTING & PROPOSED FRONT & REAR ELEVATION
A-5	EXISTING & PROPOSED RIGHT ELEVATIONS
A-6	EXISTING & PROPOSED LEFT ELEVATION
A-8	EXISTING & PROPOSED ROOF & FRAMING

RELEASE FOR CONSTRUCTION

General Notes

COVER SHEET

No.	Revision/Issue	Date

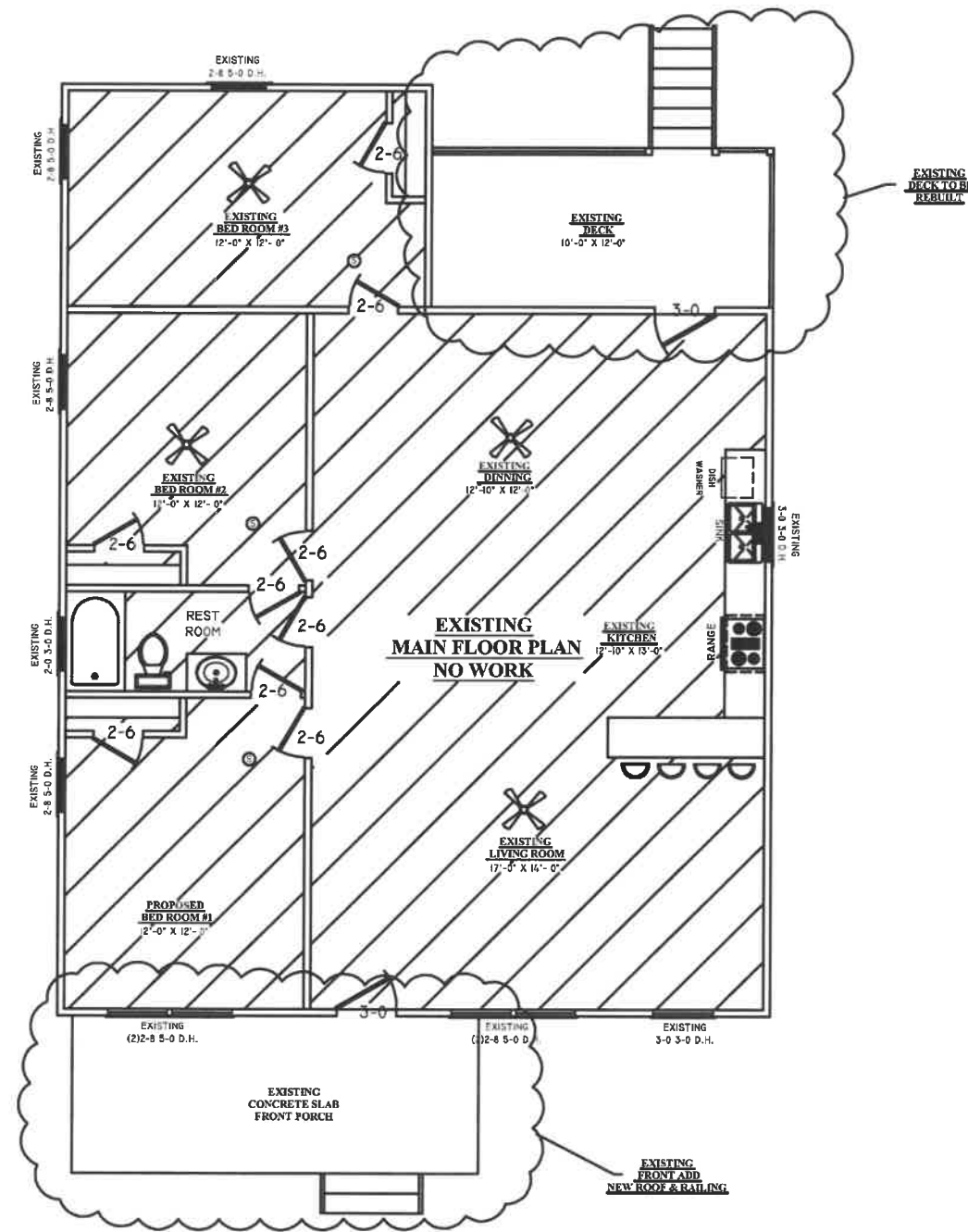
Plan Name and Address

J.S. CADD DESIGN SERVICE
1426 GOLF LINK DR.
STONEMOUNTAIN GA, 30088
(404) 502-8574
swineyj@bellsouth.net

