



**DEPARTMENT OF PLANNING AND ZONING
PLANNER'S REPORT**

DATE: October 11, 2019
TO: Tonya Hutson
FROM: Michael Smith
RE: **Design Review – 3472 Rainey Avenue – Façade Changes**

BACKGROUND

The City of Hapeville has received updated plans for a new house to be constructed at 3472 Rainey Avenue. The new plans include minor changes to the front façade of the house. The changes include:

- Changing the window grille pattern from two over one to four over four
- Addition of angle brace detail to columns
- Addition of bracket and corbel trim to soffit
- Changing the style of front door

The designs are otherwise identical to those of the approved application.

RECOMMENDATION

The proposed changes are compliant with the Architectural Design Standards and are consistent with the approved style. Staff recommends approval.

3472 Rainey Avenue

1. The overall height of the existing structure.

Height of existing: 16'- 6" measured from the ground near the front door to the roof ridge.
(Page. 2AB-1)

2. The distance between the existing home and the addition and the property line.

The existing west setback is 1.36'. The new west setback is 8.76'.

The existing east setback is 8.03' and it stays 8.03'. *(Page: C-1)*

3. A sidewalk adjacent to Moreland Way. *(Done, review Landscaping Plan)*

We will install 3000-3500 PSI Concrete for the sidewalk. 4' wide sidewalk or equal to surrounding sidewalk near neighborhood. 4" thick. 4" of gravel underneath concrete. 8' control Joints 1" deep cuts.

4. A landscape plan for the property, including street trees adjacent to Moreland Way.

(Done, review Landscaping Plan)

5. Removal and/ or screening of existing chain link fencing visible from the street.

Yes, we can conceal the chain link fence with landscaping or build a privacy wood fence using 1"x6"x6' Cedar. *(Page: C-1)*

6. The location and screening of mechanical equipment.

(Done, review Landscaping Plan)

7. A light adjacent to the front door.

Added *(Page: 3A-3)* & *(Page: 3A-3)*

8. The width of the existing driveway.

Driveway width: 7.53' at its narrowest to 7.99' at its widest. *(Page: C-1)*

9. Information pertaining to the manufacturer's warranty related to the architectural shingles.

Add to the Plans (Page: 1A-2)

10. Information pertaining to the material and finish of the gutters and downspouts.

Gutters-6" White Aluminum Gutters. (Amerimax Model #4600200120)

Downspouts- 3"x4" White Aluminum Downspouts (Amerimax Model #4601100120)

Gutter hangers- 6" Aluminum Hidden Hangers (Spectra Metals Model #6HRHHAL). (Page: 3A-2}

11. The depth of the existing front porch.

The existing front setback (to the covered porch) is 28.86' and it stays 28.86'. (Page: 1AB-1}

12. The finish and materials of the portion of the front porch visible from the street

Hardie Siding 5/16"x 8 1/4" fiber cement (James Hardie Model #215518)

Trim 1"x4"x16' primed Finger-Joint Board (Model# 702636)

Body and Trim will be painted to customer's choice in color."

