

DEPARTMENT OF PLANNING AND ZONING PLANNER'S REPORT

DATE: November 13, 2019

TO: Tonya Hutson

FROM: Michael Smith

RE: Design Review – 218 Maple Street

Not Applicable:

BACKGROUND

The City of Hapeville has received a design review application from Anthony Uwechue for the renovation of an existing one-story single-family dwelling located at 218 Maple Street. The existing structure appears to be damaged throughout and will require extensive repair. The project will include replacement siding, the removal of windows, repair of the roof including slight alteration of the existing roofline, a new porch, and the addition of a new rear bedroom. The final structure will have 1,300 sq. ft. of heated floor area with a 160 sq. ft. porch.

The property is zoned R-1 - One-Family Detached, and is subject to the Neighborhood Conservation Area, Subarea E of the Architectural Design Standards.

The footprint of the existing structure extends into the west side setback by 0.4 feet, which makes the property non-conforming. The applicant has applied for a Variance to reduce the west side setback to bring the property into compliance, which will be considered at the November 13, 2019 meeting of the Board of Appeals.

CODE

SEC. 81-1-7. NEIGHBORHOOD CONSERVATION AREA

Based on goals established in this chapter, the following standards are required in the neighborhood conservation area identified in section 81-1-3. This includes two subareas: subarea D and subarea E. All of the standards contained in this section shall apply to all development in all subareas. Subarea requirements are found within the applicable subsection.

This section shall govern subarea C of the commercial/mixed-use area. It may also govern one-family detached dwellings and two-family dwellings in the commercial/mixed-use area, provided that the section is applied in its entirety.

(a) Site development standards

- x Except where indicated, setbacks shall be established by zoning.
- On corner lots the principal building shall be located adjacent to the street intersection, subject to setback or build-to line requirements of zoning.

- Minimum building heights shall be established by zoning.
- within subareas D and E maximum building heights shall be as established by zoning, except that:
 - Where this chapter provides a more-stringent standard as compared to the zoning code, the more-stringent standard shall prevail. The only exception to this shall be a use grandfathered under the zoning code.
 - Portions of buildings equal to or less than five feet from a side or rear lot line shall be limited in height to the greater of 16 feet.
 - Portions of buildings between five and ten feet of a side or rear lot line shall be limited in height to the
 - ✓ greater of 25 feet.
 - y Portions of buildings ten feet or greater from a side or rear lot line shall be limited in height to 35 feet.
- Outside of subareas D and E maximum building heights shall be as established by zoning.
- ✓ All buildings shall provide first-story occupiable space, for the first ten feet of building depth along the enfronting facade.
- ✓ Sidewalks shall be located along all public and private streets. Sidewalks shall consist of two areas: a landscape area and a clear area.
 - Developments less than one acre shall provide a minimum one-foot landscape zone and a minimum four-
 - foot clear zone.
 - Development of one acre or more shall provide a minimum two-foot landscape zone and a minimum five-foot clear zone.
 - The above notwithstanding, multifamily developments and all developments along Dogwood Drive shall provide a minimum five-foot landscape zone and a minimum six-foot clear zone.

STAFF COMMENT:

- The side setbacks in the R-1 zone are 5'. The existing dwelling is 4.6' away from the western property line, which is not compliant. The applicant has applied for a Variance from the board of appeals to reduce the side setback.
- Within subarea E, the maximum height for the portion of a building closer than 5' to the property line is 16'. Both the existing and proposed structures have a uniform east-west height of 19' 2 1/2", which is not compliant. The renovation is repairing/replacing the roof and altering the roofline but is not changing the overall height of the structure.
- The existing sidewalk does not have a landscape area.

(b) Supplemental Area and Fence Standards

- Developments shall locate landscape supplemental areas adjacent to first-story residential uses and place a minimum of one tree every 50 feet in the supplemental area. See list of allowed trees in section 93-2-14.
- O Chain link fencing is not permitted in areas visible from a public right-of-way.
- On all lots a fence, wall, curb or hedge between six and 48 inches in height is encouraged at the back of the required sidewalk, except at openings to access steps, drives or pedestrian walkways.
- Sences adjacent to the street shall be picket-wood, stone, composite materials or ornamental metal, with the finished side facing the street.
- Retaining walls adjacent to the required sidewalk shall not exceed 32 inches in height unless required by topography.
- All street-facing walls shall be faced with stone, brick, or smooth stucco.
- Small planting between retaining walls and the required sidewalk are encouraged and should have a minimum width of six inches.

STAFF COMMENT:

(c) Utility Standards

- Mechanical features shall not be located in the supplemental area or front yard and shall be screened from view from any park or along any public right-of-way with planting, walls or fences of equal or greater height. Acceptable materials for screening shall include those materials found in subsection (f)1., provided they are compatible with the principal structure.
- When located on rooftops, mechanical features shall be incorporated in the design of the building and screened with materials similar to the building.
- Street lights may be provided by the developer in an effort to maintain a safe, walkable and well-lit public area throughout the city; pedestrian-scale street lights as approved by the DRC and the department of community services shall be provided by the developer, subject to site plan and design review in new development.
- All developments shall provide a light at the front door. Lighting designed to illuminate the path to the front door is allowed. Spotlighting may be provided as long as it is properly shielded and does not become an annoyance to adjacent property owners or the public. General area illumination with oversized flood lights is prohibited. Specifically, lighting shall be shielded so that the source of light is not visible from adjacent properties or the public right-of-way.
- Trees shall not be planted directly above storm drains.

STAFF COMMENT:

- The plans do not indicate the location of mechanical features or screening. The scope of construction does not include changes to the utilities.
- The applicant has indicated there will be a light at the front door. The plans should be revised to show the light.