Project Name and Address

FRONT PORCH & DECK
RENOVATION
219 MAPLE ST.
ATLANTA, GA, 30354

Project	Sheet
Date 8/18/2019	A-1
Scale 3/16" =1'-0"	



EXISTING
MAIN FLOOR PLAN

PROPOSED FRONT PORCH ROOF ADDITION	=	160 SQ. FT.
EXISTING MAIN FLOOR	=	1,400 SQ. FT.
TOTAL HEATED AREA	=	1,560 SQ. FT.

RELEASE FOR CONSTRUCTION

General Notes

EXISTING FLOOR PLAN & FRONT PORCH ROOF ADDITION DECK REPAIRS

No.	Revision/Issue	Date

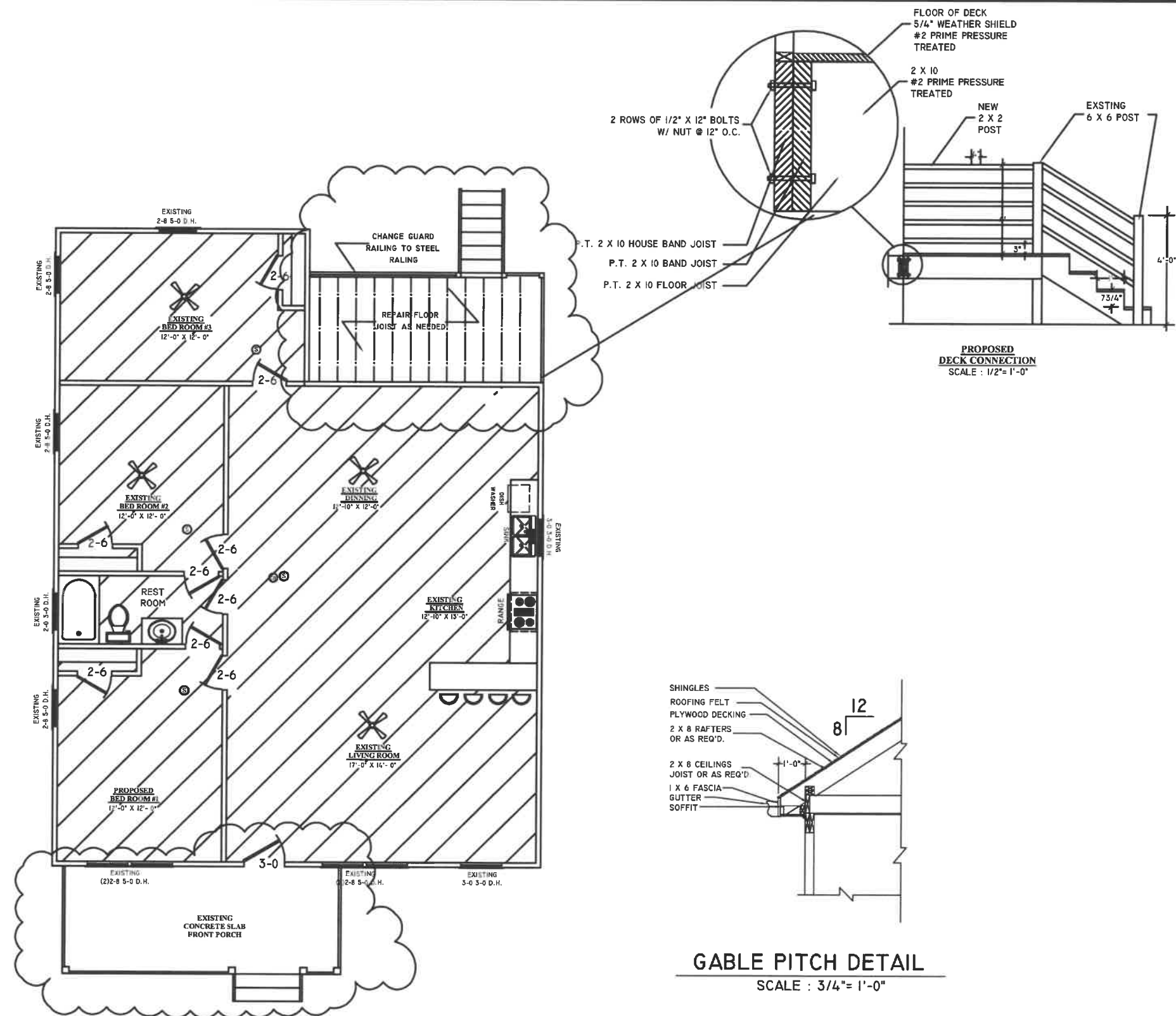
Plan Name and Address

J.S. CADD DESIGN SERVICE
1426 GOLF LINK DR.
STONEMOUNTAIN GA, 30088
(404) 502-8574
swineyj@bellsouth.net

Project Name and Address

FRONT PORCH & DECK
RENOVATION
219 MAPLE ST.
ATLANTA, GA, 30354

Project	Sheet
Date 8/18/2019	A-2
Scale 3/16" = 1'-0"	



PROPOSED FRAMING & DECK FRAMING PLAN