13. Building numbers on the front elevation. (Page: 3A-3}

Added

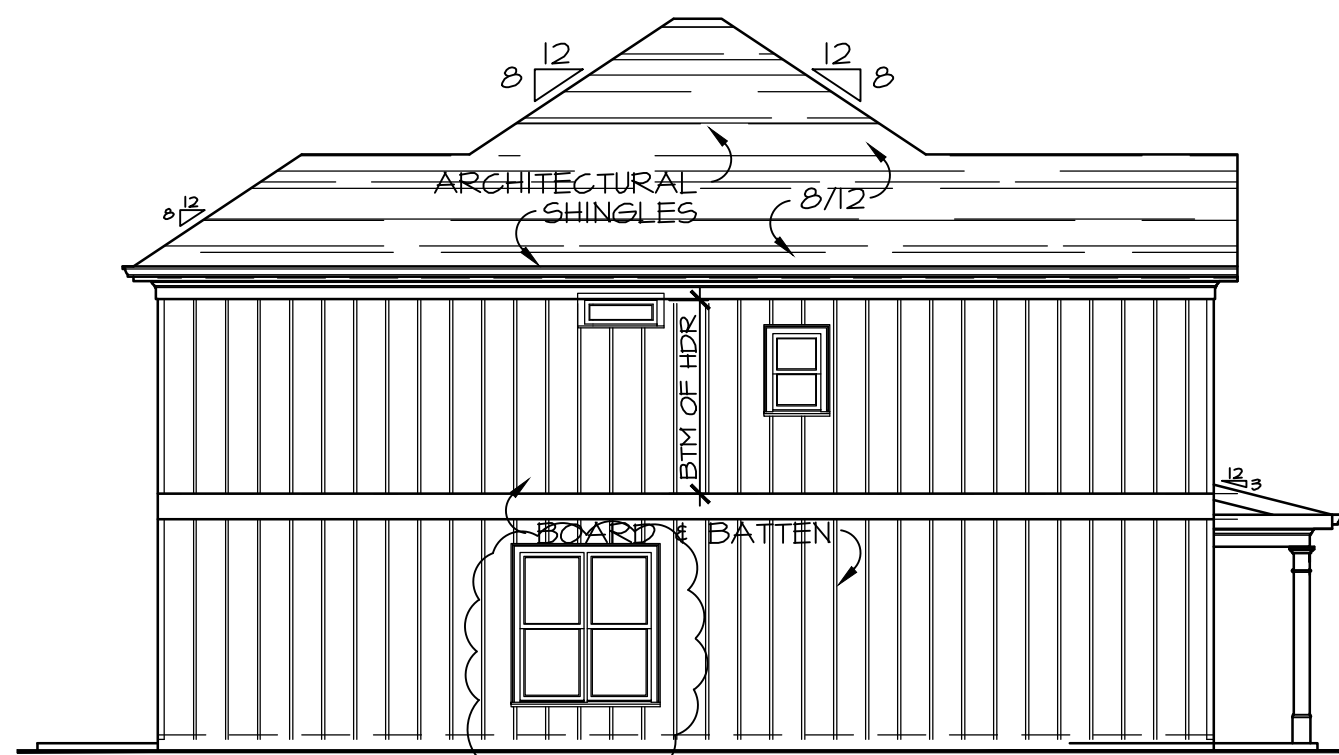
Change window grille pattern from 2 over one to four over four

Add angle brace detail to columns

Add bracket and corbel trim to soffit

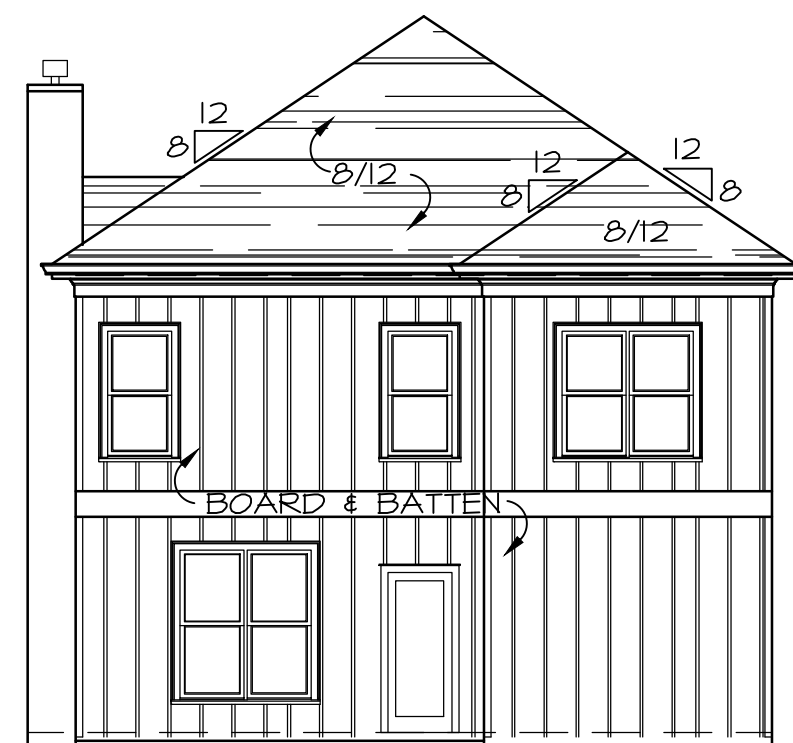
Address:
**3472 RAINEY AVE
 HAPEVILLE GA 30354**