(d) Parking and Traffic Standards

One-family detached dwellings and two-family dwellings shall meet the following requirements:

Driveways shall have a minimum width of nine feet and a maximum width of 15 feet.

Circular drives are permitted.

A grass strip in the middle of driveways is encouraged.

○ All other buildings shall meet the following requirements:

Parcels are permitted a maximum of one driveway curb cut per street. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.

Driveways shall have a maximum width of 12 feet for one-way and 24 feet for two-way.

Two curb cuts serving two one-way driveways shall be counted as one curb cut.

Public or private alleys, or driveway providing vehicular access to two or more parcels shall not constitute a curb cut.

New public streets shall not count as curb cuts.

Parcels are permitted a maximum of one driveway curb cut per street frontage. In cases where a property abuts multiple streets the total number of curb cuts or portions thereof may be allocated to a single street.

O Carports are only permitted subject to the following requirements:

Carports shall be located in the rear or side yard, but shall not be visible from a public right-of-way.

Carport roofs shall be supported by columns with a minimum width and depth of eight inches.

The base of carport columns shall be faced in stacked brick or stacked stone to a minimum height of three feet above grade.

- ✓ On-site parking shall be prohibited in the supplemental areas. This shall not be interpreted as restricting onstreet parking located along a public street.
- O Garage access on single-family lots shall be prohibited in the front yard of the home.

STAFF COMMENT:

The location and width of the driveway is not provided on the site plan. The scope of construction does not include changes to off-street parking.

(e) Roof and Chimney Standards

- ✓ Principal building roofs for one-family detached dwellings shall have a minimum usable life of thirty (30) years, per manufacturer's warranty.
- ✓ Roof shingles shall be slate, cedar, or asphalt.
- Metal roofs are:

Allowed on one-family and two-family detached dwellings;

Permitted on multifamily and townhouse dwellings only when screened form the adjacent street by a parapet wall.

- ✓ Gutters shall be copper, aluminum or galvanized steel.
- ✓ Downspouts shall match gutters in material and finish.
- ✓ Roof forms shall be based on architectural style.
- ✓ All roofs, excluding dormers, shall overhang a minimum of 12 inches beyond the facade.
- O Dormers are permitted on all style homes (unless specified), but shall not be taller than the main roof to which they are attached.
- O Chimneys exposed to the public view may not be faced in wood or cement based siding and may not be of an exposed metal or ceramic pipe. All chimneys shall be wrapped in a brick, stone or suitable masonry finish material.
- O Chimneys on exterior building walls shall begin at grade.
- O Chimneys shall begin at grade and be faced with brick or stacked stone; extend chimneys between three and six feet above the roof line.

STAFF COMMENT:

(f) Street Facing Facade and Style Standards.

✓ Exterior facade materials shall be limited to:

Full-depth brick;

Natural or cast stone;

✓ Smooth natural-wood siding and/or cement-based siding;

Shake siding;

Painted fish-scale style shingles, but only when used in front gables;

True, smooth hard-coat stucco, provided that its use is limited to gables of Tudor revival-style buildings.

✓ Exterior building materials shall not be:

Simulated brick veneer, such as Z-Brick;

Exterior insulation and finish systems (EIFS);

Exposed concrete block;

Metal siding or other metal exterior treatment;

Glass curtain walls;

Liquid vinyl;

T-1-11 siding;

Vinyl siding, except that existing one-family detached homes with vinyl siding covering more than 70 percent of the exterior facade may replace said siding or construct an addition faced in vinyl siding.

- ✓ Facade materials shall be combined horizontally, with the heavier below the lighter.
- \checkmark Blank, windowless walls are prohibited along all facades. See subsection 81-1-7(q)11.
- Foundations shall be constructed as a distinct building element that contrasts with facade materials. Foundations that are exposed above the ground, must be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone.
- ✓ All exterior stair risers visible from a street shall be enclosed.
- ✓ Porches, stoops, and balconies may be located in the front or side yard.
- Porches, stoops, and balconies along front and side building facades shall not be enclosed with screens, plastics, or other materials that hinder visibility and/or natural air flow.
- ✓ Porches, stoops, and balconies shall be made of painted or stained wood, stone, brick, or ornamental metal, subject to the additional restrictions below.
- Wooden porches, stoops, and balconies shall provide top and bottom horizontal members on railings. The top railing shall consist of two elements. The upper element shall measure two [inches] by six inches and the lower element shall measure two [inches] by four inches. The bottom railing shall measure two [inches] by four inches.
- Front porches and front stoops of principal buildings shall face and be parallel to the front lot line or build-to line.
- ✓ Porch and stoop foundations shall be enclosed.
- Front and side porches and stoops shall not have unpainted, unstained or otherwise untreated or exposed pressure treated lumber along the building line that abuts a public right-of-way.
- O Balconies shall have not less than two clear unobstructed open or partially open sides. Partially open is to be constructed as 50 percent open or more. The total combined length of the open or partially open sides shall exceed 50 percent of the total balcony perimeter.
- ✓ Stoops and porch[es] shall be a minimum of two feet and a maximum of four feet from grade to the top of the stairs, unless existing topography is greater.
- Stoops shall provide a minimum top landing of four feet by four feet.
- Stoop stairs and landings shall be of similar width.
- Stoops may be covered or uncovered.
- ✓ When provided, porches shall have a minimum clear depth of eight feet from building facade to outside face of column.
- ✓ Front porch widths shall be between 80 percent and 100 percent of the adjacent facade.
- Side porch widths (including wraparound porches) shall be between 25 percent and 100 percent of the adjacent facade.
- O Enfronting porches may have multistory verandas, living space, or balconies above.
- ✓ Porch columns shall be spaced a maximum distance of eight feet on center.
- ✓ Front porch columns shall have foundation piers extending to grade.
- ✓ All porches shall be covered.
- © Enfronting balconies are only permitted on attached or detached one-family home facades when porches are not provided on said facades.
- O Enfronting balconies shall have a minimum clear depth of four feet.
- © Enfronting balcony widths shall be between 25 percent and 100 percent of the adjacent facade.
- Balconies may be covered or uncovered.