No.	Revision/Issue	Date

Owner Name and Address

J.S. CADD DESIGN SERVICE
1426 GOLF LINK DR.
STONEMOUNTAIN GA, 30088
(404) 502-8574
swineyj@bellsouth.net

Project Name and Address

FRONT PORCH & DECK
RENOVATION
219 MAPLE ST.
ATLANTA, GA, 30354

Project	Date	Sheet A-3
Date 8/18/2019	Date 3/16" = 1'-0"	

RELEASE FOR CONSTRUCTION



**PROPOSED
FRONT ELEVATION**
SCALE : 3/16" = 1'-0"



**EXISTING
FRONT ELEVATION**
SCALE : 3/16" = 1'-0"



**PROPOSED
FRONT ELEVATION**
SCALE : 3/16" = 1'-0"



**EXISTING
FRONT ELEVATION**
SCALE : 3/16" = 1'-0"

General Notes

EXISTING & PROPOSED FRONT , REAR ELEVATIONS

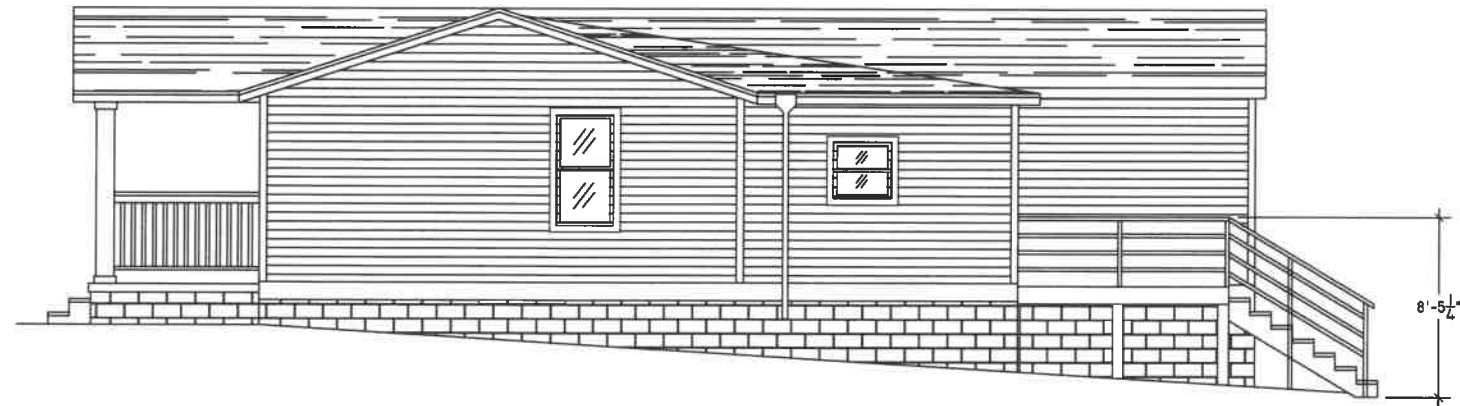
No.	Revision/Issue	Date

Firm Name and Address
J.S. CADD DESIGN SERVICE
1426 GOLF LINK DR.
STONEMOUNTAIN GA, 30088
(404) 502-8574
swineyj@bellsouth.net