Model Name:
WILKINS
 Sheet Title:
EXTERIOR ELEVATIONS & ROOF PLAN



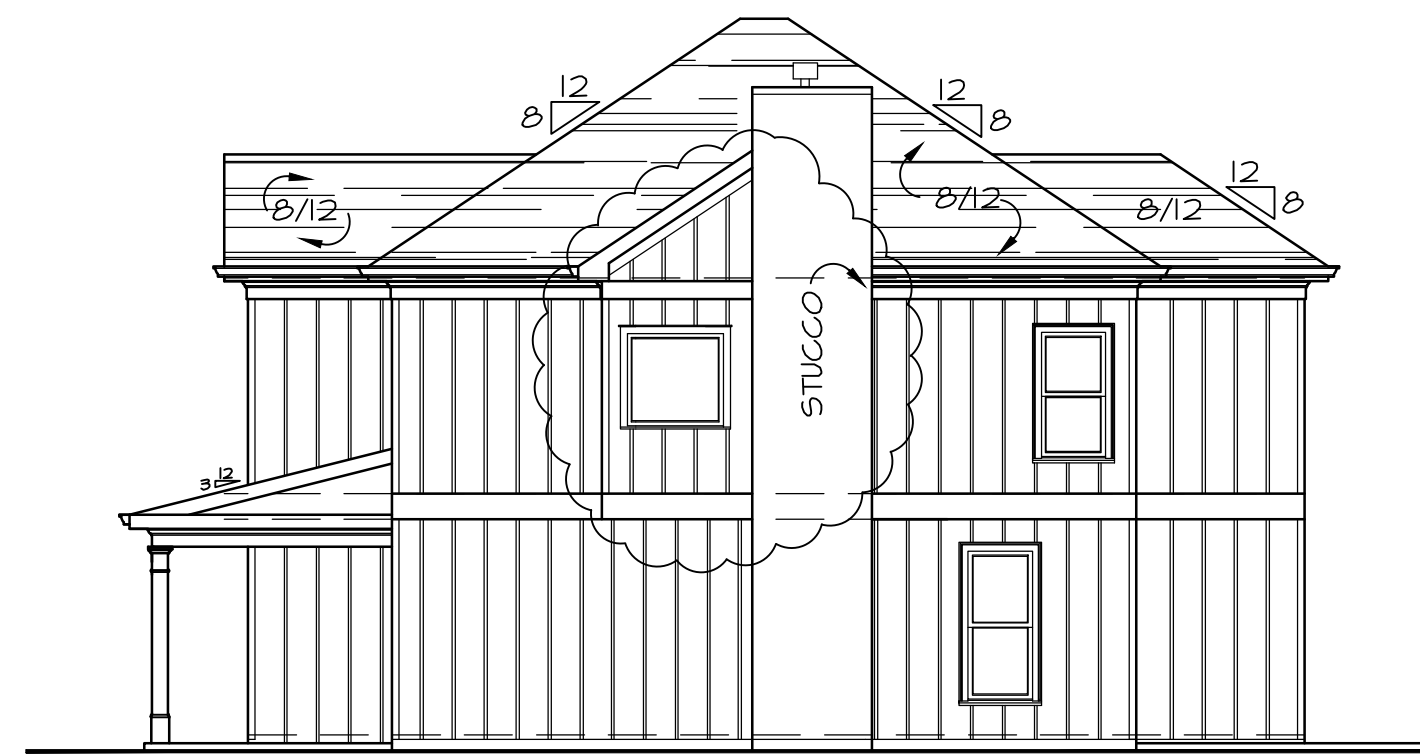
LEFT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

