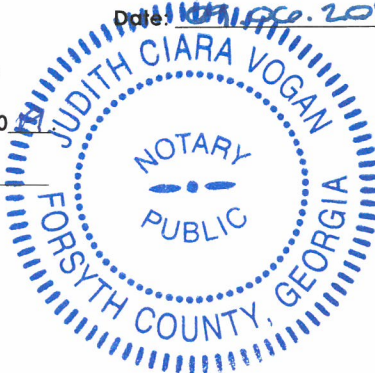


19-PC-10-24



CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION

WRITTEN SUMMARY

In detail, provide a summary of the proposed project in the space provided below. (Please type or print legibly.)

Applicant proposes a state of the art auto service center and repair facility on the site. The facility will be associated with Porsche's adjacent office headquarters, which is greater than 200,000 square feet, and is part of Porsche's corporate campus concept.

This image shows a single sheet of white paper with horizontal ruling lines. The lines are evenly spaced and run across the width of the page. There are no margins, text, or other markings on the paper.

CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION

AUTHORIZATION OF PROPERTY OWNER

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY LOCATED AT:

Porsche Ave (14 0096 LL0593)

City of Hapeville, County of Fulton, State of Georgia

WHICH IS THE SUBJECT MATTER OF THIS APPLICATION. I AUTHORIZE THE APPLICANT NAMED BELOW TO ACT AS THE APPLICANT IN THE PURSUIT OF THIS APPLICATION FOR PLANNING COMMISSION REVIEW.

Name of Applicant Steven Ellis, PRO Building Systems, Inc.

Address of Applicant
c/o The Galloway Law Group, 3500 Lenox Rd., Suite 760, Atlanta GA

Telephone of Applicant
404-965-3680

G. Feygin
Signature of Owner

GEORGE FEYGIN
Print Name of Owner

Personally Appeared Before Me this 6th day of September, 20 19

Sherie Boykin
Notary Public



**CITY OF HAPEVILLE
ECONOMIC DEVELOPMENT DEPARTMENT
PLANNING COMMISSION APPLICATION**

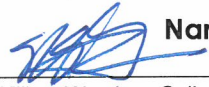
Date
September 9, 2019

AUTHORIZATION OF ATTORNEY

**THIS SERVES TO CERTIFY THAT AS AN ATTORNEY-AT-LAW, I HAVE BEEN AUTHORIZED
BY THE OWNER(S) TO FILE THE ATTACHED APPLICATION FOR THE PROPERTY
LOCATED AT:**

Porsche Ave (14 0096 LL0593)

City of Hapeville, County of Fulton, State of Georgia

 **Name or Attorney**

William Woodson Galloway Bar No. 283080
Laurel David Bar No. 206505

Address

The Galloway Law Group, LLC
3500 Lenox Rd., Ste 760,
Atlanta GA 30326

Telephone

404-965-3680

Site Plan Checklist – Please include with your application.

A site plan is used to determine the practical ability to develop a particular property within the City of Hapeville. Information relating to environmental condition, zoning, development impact, consistency with the Hapeville Comprehensive Plan and relevant town master plans will be considered in the decision process. To be considered, a site plan **must** contain the following information:

(Please **initial** each item on the list above certifying the all required information has been included on the site plan)



A brief project report shall be provided to include an explanation of the character of the proposed development, verification of the applicant's ownership and/or contractual interest in the subject site, and the anticipated development schedule. Please complete and submit all forms contained within the application for site plan review.



Site plans shall be submitted indicating project name, applicant's name, adjoining streets, scale, north arrow and date drawn.



The locations, size (sf) and height (ft) of all existing and proposed structures on the site. Height should be assessed from the base of the foundation at grade to the peak of the tallest roofline.



Site plans shall include the footprint/outline of existing structures on adjoining properties. For detached single-family residential infill development, the front yard setback shall be assessed based on the average setback of existing structures on adjoining lots. Where practical, new construction shall not deviate more than ten (10) feet from the average front yard setback of the primary residential structure on an adjoining lot. Exemption from this requirement due to unnecessary hardship or great practical difficulty can be approved at the discretion of the Planning Commission. To be considered for an exemption, the applicant must submit a "Request for Relief" in writing with their site plan application, including the conditions that necessitate relief (i.e. floodplain, wetland encroachment, excessive slope, unusual lot configuration, legally nonconforming lot size, unconventional sitting of adjoining structures, etc).



The location and general design cross-section characteristics of all driveways, curb cuts and sidewalks including connections to building entrances. A walkway from the primary entrance directly to the public sidewalk is required for all single-family residential development.



The locations, area and number of proposed parking spaces. Please refer to Article 22.1 Chart of Dimensional Requirements to determine the correct number of parking spaces for your particular type of development.



Existing and proposed grades at an interval of five (5) feet or less.