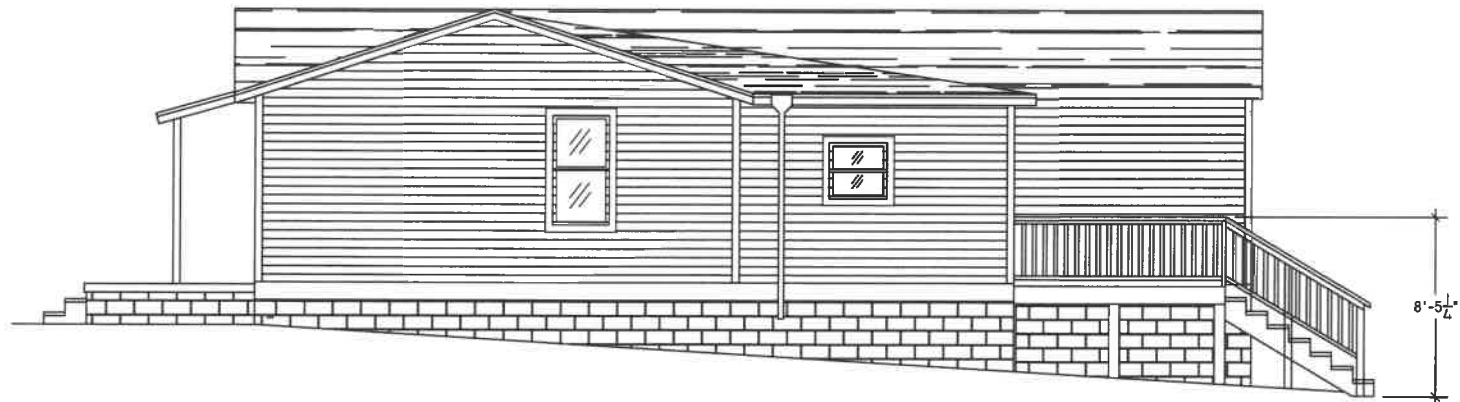
Project Name and Address
**FRONT PORCH & DECK
RENOVATION**
219 MAPLE ST.
ATLANTA, GA, 30354

Project	Sheet
Date 8/18/2019	A-4
Scale 3/16" = 1'-0"	

RELEASE FOR CONSTRUCTION



PROPOSED
RIGHT ELEVATION



EXISTING
RIGHT ELEVATION

SCALE : 3/16" = 1'-0"