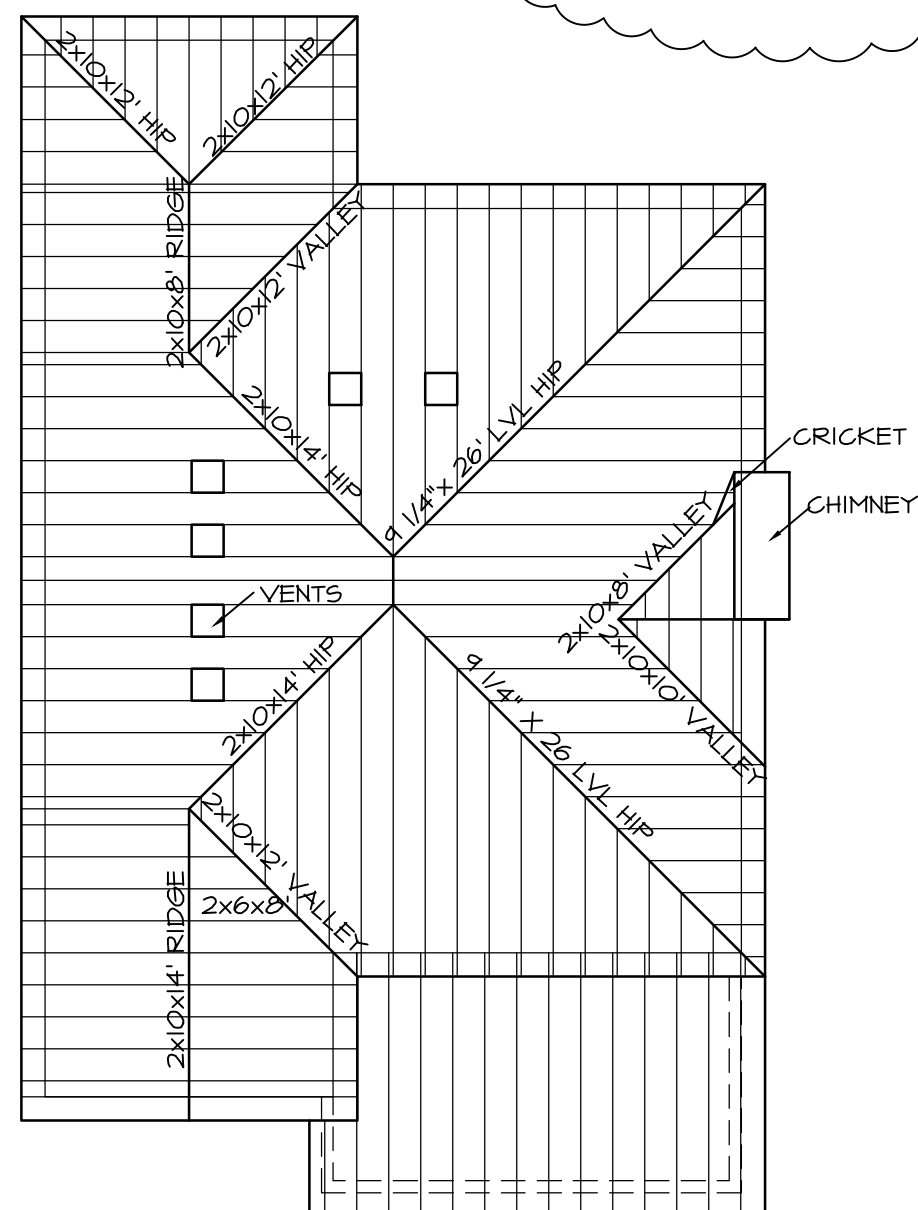
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RIGHT ELEVATION

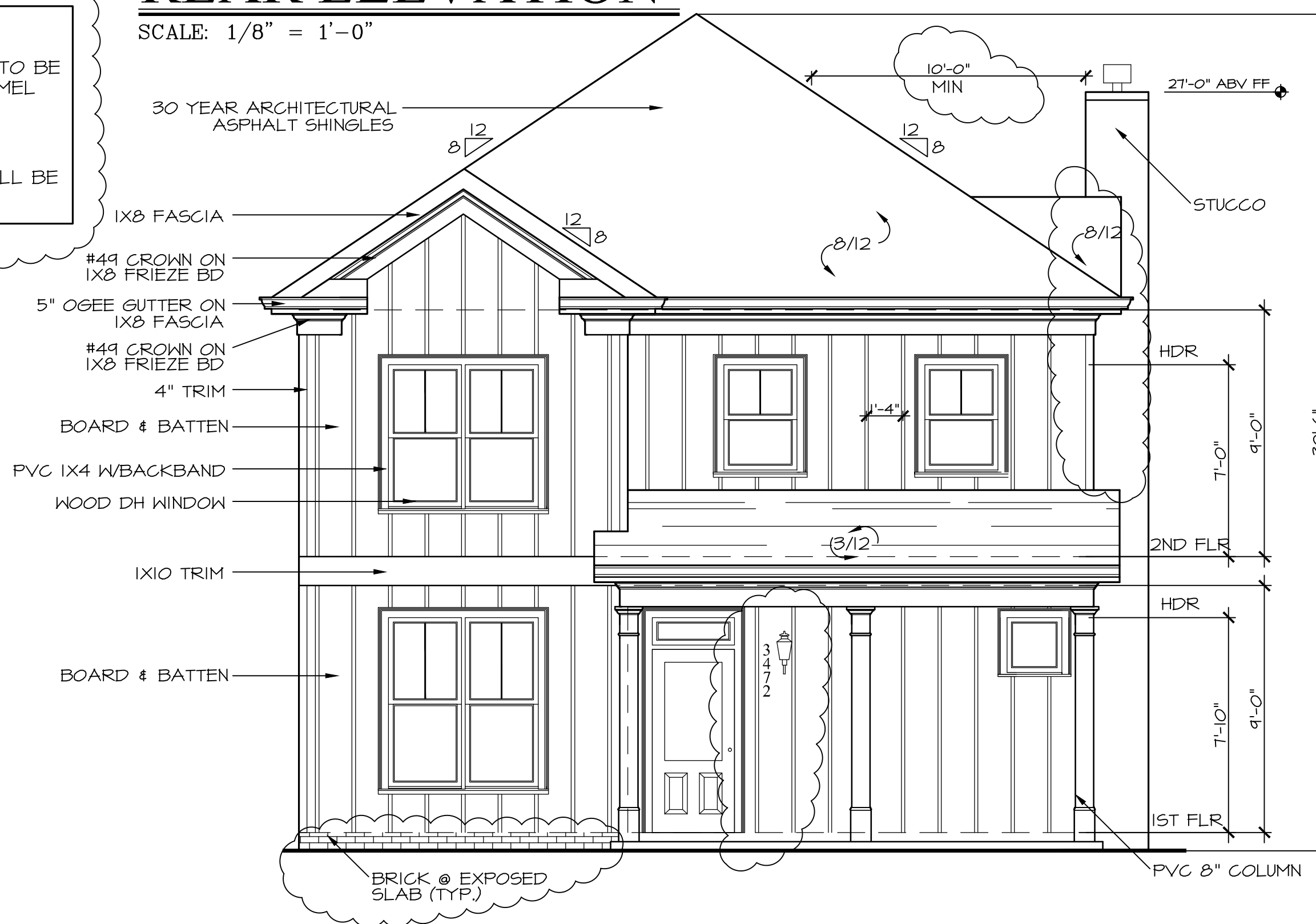
SCALE: 1/8" = 1'-0"