STAFF COMMENT:

- Foundations shall be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone. The existing foundation is painted concrete block.
- The handrail and post detail should be revised to reflect the following requirements of the standards:
 - The top railing shall consist of two elements. The upper element shall measure 2" x 6" and the lower element shall measure 2" x 4".
 - O The bottom railing shall measure 2" x 4".

(g) Door and window standards.

- ✓ The main entry door to enfronting principal buildings shall face, be visible from, and be accessible from the adjacent public sidewalk.
- ✓ The main entry door to all uses shall be linked to the sidewalk via a pedestrian walkway or wheelchair access.
- Building numbers at least six inches in height shall be located above or beside the street-facing pedestrian entrance, or above or beside the stairs accessing a front porch.
- O Doors that operate as sliders are prohibited along enfronting facades.
- Window panes shall be recessed a minimum of three inches and a maximum of eight inches from the adjacent facade, except on frame houses, on which panes shall be recessed a minimum of two inches.
- ✓ Where windows lights are utilized they shall be true divided lights, simulated divided lights, or one-over-one lights. Grids-between-glass (GBGs) are prohibited.
- Window trim shall not be flush with the exterior facade and shall provide a minimum relief of one-quarter inch or greater.
- Nhere used, window shutters shall match one-half the width of the window opening.
- O Painted window or door glass is prohibited.
- Enfronting windows and door glass (except on churches and fire stations) shall utilize clear glass or tinted glass. Tinted glass shall have a transmittance factor of 50 percent or greater and shall have a visible light reflectance factor of ten or less.
- Windows shall be provided for a minimum of thirty (30) percent and a maximum of 50 percent of the total street-facing facade of the principal building, with each facade and story calculated independently.
- ✓ Street-facing window units shall not exceed 28 square feet with minimum height of three feet, with the exception of transoms and fan lights.
- Wood trim between four and six inches wide shall surround windows of wood frame structures. Windows grouped together shall have center mullions two inches wider than the side trim.
- Sills shall be of masonry, wood, stone, cast stone, or terra cotta.

STAFF COMMENT:

- The applicant should ensure the new porch landing is still connected to the sidewalk via a pedestrian walkway. The applicant should consider the welfare of the existing front yard trees if a new walkway is to be poured.
- The applicant should ensure the new porch or façade has building numbers displayed.
- It is unclear how many windows are being added or changed. ALL required information in the *Door and window standards* section of the Standards should be provided for any new windows. A design exception will be required to allow new windows to match existing windows in style if the existing windows are not compliant with the Standards.

- (h) Detached one-family dwellings/ two-family dwellings. In addition to the requirements of subsections (a) through (g), the following shall apply to detached one-family dwellings and two-family dwellings.
- First Stories. First stories shall be elevated above the grade between two and four feet, unless existing topography is greater or unless wheelchair access is desired and cannot be provided from the side or rear.
- ✓ Window Sills. Enfronting first story window sills should be no less than two and one-half feet and no more than three and one-half feet above finished floor elevation.
- Wheelchair access. Where practical, wheelchair access, when provided, should be installed at the side or rear of the home in order to preserve the architectural character of the primary facade.
- O Architectural style. Architecture is one of the most critical components of place, and nowhere is this more evident than on building facades. The design and character of street-facing facades is a reflection of both buildings and their users, and must be carefully considered for its impact on the overall sense of place.

New homes in the neighborhood conservation area should be designed to reflect the principal traditional styles found in the community. These include national folk, Queen Anne, ranch, Tudor revival, craftsman, and minimal traditional styles.

These styles, however, do not reflect the only styles historically found in Hapeville, which also includes a few occurrences of neocolonial revival. Where an applicant desires to utilize a style historically found in Hapeville, but not reflected in the six principal styles identified in subsections (4)a. through (4)e., they shall provide the Design Review Committee with photo documentation of the relevant style in Hapeville, a description of the key features of such style, and written justification of such style's appropriateness for the community.

STAFF COMMENT:

RECOMMENDATION

Upon review of the information provided by the Applicant for the garage, the following items have been found to be missing or deficient and should be addressed by the Applicant and the Design Review Committee:

- 1. The side setbacks in the R-1 zone are 5'. The existing dwelling is 4.6' away from the western property line, which is not compliant. The applicant has applied for a Variance from the board of appeals to reduce the side setback.
- 2. Within subarea E, the maximum height for the portion of a building closer than 5' to the property line is 16'. Both the existing and proposed structures have a uniform east-west height of 19' 2 1/2", which is not compliant. The renovation is repairing/replacing the roof and altering the roofline but is not changing the overall height of the structure.
- 3. The existing sidewalk does not have a landscape area.
- 4. The plans do not indicate the location of mechanical features or screening. The scope of construction does not include changes to the utilities.
- 5. The applicant has indicated there will be a light at the front door. The plans should be revised to show the light.
- 6. The location and width of the driveway is not provided on the site plan. The scope of construction does not include changes to off-street parking.
- 7. Foundations shall be parged with cement, stuccoed over or be faced in brick, natural stone, or cast stone. The existing foundation is painted concrete block.
- 8. The handrail and post detail should be revised to reflect the following requirements of the standards:

- a. The top railing shall consist of two elements. The upper element shall measure 2" x 6" and the lower element shall measure 2" x 4".
- b. The bottom railing shall measure 2" x 4".
- 9. The applicant should ensure the new porch landing is still connected to the sidewalk via a pedestrian walkway. The applicant should consider the welfare of the existing front yard trees if a new walkway is to be poured.
- 10. The applicant should ensure the new porch or façade has building numbers displayed.
- 11. It is unclear how many windows are being added or changed. ALL required information in the *Door and window standards* section of the Standards should be provided for any new windows. A design exception will be required to allow new windows to match existing windows in style if the existing windows are not compliant with the Standards.