RELEASE FOR CONSTRUCTION

General Notes

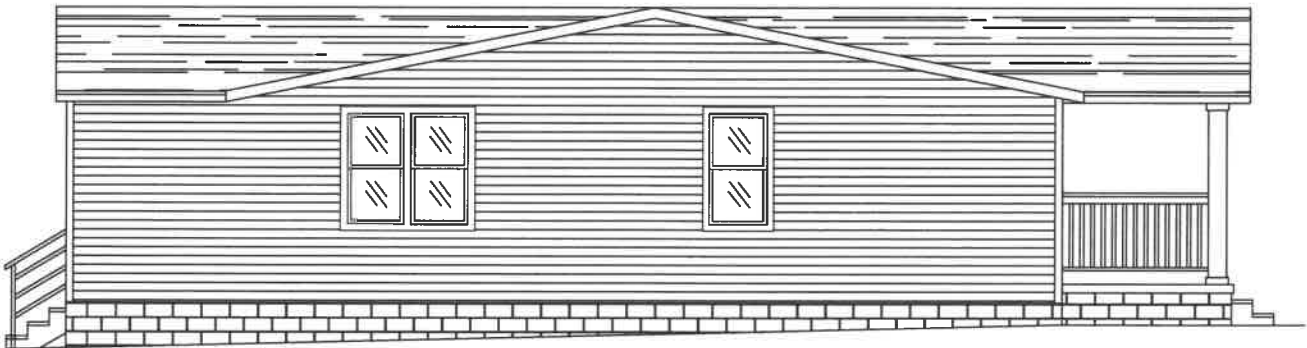
EXISTING & PROPOSED
RIGHT ELEVATIONS

No.	Revision/Issue	Date

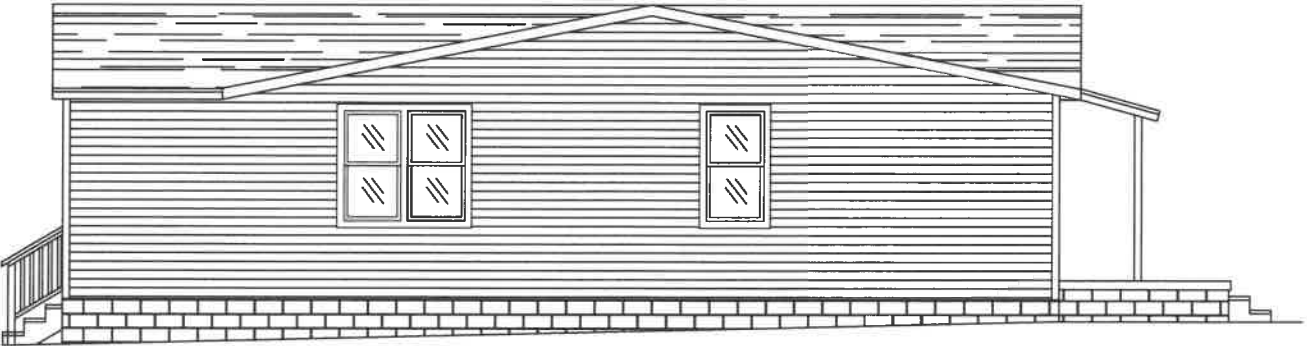
Client Name and Address
J.S. CADD DESIGN SERVICE
1426 GOLF LINK DR.
STONEMOUNTAIN GA, 30088
(404) 502-8574
swineyjj@bellsouth.net

Project Name and Address
FRONT PORCH & DECK
RENOVATION
219 MAPLE ST.
ATLANTA, GA, 30354

Project	Sheet
Date 8/18/2019	A-5
Scale 3/16" = 1'-0"	



PROPOSED
LEFT ELEVATION



EXISTING
LEFT ELEVATION
SCALE : 3/16" = 1'-0"