NOTE:
 1. ROOF SHINGLES TO BE 30 YEAR ARCHITECTURAL
 2. GUTTERS & DOWNSPOUTS TO BE GALVANIZED BAKED ENAMEL ALUMINUM
 3. ALL WINDOWS TO BE SDL NON TINTED GLASS
 4. ALL WINDOWS PANES SHALL BE RECESSED MIN. 2"



ROOF PLAN

SCALE: 1/8" = 1'-0"

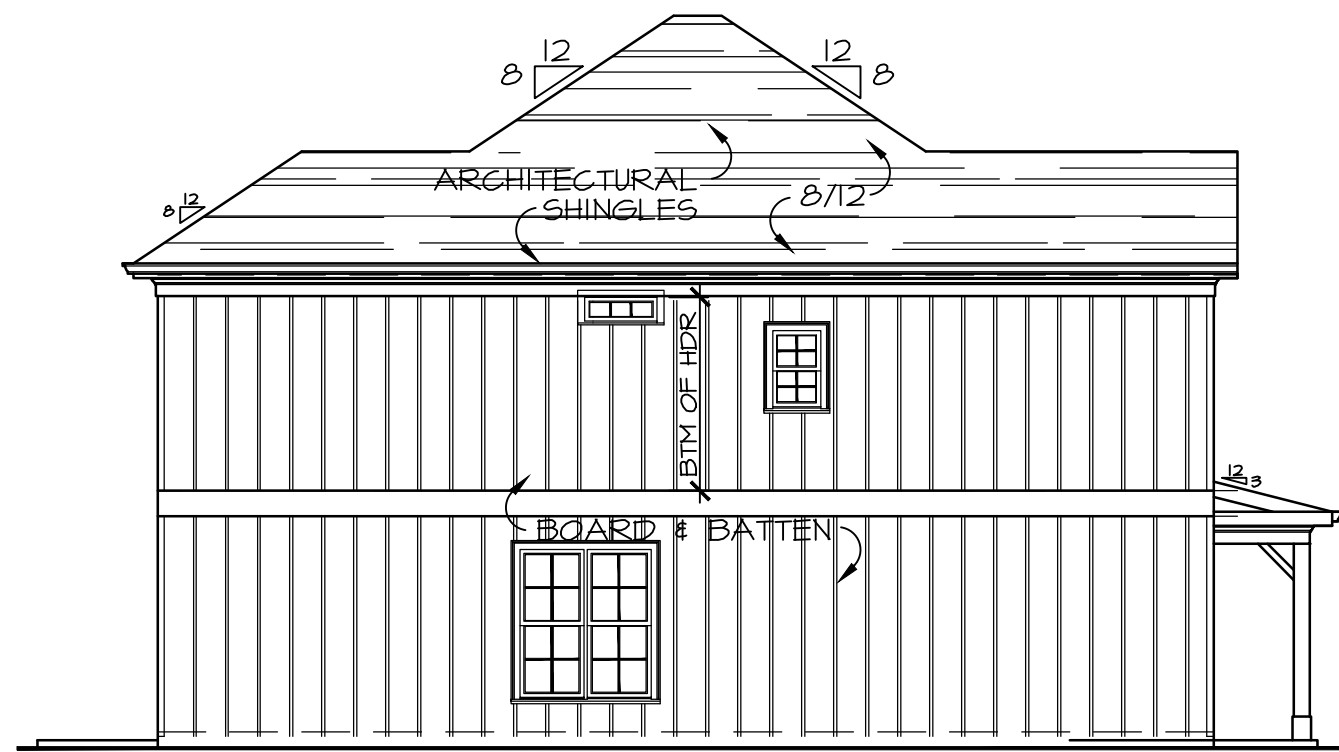


FRONT ELEVATION

SCALE: 1/4" = 1'-0"