Once these items are addressed to the satisfaction of staff and the Design Review Committee, the plans can be approved.

CITY OF HAPEVILLE DESIGN REVIEW APPLICATION

SUBMITTAL	DATE: _	10/21	2019			
NOTE:	authorized		ative is requir			Applications or an the Design Review
	Every atte month's a supporting	empt will b agenda fo documen	e made to p llowing the ts; however,	lace your app submittal of	blication for a a completed always be a	ay of each month. review on the next d application with possible. The City ary.
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Applicants Ac	ddress:	AM 81	PLE ST	HAPEU	LLE, GA	+ 30324
E-Mail Addres	ss:			Zoning Cla	ssification: _	R1
Address of Pr	oposed Wor	k: <u> </u>	MAPLE	st. HAP	271-16	GA 30354
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Applicants	Signature	107	7		Date	,

Project Class (check	one):	
Residential	Commercial	Mixed-Use Development
Project Type:		
New Commercial	Construction	Addition to Existing Commercial Building
Addition to Existin	g Residential Structure	Accessory Structure
Site Plan, Grading	& LandscapingNe	w Single Family Residential Construction
Other		
Total Square Footage of p	proposed New Construction:	160 SQ.FT. (porch)
Total Square Footage of	existing building:	SP.FP
Estimated Cost of Constru	uction: \$ 17,000 · 60	
		existing structure:
List/Describe Building Ma	terials <u>proposed</u> for the exter	rior facade of the new structure:
wood	concrete and han	displant siding

NOTICE

Please be advised that the Community Service Department is here to assist all applicants regarding application procedures, meeting schedules and necessary deadlines. The Community Service Department does **NOT** make any final decisions for the Design Review Committee, Sign Committee, Planning Commission, Board of Appeals or rezoning request to Mayor and Council.

A complete application must be submitted before the Community Service Department will accept an application and forward the same to the appropriate entity.

Building inspections issued by the City of Hapeville are contracted out to State of Georgia Certified Inspectors. These inspectors make the final decisions regarding building, electrical, plumbing and HVAC work completed in the City of Hapeville. The Hapeville Fire Marshal conducts inspections issued through the Community Services Department as needed. Both the Certified Inspectors and Fire Marshal make the final decisions before Certificates of Occupancy's are issued.

Please be advised that the Community Service Department shall not be responsible for your purchasing materials, equipment, items, signs, etc... before you receive final approval by any entity whose approval is required.

I understand that it is a felony to make false statements or writings to the City of Hapeville, Georgia pursuant to O.C.G.A. 16-10-20 and I may be prosecuted for a violation thereof.

(Please Print & Initial)

I ANTHON UNCULUE AU swear or affirm that before receipt of an application, I have received this notice and I read and write the English language or I have had someone read and explain this document to me.



DEPARTMENT OF PLANNING AND ZONING

DESIGN REVIEW APPLICATION INSTRUCTIONS AND ACKNOWLEDGEMENT

I, the undersigned, agree that with my signature and submission to the City of Hapeville, I have done the following:
Read the City of Hapeville's Architectural Design Guidelines and relevant Code sections for my proposed project. The Architectural Design Guidelines may be found here: https://library.municode.com/ga/hapeville/codes/code of ordinances?nodeId=PTIICOOR CH81ARDEST Ensured that my proposed project meets all of the required criteria per the City of Hapeville Code of Ordinances.
Submitted my application materials in full by the published deadline for review by Staff prior to the Design Review Committee meeting.
✓ Identified and explained all deficiencies or components of the proposed project that do not meet with the requirements set forth in the Code. This explanation should be submitted as a separate document in the application.
$\sqrt{}$ Understood that any deficiencies in the application must be resolved at least 10 days prior to the Design Review Committee meeting or the application may not be presented to the DRC for review.
Submitted architectural drawings and details for all projects unless allowed in writing by the Community Services or Planning & Zoning Department.
Agreed to submit any required revisions by the Design Review Committee with updated drawings to the Community Services Department for review prior to requesting any permits.
Understood that builder must follow approved plan and that the Certificate of Occupancy will not be issued until a Design Inspection is performed and Architectural Design Standards are met.
ANTHONY UNECHUE AU 10/21/2019
Printed Name Signature Date

Should you have any questions, please do not hesitate to contact the Community Services Department at 404-669-2120.

Thank you for interest and investment in the City of Hapeville.

HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND

SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.

2. THIS PLAT WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF THE TITLE ARE EXCEPTED. THIS PLAT IS SUBJECT TO ALL LEGAL EASEMENTS

AND RIGHT OF WAY PUBLIC OR PRIVATE.

3. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR AS MADE NO INVESTIGATION OR INVESTIGATION OF ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE

4. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTION.

5. SURVEY LAND EXPRESS, INC IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON—LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.