General Notes

EXISTING & PROPOSED
LEFT ELEVATIONS

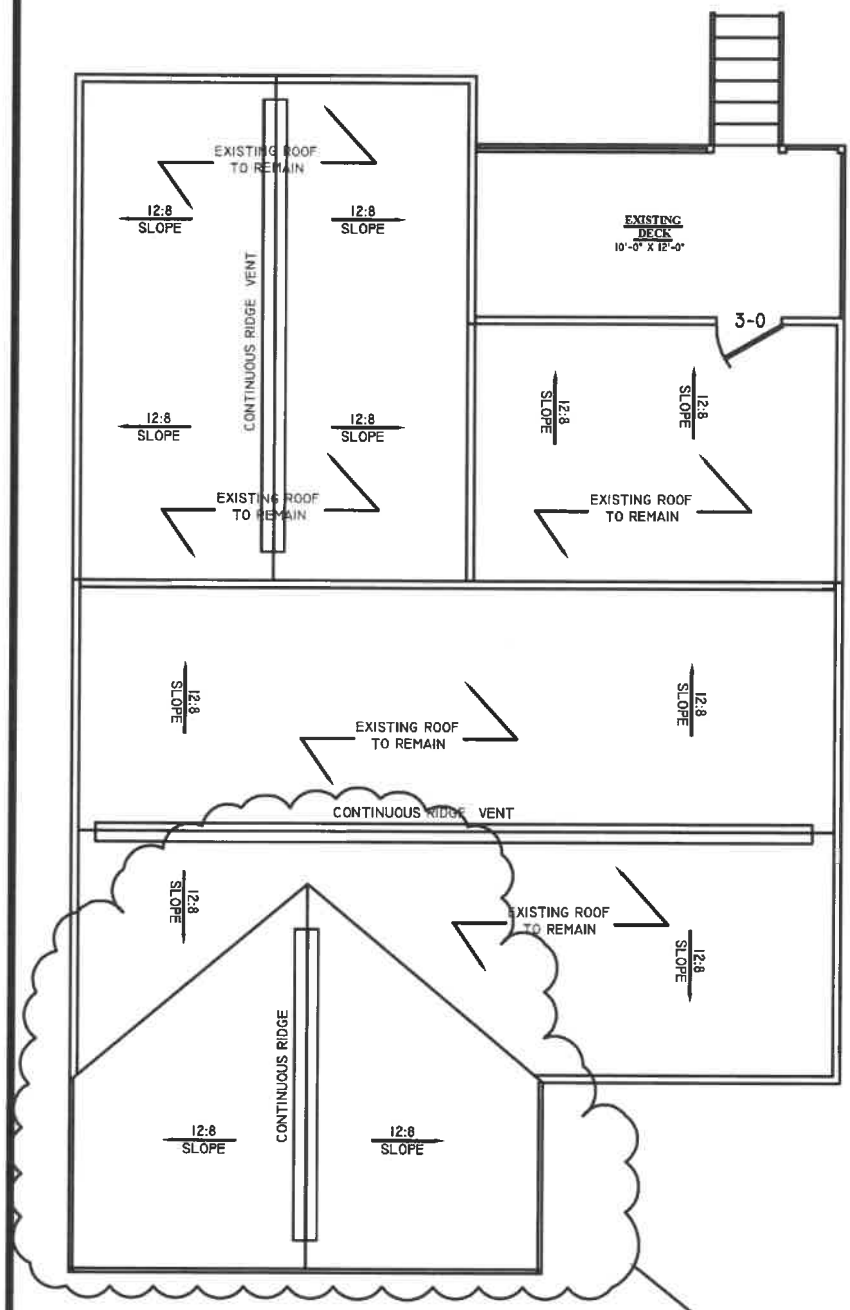
No.	Revision/Issue	Date

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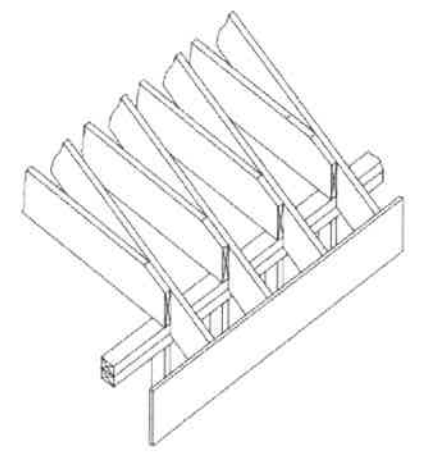
Project Name and Address
FRONT PORCH & DECK
RENOVATION
219 MAPLE ST.
ATLANTA, GA, 30354

Project	Sheet
Date 8/18/2019	A-6
Scale 3/16" = 1'-0"	