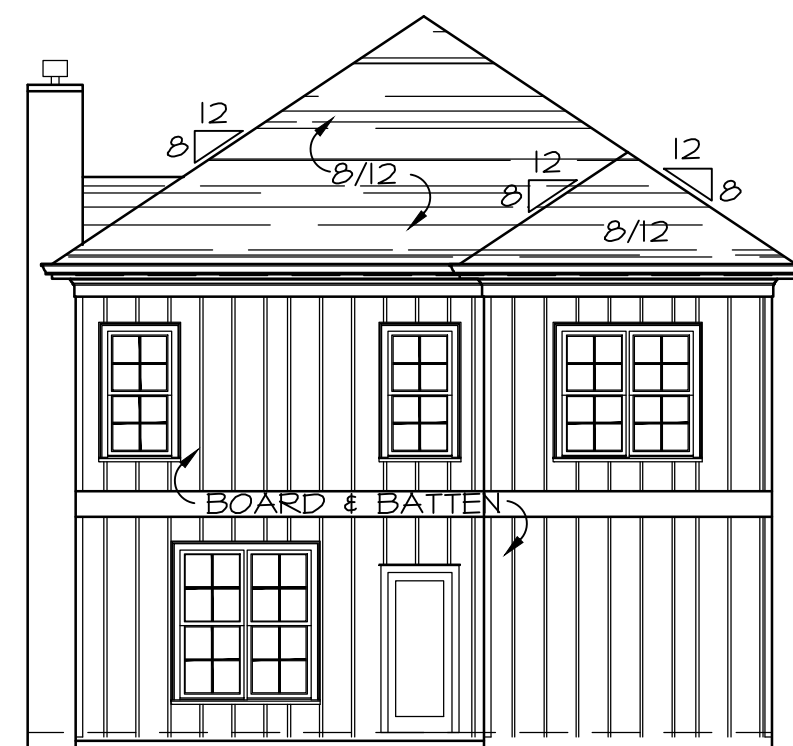
Address:
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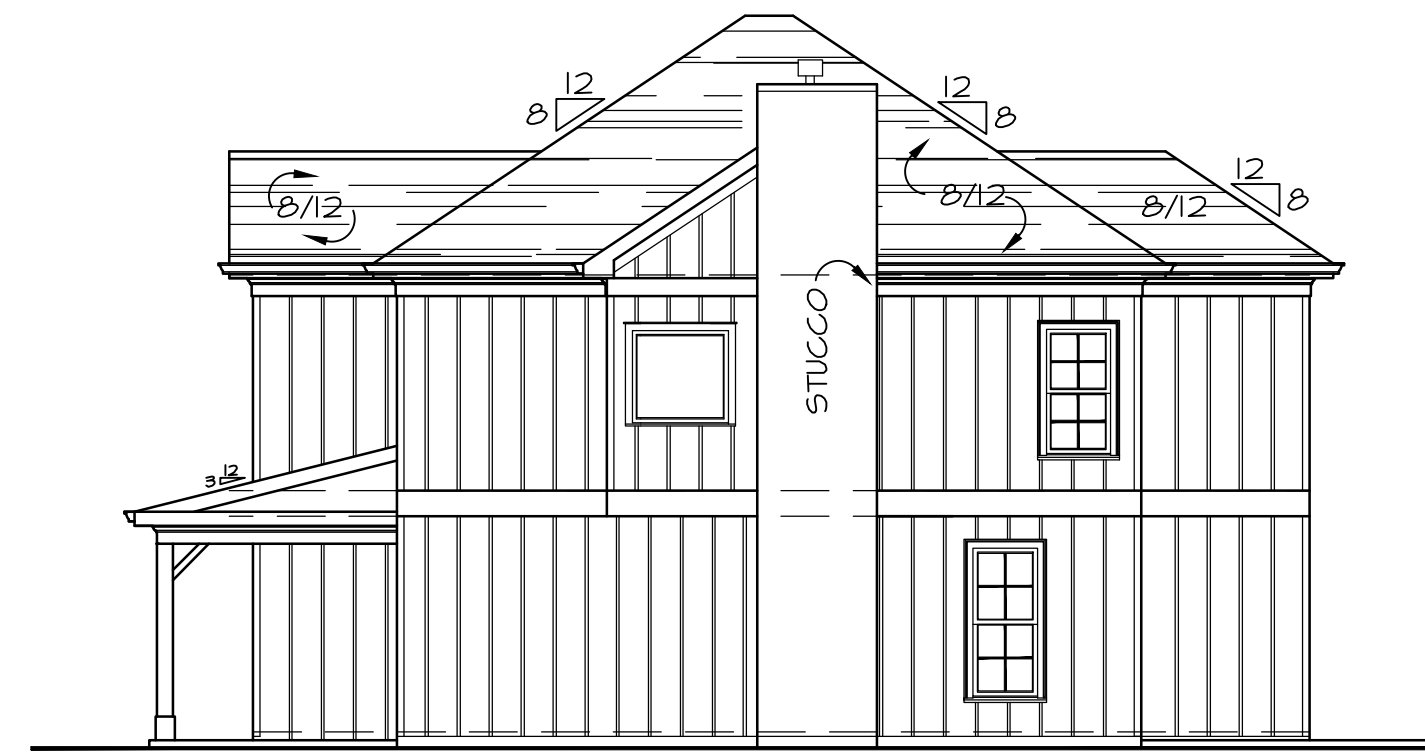
LEFT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