ISSUING AUTHORITY. 6. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS,

* L E G E N D * IRON ROD FOUND
RRIGATION VALVE
JUNCTION BOX
LAND LOT LINE
MAGNETIC READING IP
MAGNOLIA TREE
MAN HOLE
METAL FENCE
N'BORS.
OVERHANG
OPEN TOP PIPE FOLIND AS PER DEED JB LLL MAG MGN MH MTF AS PER FIELD ANGLE IRON FOUND AS PER PLAT AS PER RECORD BACK OF CURB APR BC BLK BLS BRK BSMT BLOCK
BUILDING LINE SETBACK
BRICK
BASEMENT OVERHANG
OPEN TOP PIPE FOUND
OWNERSHIP UNCLEAR
PORCH
PROPERTY CORNER
PROPERTY LINE
PINE TREE
POINT OF BEGINNING
POWER POLE
DOWER POLE CABLE BOX
CONCRETE
CATCH BASIN
CENTER LINE
CHAIN LINK FENCE
CORRUGATED METAL PIPE
CITY OF ATLANTA
SAN SEWER CLEANOUT
CRAWI SPACE CBX
C.
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CLF
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C.O.A.
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CPT
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EM
EP POWER LINE PORCH PLAT CRAWL SPACE
CALCULATED POINT
CARPORT
CRIMP TOP PIPE FOUND RECORD REINFORCING BAR FOUND REINFORCING BAR SET REINFORCED CONC. PIPE RBSPW RSSSPW BE D F K WDF K WDF K WRF WWW WW/ DEED DRAINAGE EASEMENT RIGHT-OF-WAY DRAINAGE INLET
ELECTRIC POWER BOX
ELECTRIC METER
EDGE OF PAVEMENT RIGHT-UF-WAY
SIGN
SANITARY SEWER LINE
SANITARY SEWER EASEMENT
SCREENED PORCH
SIDEWALK
TOP OF BANK
UTILITY EASEMENT EDGE OF PAVEM FIELD FENCE POST FENCE CORNER FIRE HYDRANT FRAME GAS LINE GAS WALVE GUY WIRE HEAD WALL HARDWOOD TREE IRON PIN FOUND IRON PIN SET FP FC FH FR GW GW HDW IPF IPS WOOD FENCE
WOOD DECK
WATER LINE
WATER METER
WRE FENCE
WATER VALVE
WET WEATHER
WITH/

YARD INLET

IRON PIN SET

INDICATES STAIRS INDICATES WALLS

THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. CAN NOT BE SCANNED AND ALTERED, CROPPED OUT COPY/PASTE OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK. SURVEYOR'S STAMP AND SIGNATURE. THIS SURVEY PLAT CAN BE ONLY ATTACHED AS A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND SITEPLANS AND CAN NOT BE INSERTED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS PREPARED BY ANY OTHER PARTY WITHOUT WRITTEN APPROVAL AND ORIGINAL BLUE INK SIGNATURE OF THE SURVEYOR OF RECORD.



TOTAL LAND AREA

7472.46 SF / 0.172 AC

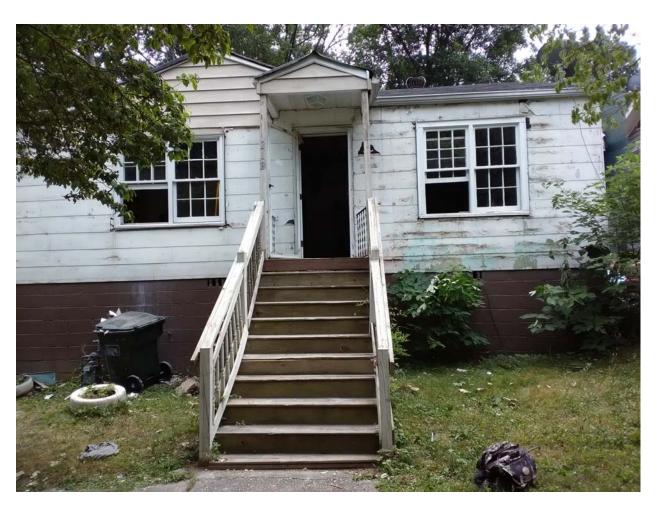
LOT		BOUNDARY PREPARED FOR:	SHEET 1 OF 1
SUBDIVISION		GRAND ACE PROF	PTTTC
AND LOT 94 14TH DISTRI	CT	GNAND ACE FROM	LIVIII
FULTON COUNTY, GEORGIA DB.60170/P	9.541	PROPERTY ADDRESS:	ORG
TELD WORK DATE OCT 08, 2019 PRINTED,	SIGNED OCT 10, 2019	218 MAPLE ST	G REGISTERED A
LL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 17" x 22"	HAPEVILLE, GA 30354	No. 31070

COORD #20192120 DWG <u>#201</u>92120

SURVEY LAND EXPRESS, INC LAND SURVEYING SERVICES

24 LENOX POINTE ATLANTA, GA 30324 FAX 404-601-0941 TEL 404-252-5747 INFO@SURVEYLANDEXPRESS.COM







PROPOSED SINGLE FAMILY RESIDENCE REMODEL/ADDITION FOR

MR. ANTHONY UWECHUE @ 218 MAPLE ST. HAPEVILLE, GA 30354



3D RENDERING OF PROPOSED HOME REMODEL

APPLICABLE CODES:

INTERNATIONAL BUILDING CODE, 2012 EDITION W/2014 & 2015 GEORGIA STATE AMENDMENTS

INTERNATIONAL MECHANICAL, 2012 EDITION W/2014 & 2015 GEORGIA STATE AMENDMENTS INTERNATIONAL PLUMBING CODE, 2012 EDITION W/2014 & 2015 GEORGIA STATE AMENDMENTS, AND IPC APPENDIX F