The location and general type of all existing trees over six (6) inch caliper and, in addition, an identification of those to be retained. Requirements for the tree protection plan are available in Code Section 93-2-14(f). Please refer to Sec. 93-2-14(y) to determine the required tree density for your lot(s).



A Landscape Plan: The location and approximate size of all proposed plant material to be used in landscaping, by type such as hardwood deciduous trees, evergreen trees, flowering trees and shrub masses, and types of ground cover (grass, ivies, etc.). Planting in parking areas should be included, as required in Section 93-23-18.



The proposed general use and development of the site, including all recreational and open space areas, plazas and major landscape areas by function, and the general location and description of all proposed, outdoor furniture (seating, lighting, telephones, etc.). Detached single-family residential development may be exempt from this requirement.



The location of all retaining walls, fences (including privacy fences around patios, etc.) and earth berms. Detached single-family residential development may be exempt from this requirement.



The identification and location of all refuse collection facilities, including screening to be provided. Detached single-family residential development may be exempt from this requirement.

Provisions for both on-site and offsite storm-water drainage and detention related to the proposed development.

Location and size of all signs. Detached single-family residential development may be exempt from this requirement.

Typical elevations of proposed building provided at a reasonable scale (1/8" = 1'0") and include the identification of proposed exterior building materials. Exterior elevations should show all sides of a proposed building.

Site area (square feet and acres).

Allocation of site area by building coverage, parking, loading and driveways, and open space areas, including total open space, recreation areas, landscaped areas and others. Total dwelling units and floor area distributed generally by dwelling unit type (one-bedroom, two-bedroom, etc.) where applicable.

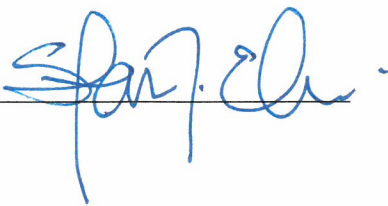
Floor area in nonresidential use by category. Detached single-family residential development may be exempt from this requirement.

Total floor area ratio and/or residential density distribution.

Number of parking spaces and area of paved surface for parking and circulation

At the discretion of the planning commission, analyses by qualified technical personnel or consultants may be required as to the market and financial feasibility, traffic impact, environmental impact, storm water and erosion control, etc. of the proposed development.

Please **initial** each item on the list above certifying the all required information has been included on the site plan, sign and submit this form with your site plan application. Failure to include this form and information required herein may result in additional delays for the consideration of your application.

Applicant Signature: 

Date 9/09/2019

Option Tract

All that tract or parcel of land lying and being in land lot 96 of the 14th District, City of Hapeville, Fulton County, Georgia and being more particularly described as follows:

Commence at the intersection of the line common to land lots 11 and 12, 13th District, Clayton County, Georgia, and the South boundary line of Land Lot 65, 14th District, Fulton County, Georgia, said Point of Commencement being located North 88 degrees 49 minutes 32 seconds West a distance of 307.92 feet as measured from a concrete monument found at the intersection of said county line and the northwesterly right-of-way of Interstate Highway I-75 (having a varied right-of-way); thence run North 08 degrees 10 minutes 25 seconds West a distance of 1064.55 feet to an iron pin set said iron pin set also being THE TRUE POINT OF BEGINNING;

From THE TRUE POINT OF BEGINNING as thus established run North 90 degrees 00 minutes 00 seconds West a distance of 1257.63 feet to an iron pin set, Thence run North 00 degrees 24 minutes 44 seconds East a distance of 1226.35 feet to an iron pin set, said iron pin set being located on the southeasterly right-of-way of South Street (public road having a variable width right-of-way); thence run along the said southeasterly right-of-way of South Street North 35 degrees 19 minutes 11 seconds East a distance of 185.37 feet to an iron pin set; thence continue to run along the said southeasterly right-of-way of South Street North 32 degrees 25 minutes 35 seconds East a distance of 26.92 feet to an iron pin set, said iron pin set being located on the southwesterly right-of-way of Henry Ford II Avenue (public road having a variable width right-of-way); thence leave the said southeasterly right-of-way of South Street and run along the said southwesterly right-of-way of Henry Ford II Avenue South 53 degrees 39 minutes 04 seconds East a distance of 639.64 feet to a point; thence run along the said southwesterly right-of-way of Henry Ford II Avenue along a curve to the left an arc distance of 606.89 feet (said arc having a radius of 2437.76 feet and being subtended by a chord 605.32 feet in length and bearing North 61 degrees 38 minutes 35 seconds West) to a point; thence continue to run along the said southwesterly right-of-way of Henry Ford II Avenue South 63 degrees 35 minutes 46 seconds East a distance of 94.14 feet to a nail set; thence leave the said southwesterly right-of-way of Henry Ford II Avenue and run South 00 degrees 24 minutes 44 seconds West a distance of 691.82 feet to an iron pin set, said iron pin set also being THE TRUE POINT OF BEGINNING.

Said tract contains 30.002 acres (1,306,884 square feet).