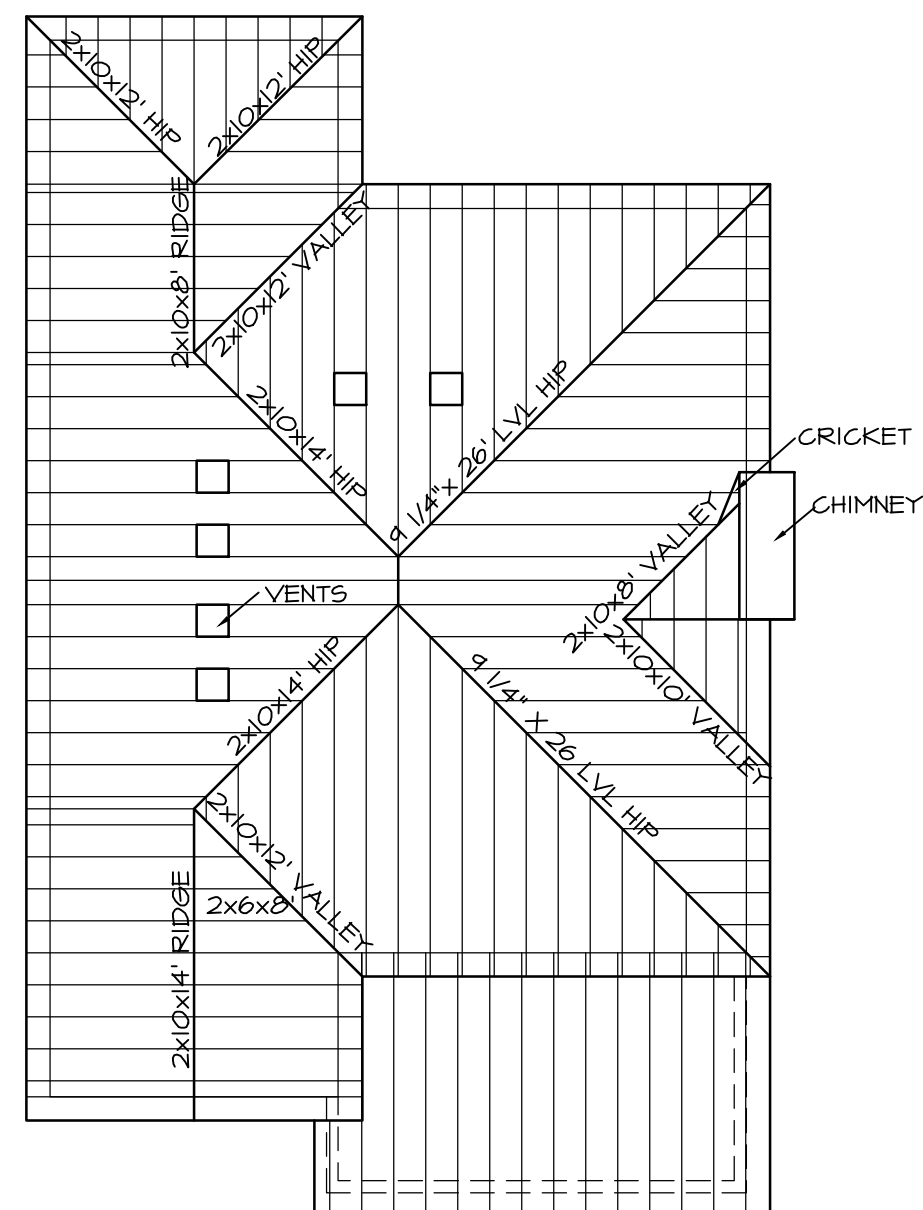
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RIGHT ELEVATION