INTERNATIONAL FUEL GAS CODE CODE, 2012 EDITION W/2014 & 2015 GEORGIA STATE AMENDMENTS

NFPA NATIONAL ELECTRIC CODE, 2017 EDITION W/ NO GEORGIA STATE AMENDMENTS INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION W/2011 & 2012 GEORGIA STATE AMENDMENTS

INTERNATIONAL EXISTING BUILDING CODE, 2012 EDITION W/2015 GEORGIA STATE AMENDMENTS

INTERNATIONAL RESIDENTIAL CODE FOR ONE & TWO-FAMILY DWELLINGS 2012 EDITION W/2014 & 2015 GEORGIA STATE AMENDMENTS, AND IRC APPENDIX F.

SCOPE OF WORK

THE PROJECT CONSISTS OF A REMODEL OF A 2-BEDROOM SINGLE FAMILY RESIDENTIAL BUILDING TO INCLUDE AN ADDITIONAL BEDROOM WITH CLOSET AT THE REAR, AND A COVERED PORCH AT THE FRONT. THE MASTER BEDROOM SHALL BE REMODELED TO INCLUDE A WALK-IN-CLOSET AND A MASTER BATHROOM.

PROJECT INFORMATION

NUMBER OF STORIES: 1

BUILDING HEIGHT: 19'-2 1/2"

HEATED FLOOR AREA: 1300 SQ. FT.

MICHAEL ASUQUO
MIKE'S CAD & MODELING SERVICES LLC
1813 CHASEWOOD PARK DR.
MARIETTA, GA 30066
MIKESCADSERVICES@GMAIL.COM

MIKESCADSERVICES@GMAIL.COM (678) 697-4054

DESIGN:

TOTAL FIRST FLOOR AREA: 1737.50 SQ. FT.

OWNER/CONTRACTOR:

ANTHONY UWECHUE 218 MAPLE ST. HAPEVILLE, GA 30354

	SHEET INDEX
SHEET NUMBER	SHEET NAME

COVER PAGE/INDEX
ARCHITECTURAL SITE PLAN
EXISTING FLOOR/ROOF PLANS
DEMOLITION PLANS
PROPOSED FIRST FLOOR PLAN
PROPOSED ROOF PLAN
EXISTING ELEVATIONS
PROPOSED ELEVATIONS
BUILDING/WALL SECTIONS
DECK DETAILS
GENERAL FRAMING DETAILS

LOCATION MAP:





(678) 697-4054

Project Name:

PROPOSED SINGLE FAMILY RESIDENCE REMODEL DESIGN

Project Address:

218 MAPLE ST. HAPEVILLE, GA 30354

Owner:

ANTHONY UWECHUE

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No.	Description	Date

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Date 21 OCT. 2019

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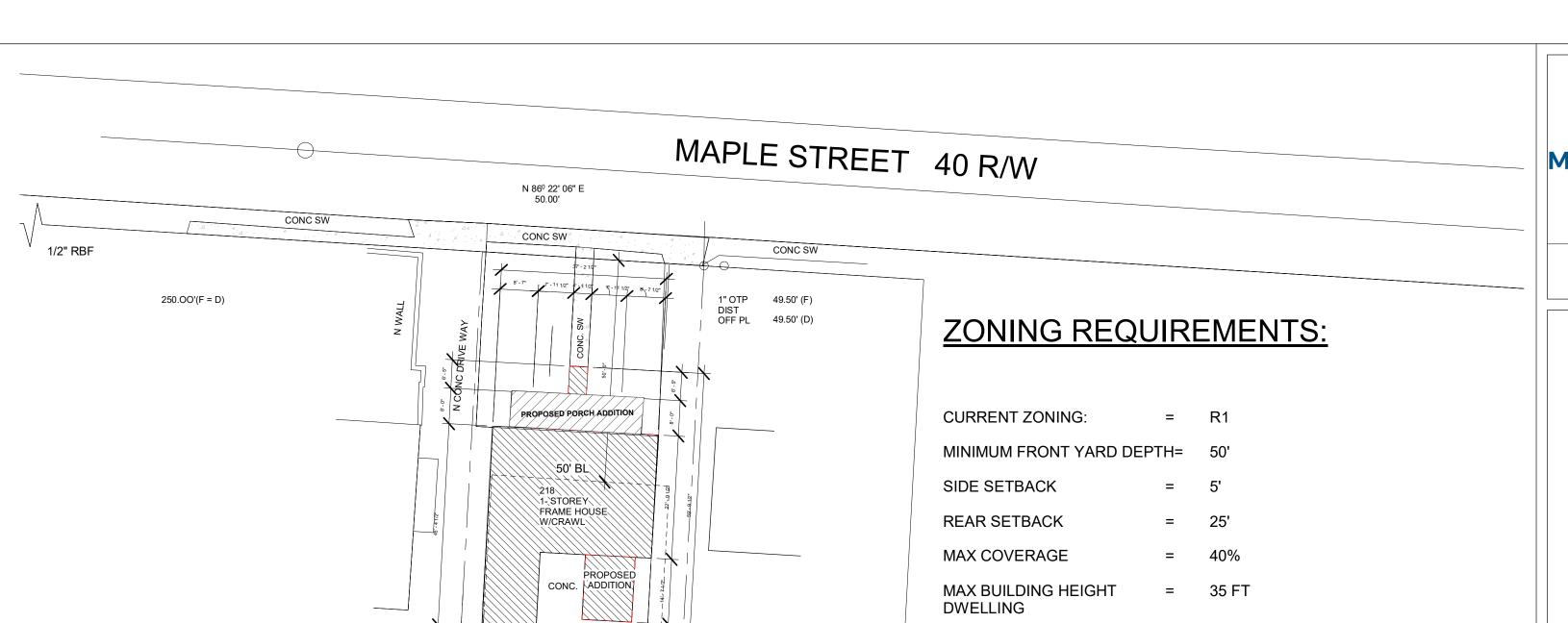
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G100