Porsche Service Center Lease Area

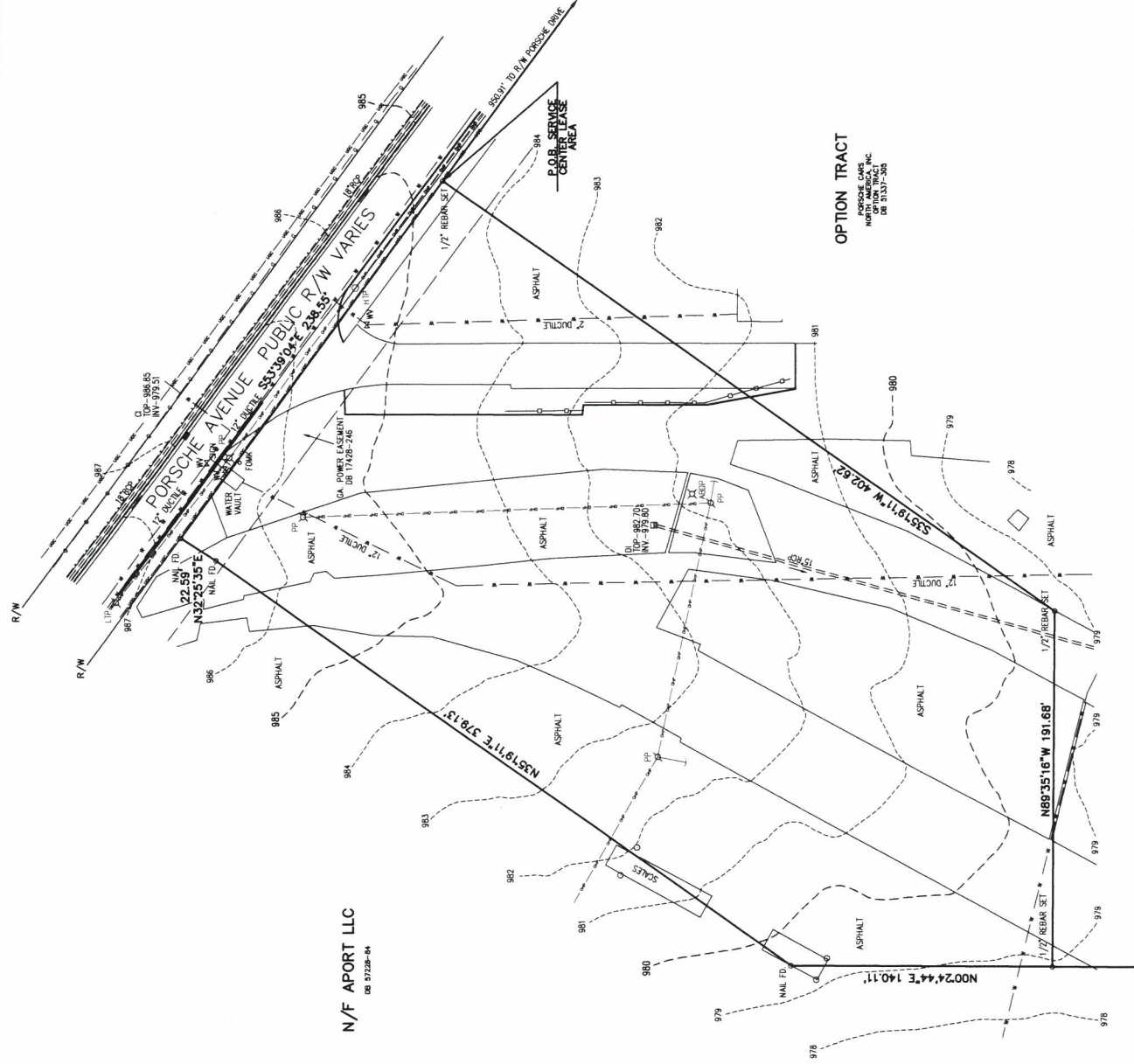
All that tract or parcel of land lying and being in Land Lot 96 of the 14th District, City of Hapeville, Fulton County, Georgia and being more particularly described as follows:

Beginning at an iron pin set on the southwesterly right-of-way of Porsche Avenue (formerly known as Henry Ford II Avenue and having a varied right-of-way) located 950.91 feet as measured northwesterly along said right-of-way from its intersection with the westerly right-of-way of Porsche Drive (having a varied right-of-way); Thence leaving said right-of-way and running South 35 degrees 19 minutes 11 seconds West a distance of 402.62 feet to an iron pin set; Thence running North 89 degrees 35 minutes 16 seconds West a distance of 191.68 feet to an iron pin set; Thence running North 00 degrees 24 minutes 44 seconds East a distance of 140.11 feet to nail found; Thence running North 35 degrees 19 minutes 11 seconds East a distance of 379.13 feet to nail found; Thence running North 32 degrees 25 minutes 35 seconds East a distance of 22.59 feet to nail found on the southwesterly right-of-way of Porsche Avenue; Thence running along said right-of-way South 53 degrees 39 minutes 04 seconds East a distance of 238.55 feet to and iron pin set and The Point of Beginning;

Said tract contains 2.50 acres (108,900 square feet.