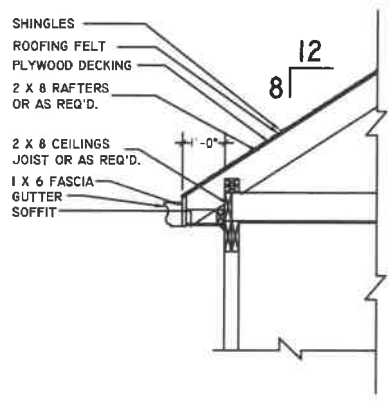
RELEASE FOR CONSTRUCTION



**PROPOSED
ROOF FRAMING PLAN**
SCALE : 1/4" = 1'-0"

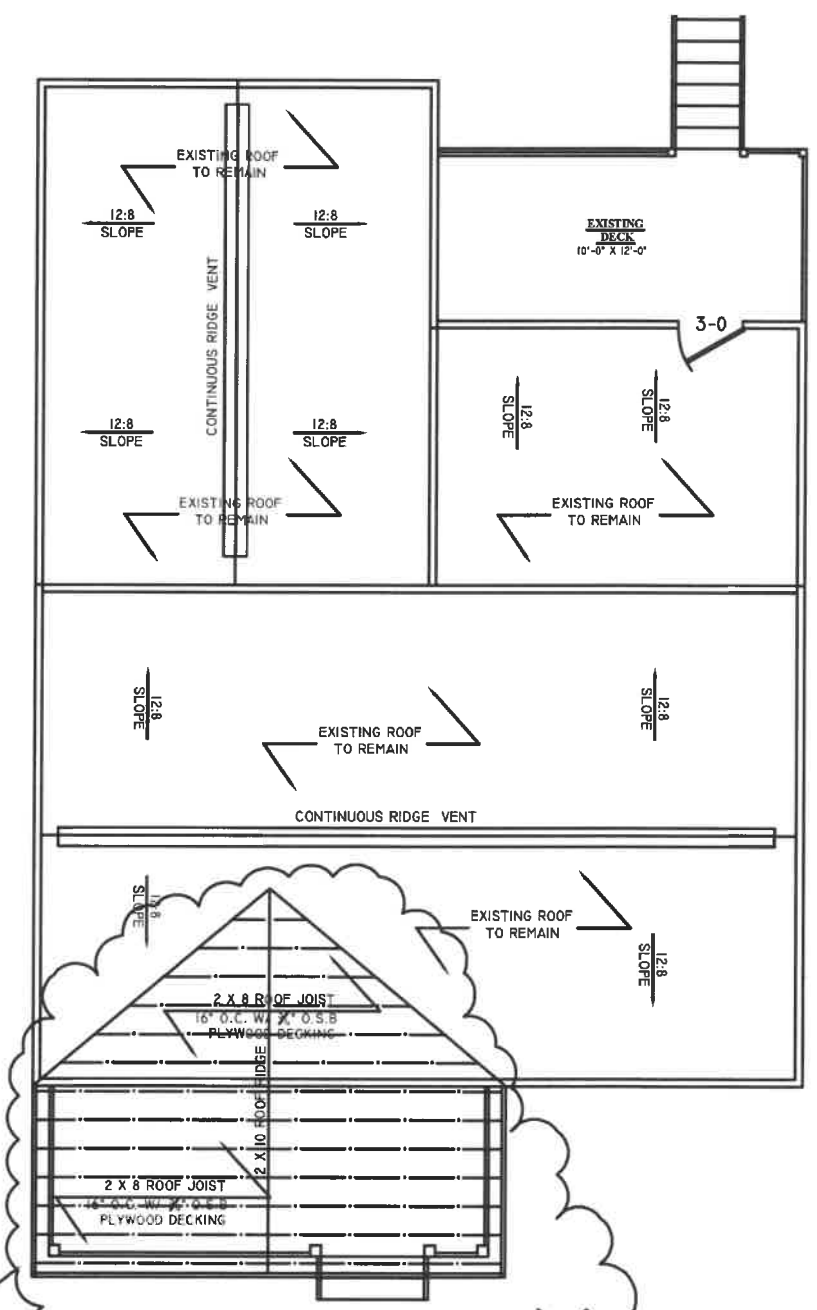


RAFTER CONNECTION DETAIL
SCALE : 3/4" = 1'-0"



GABLE PITCH DETAIL
SCALE : 3/4" = 1'-0"

CONCRETE SHALL
INSTALL NEW PORCH
COVER OVER EXISTING
CONCRETE SLAB PORCH



**NEW
ROOF FRAMING PLAN**
SCALE : 1/4" = 1'-0"

RELEASE FOR CONSTRUCTION

General Notes

ROOF FRAMING PLAN

No.	Revision/Issue	Date

Plan Name and Address
J.S. CADD DESIGN SERVICE
1426 GOLF LINK DR.
STONEMOUNTAIN GA, 30088
(404) 502-8574
swineyj@bellsouth.net

Project Name and Address
**FRONT PORCH & DECK
RENOVATION**
219 MAPLE ST.
ATLANTA, GA, 30354

Project	Sheet
Date 8/18/2019	A-7
Scale 3/16" = 1'-0"	