Scale

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1) ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL APPLICABLE CODES. 2) IT IS THE RESPONSIBILITY OF THE CONSTRACTOR/BUILDER/OWNER TO CHECK FOR ANY ERROR OR OMMISSIONS TO THE PLANS. 3) WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. 4) VERIFY LOCATION OF ALL ELECTRICAL FIXTURES AND OUTLETS. 5) VERIFY ALL BEAM SIZES AND LOCATIONS. 6) VERIFY GIRDER TRUSS LOCATION AND POINT LOADS. 7) VERIFY ALL FOOTING PAD LOCATIONS AND SIZES. 8) IN ORDER TO PRINT TO SCALE, USE ARCH C (18" X 24") PAPER.



N 86º 16' 22" W

AREA CALCULATION:

MAIN BUILDING (FIRST FLOOR AREA): 1593.00 SQ. FT **OPEN PATIO AREA:** 277.50 SQ. FT **COVERED FRONT PORCH:** 160.00 SQ. FT CONCRETE PAVED AREA / DRIVEWAY: 465.00 SQ. FT 2495.50 SQ. FT TOTAL BUILT UP AREA: TOTAL AREA OF PLOT: 7472.46 SQ. FT PERCENTAGE COVERAGE: 33.40%

SITE PLAN NOTES:

- PROVIDE A LISTED NON-REMOVABLE BACK FLOW PREVENTION DEVICE AT ALL HOSE BIBBS OR A LISTED ATMOSPHERIC VACUUM BREAKER PER APPLICABLE CODE.
- REFERENCE THE CIVIL PLANS FOR ALL GRADING, ON-SITE CONSTRUCTION, WHICH MAY REQUIRE BUILDING PERMIT
- ALL EXTERIOR WALLS NOT ATTACHED TO THE PRIMARY STRUCTURE SHALL
- REQUIRE A SEPARATE BUILDING PERMIT.
- SIDEWALKS, DRIVEWAYS AND OTHER FLAT WORK SHALL BE CONSTRUCTED IN
- ACCORDANCE WITH THE SOILS REPORT.
- STRUCTURES SHALL BE LOCATED BY A QUALIFIED SURVEYOR ONLY, AND SHALL FURNISH PAD CERTIFICATION REPORT TO DESIGNER PRIOR TO PLACING OF FOUNDATION.
- PROPERTY LINE DIMENSIONS ARE PREPARED WITH INFORMATION FURNISHED BY THE OWNER AND SHALL NOT BE CONSTRUED TO BE A SURVEY OF THE PROPERTY. FINAL STRUCTURE PLACEMENTS IN RELATION TO THE PROPERTY LINES SHALL BE DESIGNATED ON THE CIVIL DRAWINGS AND SHALL CONFORM TO ALL LOCAL ZONING & BUILDING CODES,
- AMENDMENTS AND/OR APPROVED VARIANCES. BUILDER SHALL LOCATE ALL STRUCTURES AND CERTIFY COMPLIANCE WITH SETBACKS PRIOR TO ANY WORK.



(678) 697-4054

Project Name:

PROPOSED SINGLE FAMILY RESIDENCE REMODEL DESIGN

Project Address:

218 MAPLE ST. HAPEVILLE, GA 30354

Owner:

ANTHONY UWECHUE

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No.	Description	Date

ARCHITECTURAL SITE PLAN

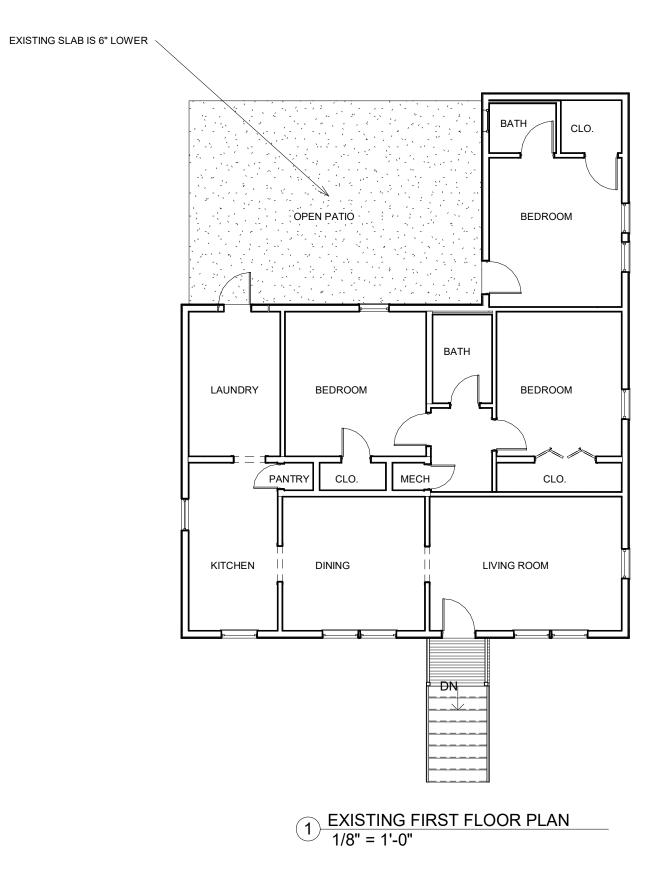
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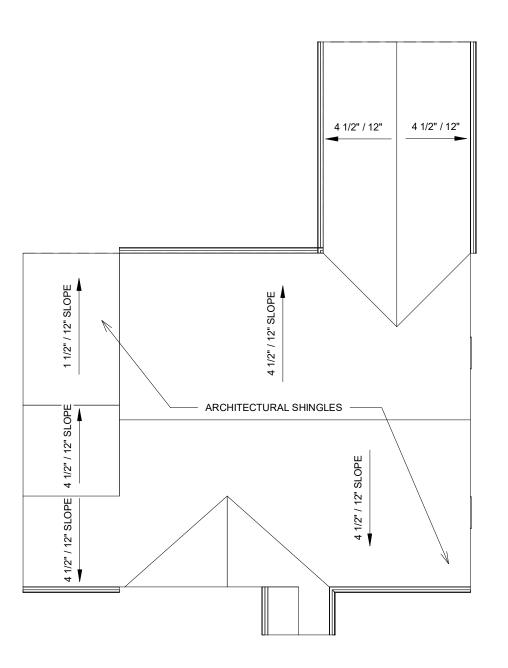
Project number 019-09-02 21 OCT. 2019 MEA