GRID NORTH
NAD 83 GEORGIA WEST ZONE



OPTION TRACT
PORSCHE CARS
NORTH AMERICA, INC.
OPTION TRACT
DB 51337-305

NOTES:

Equipment used:
Angular & Linear: Sokkia iX Robotic Total Station

Reference: Deed Book 51337 Page 335

The field data upon which this plot is based has a closure precision of one foot in >25,000 feet and an angular error of <5.0" per angle point and was adjusted using the Least Squares Method.

Bearings are referenced to Grid North, Georgia State Plane

Coordinate System, West Zone.
1' contour interval based on NAVD88 datum.
No portion of the property lies within an H.U.D. identified Flood Hazard Area per F.I.R.M. Map No. 13121C0369 F, dated September 18, 2013. Subject property lies within Zone "X".
— areas determined to be outside of the 0.2% chance annual floodplain.

Information showing underground structures and utilities was obtained from a limited field survey. The exact location of any underground items should be verified through utility companies. This plot shall not be used for exact locations or presence of underground work.



DESIGNED	
DRAWN	DE
CHECKED	WJDIV
APPROVED	WJDIII

LOWE
ENGINEERS

990 HAMMOND DRIVE
SUITE 900
ATLANTA, GEORGIA 30328
TEL.: 770-857-8400
FAX: 770-857-8401

AN BOUNDARY & TOPOGRAPHICAL SURVEY FOR

PORSCHE CARS
NORTH AMERICA, INC.
SERVICE CENTER LEASE AREA

REVISIONS

DATE	NO.	REVERSE PL PER PCNA DESCRIPTION
9/3/19	1	

JOB NO. 19-0140

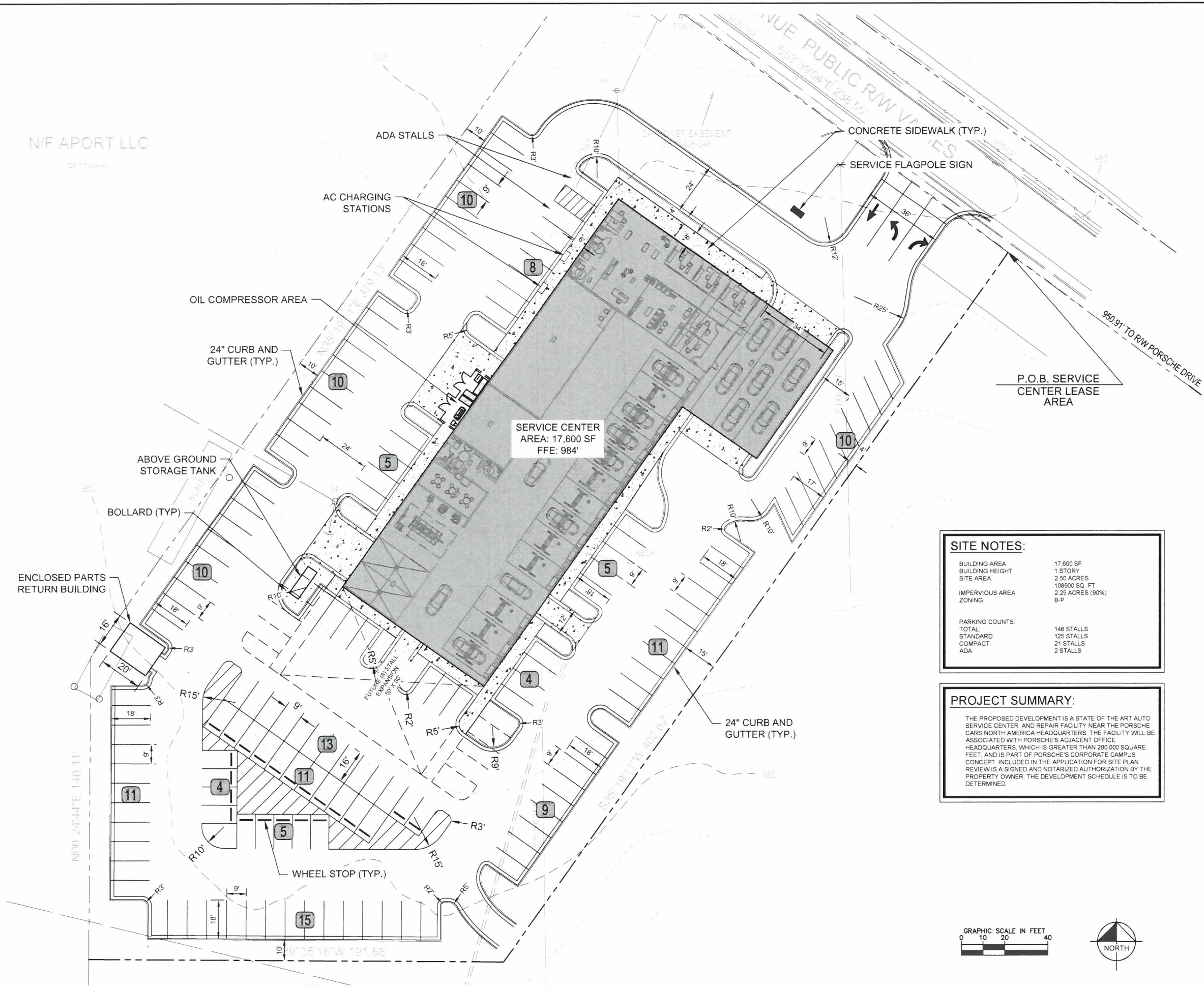