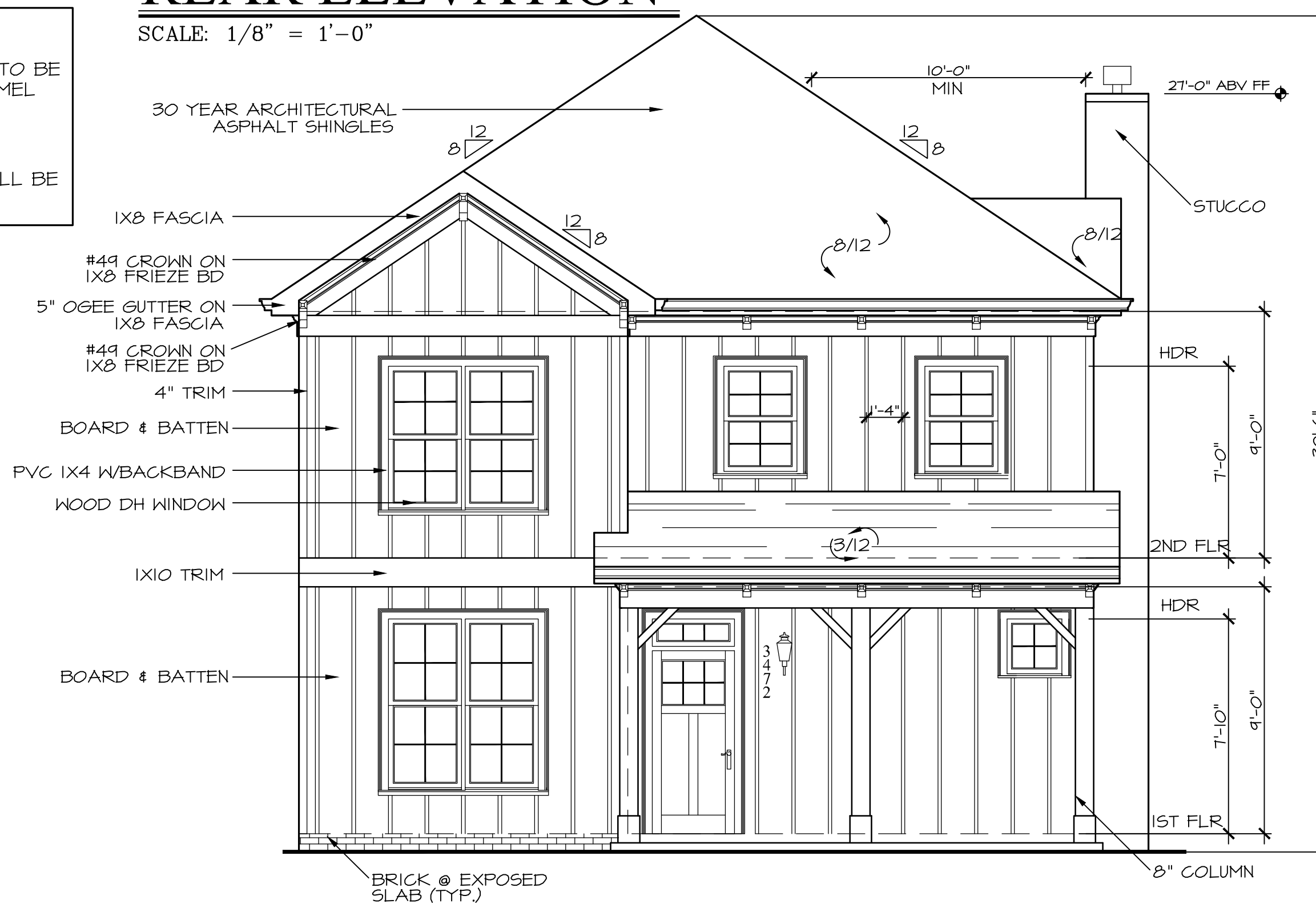
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ROOF PLAN

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

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