DATE SEPTEMBER 3, 2019

SCALE 1" = 40'

DWG. NO. 1 OF 1

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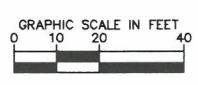
Drawing name: K:\ALP_PRJ\019891003_PCNA Track Extension\CADD\h1402019_09_05 Service Center_Engineered Site Plan\PlanSheetC1-00 SITE PLAN.dwg Layout1 Sep 09, 2019 6:03pm by John Simonaux



SITE NOTES:	
BUILDING AREA	17,600 SF
BUILDING HEIGHT	1 STORY
SITE AREA	2.50 ACRES
IMPERVIOUS AREA	108,900 SQ. FT.
ZONING	2.25 ACRES (90%) B-P
PARKING COUNTS	
TOTAL	148 STALLS
STANDARD	125 STALLS
COMPACT	21 STALLS
ADA	2 STALLS

PROJECT SUMMARY:

THE PROPOSED DEVELOPMENT IS A STATE OF THE ART AUTO SERVICE CENTER AND REPAIR FACILITY NEAR THE PORSCHE CARS NORTH AMERICA HEADQUARTERS. THE FACILITY WILL BE ASSOCIATED WITH PORSCHE'S ADJACENT OFFICE HEADQUARTERS, WHICH IS GREATER THAN 200,000 SQUARE FEET, AND IS PART OF PORSCHE'S CORPORATE CAMPUS CONCEPT. INCLUDED IN THE APPLICATION FOR SITE PLAN REVIEW IS A SIGNED AND NOTARIZED AUTHORIZATION BY THE PROPERTY OWNER. THE DEVELOPMENT SCHEDULE IS TO BE DETERMINED.



PREPARED BY

Kimley»Horn

11720 AMBER PARK DRIVE, SUITE 600
ALPHARETTA, GEORGIA 30009
PHONE: 770.616.4280
WWW.KIMLEY-HORN.COM

PREPARED FOR

**PORSCHE**

ONE PORSCHE DRIVE, ATLANTA, GA 30354

NO.	ISSUANCE AND REVISION DESCRIPTIONS	DATE	BY

PROJECT

PCNA SERVICE CENTER
PORSCHE AVE. HAPEVILLE, GA
LAND LOT 96, 14TH DISTRICT

GSWCC NO.
(LEVEL II)

DESIGNED BY

REVIEWED BY

DATE

PROJECT NO.

09/09/2019

TITLE

**PROPOSED
SITE PLAN**

SHEET NUMBER

C1-00

N/F APORT LLC
DB 57220-44

N/F APORT LLC
DB 57220-44

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C3-02

PREPARED FOR



PORSCHE

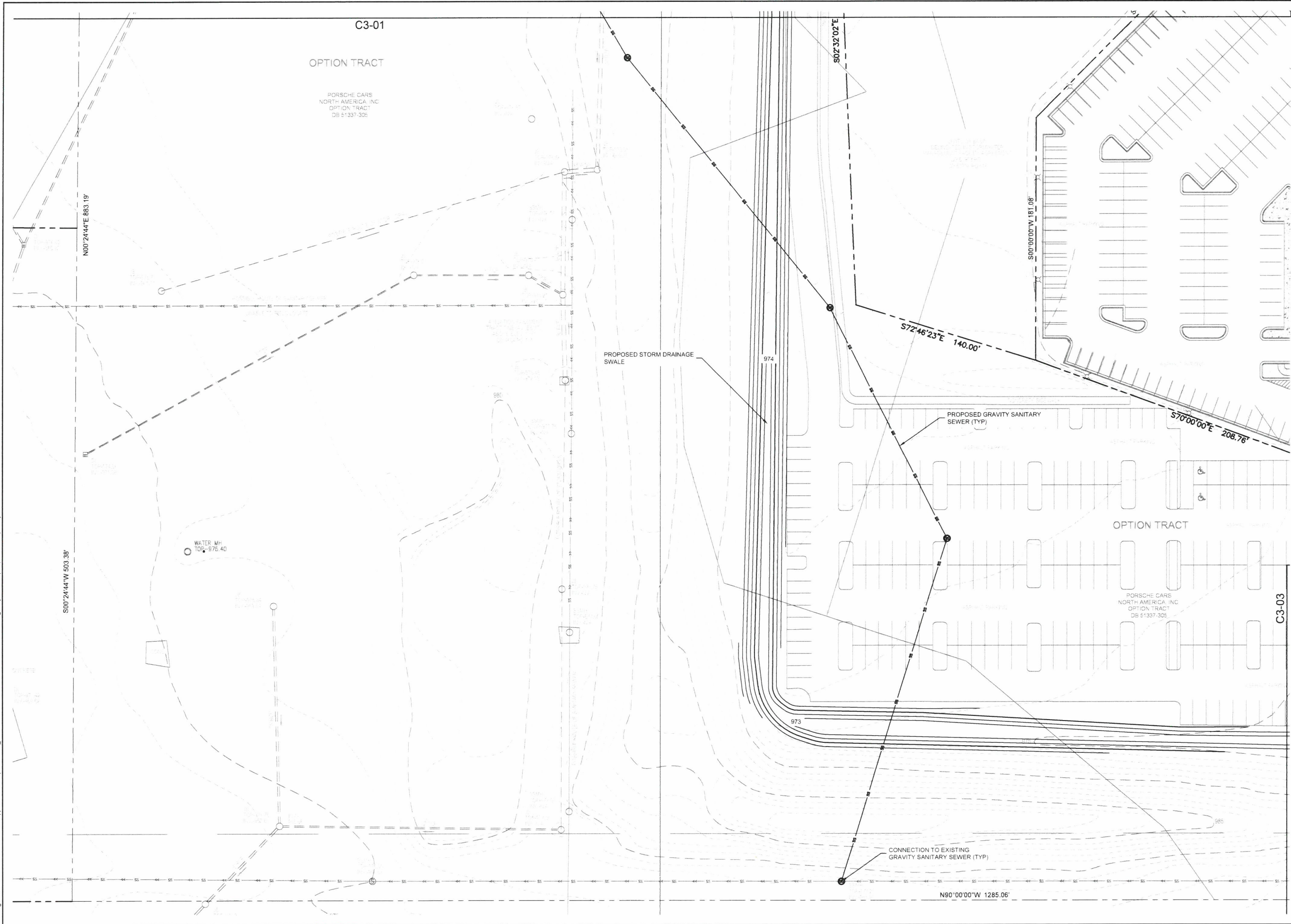
ONE PORSCHE DRIVE, ATLANTA, GA, 30308

PROJECT

PCNA SERVICE CENTER
PORSCHE AVE., HAPEVILLE, GA
LAND LOT 96, 14TH DISTRICT

GSWCC NO (LEVEL II)	
DRAWN BY	JNS
DESIGNED BY	
REVIEWED BY	
DATE	09/09/2019
PROJECT NO	
TITLE PROPOSED GRADING AND UTILITY PLAN	
SHEET NUMBER C3-01	

Drawing name: C:\Users\John.Simoneaux\appdata\local\temp\Acr\Publish_560\AC3-00 GRADING AND DRAINAGE PLAN.dwg Layout 2 Sep 09 2019 6:25pm by John Simoneaux



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Kimley»Horn 11720 AMBER PARK DRIVE, SUITE 600 ALPHARETTA, GEORGIA 30009 PHONE 770.694.2800 WWW.KIMLEY-HORN.COM	
PORSCHE ONE PORSCHE DRIVE, ATLANTA, GA 30354	
PCNA SERVICE CENTER PORSCHE AVE, HAPEVILLE, GA LAND LOT 96, 14TH DISTRICT	
C3-02	
GSWCC NO. (LEVEL II) DRAWN BY JNS DESIGNED BY REVIEWED BY DATE 09/09/2019 PROJECT NO. TITLE PROPOSED GRADING AND UTILITY PLAN SHEET NUMBER	
No. ISSUANCE AND REVISION DESCRIPTIONS DATE BY	

C3-02

PROPOSED STORM DRAINAGE SWALE

TIE IN TO EXISTING STORMWATER MANAGEMENT SYSTEM

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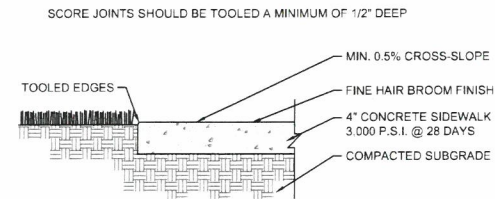
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Kimley»Horn

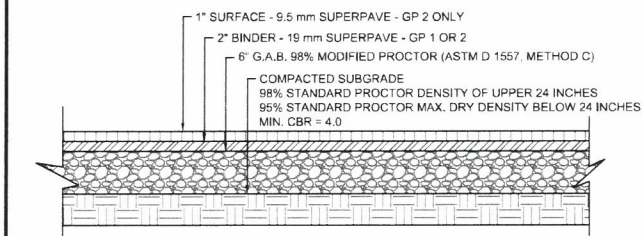
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ALPHARETTA, GEORGIA 30009
PHONE (770) 619-4280
WWW.KIMLEY-HORN.COM

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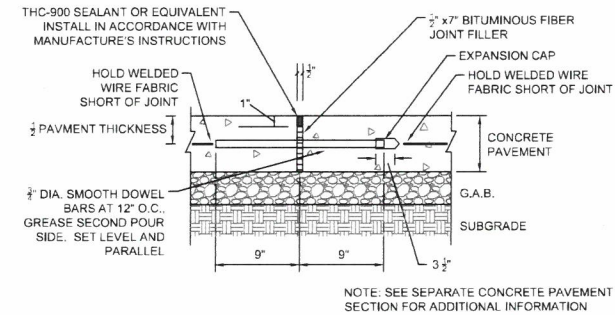
NOTES:

1. SCORING OF WALKS SHOULD OCCUR EVERY 5' OR AS DESIGNATED BY THE SITE PLAN
1/2 X 4" ASPHALTIC EXPANSION JOINTS SHOULD BE PLACED EVERY 30'.
2. WHERE SIDEWALK MEETS CURB OR BUILDING, 1/2 X 6" ASPHALTIC EXPANSION JOINT
SHOULD BE USED.

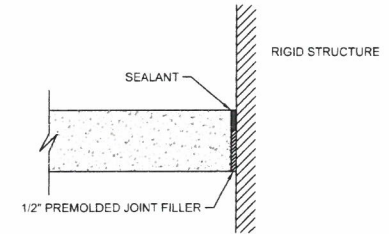


NOTES:

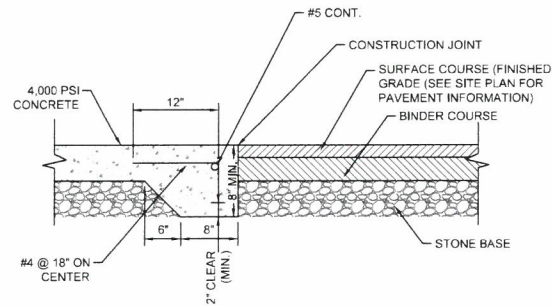
1. TACK COAT TO BE PLACED BETWEEN ASPHALT LAYERS UNIFORMLY AT A RATE OF 0.05 GAL/SY.
2. ALL ASPHALT MIXES TO INCLUDE HYDRATED LIME.



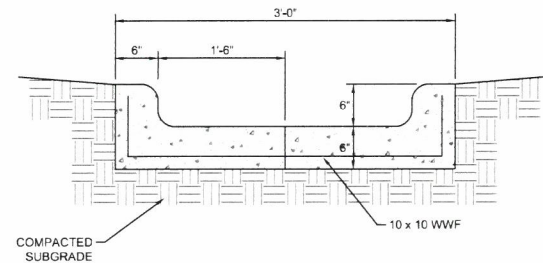
 CONCRETE EXPANSION JOINT DETAIL



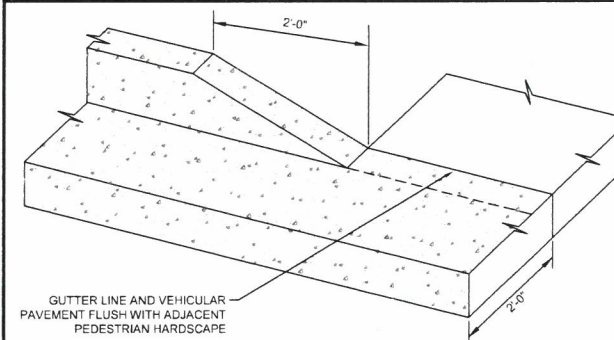
NOTE:
1. PROVIDE ISOLATION JOINT WHERE CONCRETE PAVEMENT
ABUTS A RIGID STRUCTURE.



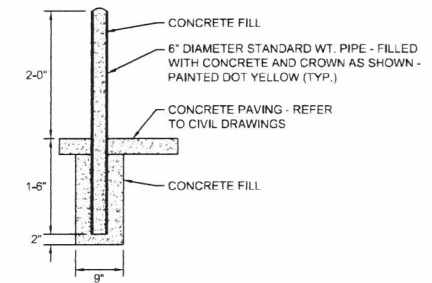
CONCRETE / ASPHALT JOINT DETAIL



CONCRETE FLUME DETAIL



TYP MITERED CURB SECTION TO FLUSH WITH PAVEMENT



BOLLARD DETAIL

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ALPHARETTA, GEORGIA 30009
PHONE (770) 613-4280
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ONE

PCNA SERVICE CENTER
PORSCHE AVE, HAPEVILLE, GA
LAND LOT 96, 14TH DISTRICT

SWCC NO.
LEVEL II)

DRAWN BY JNS

DESIGNED BY
REVIEWED BY

DATE 09/09/2019

PROJECT NO.	
TITLE	
CONSTRUCTION DETAILS	

SHEET NUMBER

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL/HT	HT	SPRD	CONDITION	REMARKS
	ELM-LAB	15	CHINESE ELM TREE	ULMUS PARVIFOLIA 'LACEBARK ELM'	2" CAL	6' MIN HT	5-6' SPRD	B&B	STRAIGHT TRUNK, FULL HEAD
	MAP-OG	6	OCTOBER GLORY MAPLE	ACER RUBRUM 'OCTOBER GLORY' TM	2" CAL	6' MIN HT	5-6' SPRD	B&B	STRAIGHT TRUNK, FULL HEAD
	OAK-HWD	23	WILLOW OAK	QUERCUS PHELLOS 'HIGHTOWER'	2" CAL	6' MIN HT	5-6' SPRD	B&B	STRAIGHT TRUNK, FULL HEAD
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	HT	SPRD	SPACING	REMARKS
	VIB-CHI	66	CHINDO VIBURNUM	VIBURNUM AWABUKI 'CHINDO'	7 GAL	36-42"	24-30"	54" o.c.	DENSE FOLIAGE, 3' MIN HT
	WAX-DD	89	DON'S DWARF WAX MYRTLE	MYRICA CERIFERA 'DON'S DWARF'	7 GAL	36-42"	24-30"	54" o.c.	DENSE FOLIAGE, 3' MIN HT
	HOL-BH	17	DWARF BURFORD HOLLY	ILEX CORNUTA 'BURFORDII NANA'	3 GAL	18-24"	16-18"	36" o.c.	DENSE FOLIAGE
	LOR-R	32	DWARF RUBY FRINGE FLOWER	LOROPETALUM CHINENSE RUBRUM 'RUBY'	3 GAL	18-24"	16-18"	48" o.c.	DENSE FOLIAGE
	TER-LEA	34	LEANN CLEYERA	TERNSTROEMIA GYMNANTHERA 'LEANN' TM	7 GAL	36-42"	24-30"	48" o.c.	DENSE FOLIAGE, 3' MIN HT

CAL/HT	HT	SPRD	CONDITION	REMARKS
2" CAL	6' MIN HT	5-6' SPRD	B&B	STRAIGHT TRUNK, FULL HEAD
2" CAL	6' MIN HT	5-6' SPRD	B&B	STRAIGHT TRUNK, FULL HEAD
2" CAL	6' MIN HT	5-6' SPRD	B&B	STRAIGHT TRUNK, FULL HEAD

CONT	HT	SPRD	SPACING	REMARKS
7 GAL	36-42"	24-30"	54" o.c.	DENSE FOLIAGE, 3' MIN HT
7 GAL	36-42"	24-30"	54" o.c.	DENSE FOLIAGE, 3' MIN HT
3 GAL	18-24"	16-18"	36" o.c.	DENSE FOLIAGE
3 GAL	18-24"	16-18"	48" o.c.	DENSE FOLIAGE
7 GAL	36-42"	24-30"	48" o.c.	DENSE FOLIAGE, 3' MIN HT

WAX-DD|25
7 GAL

15|LOR-R
13 GAL

17|HOL-BH
13 GAL

PORSCHE AVENUE
S53°39'04"E 235.55'

PUBLIC R/W VARI

6|MAP-OC
12" CAL

17|LOR-R
13 GAL

24|WAX-DD
17 GAL

23|OAK-HWO
12" CAL

VIB-CHI|20
7 GAL

WAX-DD|21
7 GAL

15|ELM-LAB
12" CAL

19|VIB-CHI
17 GAL

19|WAX-DD
17 GAL

21|TER-LEA
17 GAL

TER-LEA|13
7 GAL

VIB-CHI|27
7 GAL

FUTURE NO STALL
EXPANSION
50' X 80'

0 10 20 40
GRAPHIC SCALE IN FEET

NORTH



PORSCHE

LITTELL'S

[illegible]

PROJECT

PCNA SERVICE CENTER
PORSCHE AVE., HAPVILLE, GA
LAND LOT 96, 14TH DISTRICT

GSWCC NO. (LEVEL II)	
DRAWN BY	KW
DESIGNED BY	KW
REVIEWED BY	TL
DATE	09/09/2019
PROJECT NO.	019891003

TITLE
LANDSCAPE PLAN
SHEET NUMBER
L1-00

Drawing name K:\A\P_PRJ\019891003_PCNA Track Extension\CAD\Exhibits\2019-09-05 Service Center Engineered Site Plan\Plansheets\1.00 LANDSCAPE PLAN.dwg Layout1 (2) Sep 09, 2019 5:55pm by Kate Winn

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