Checked by **AS101**

1" = 20'-0"

Checker





2 EXISTING ROOF PLAN
1/8" = 1'-0"



(678) 697-4054

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EXISTING FLOOR/ROOF PLANS

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A101

Scale 1/8" = 1'-0"

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DEMOLITION PLANS

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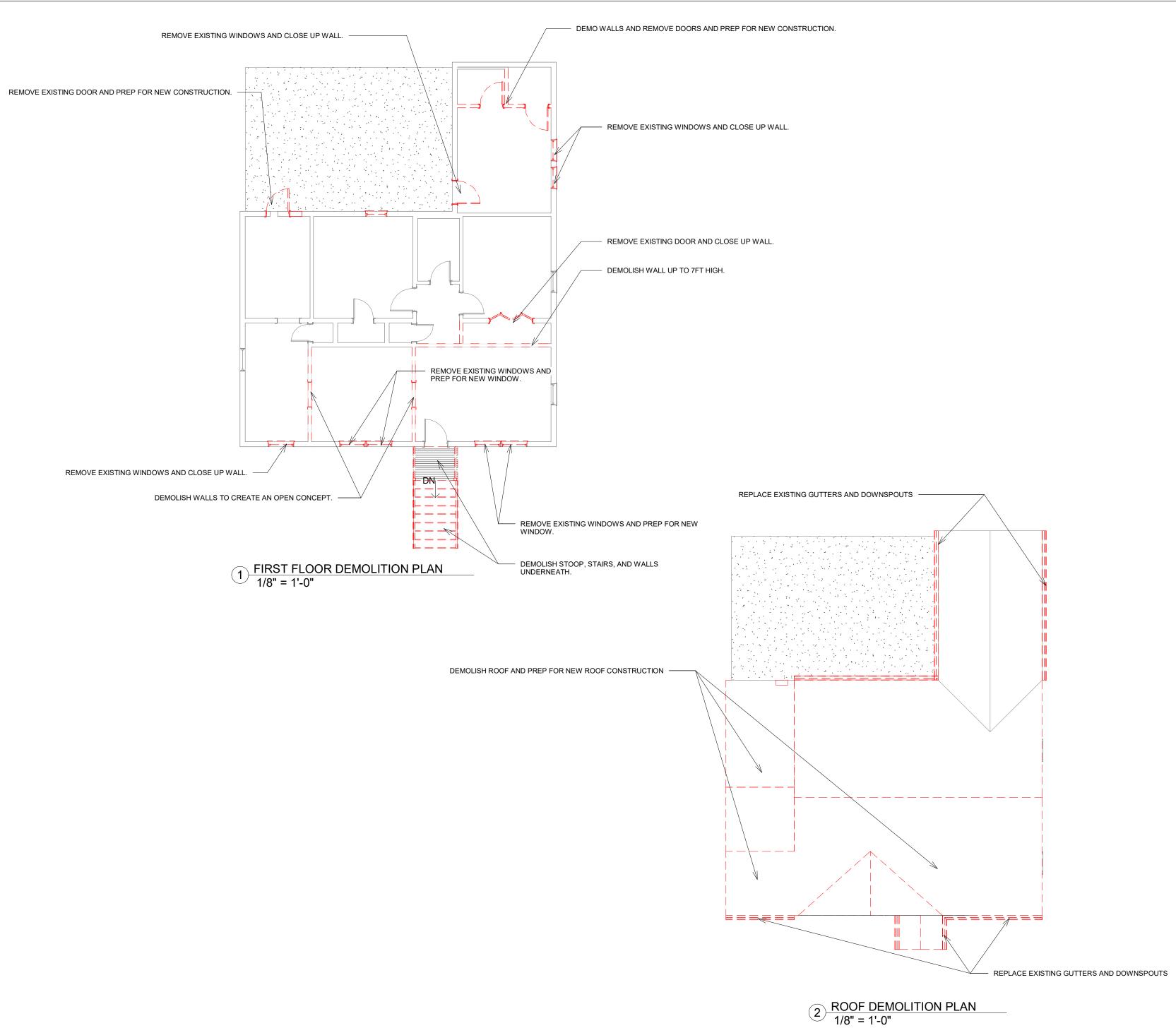
Date 21 OCT. 2019

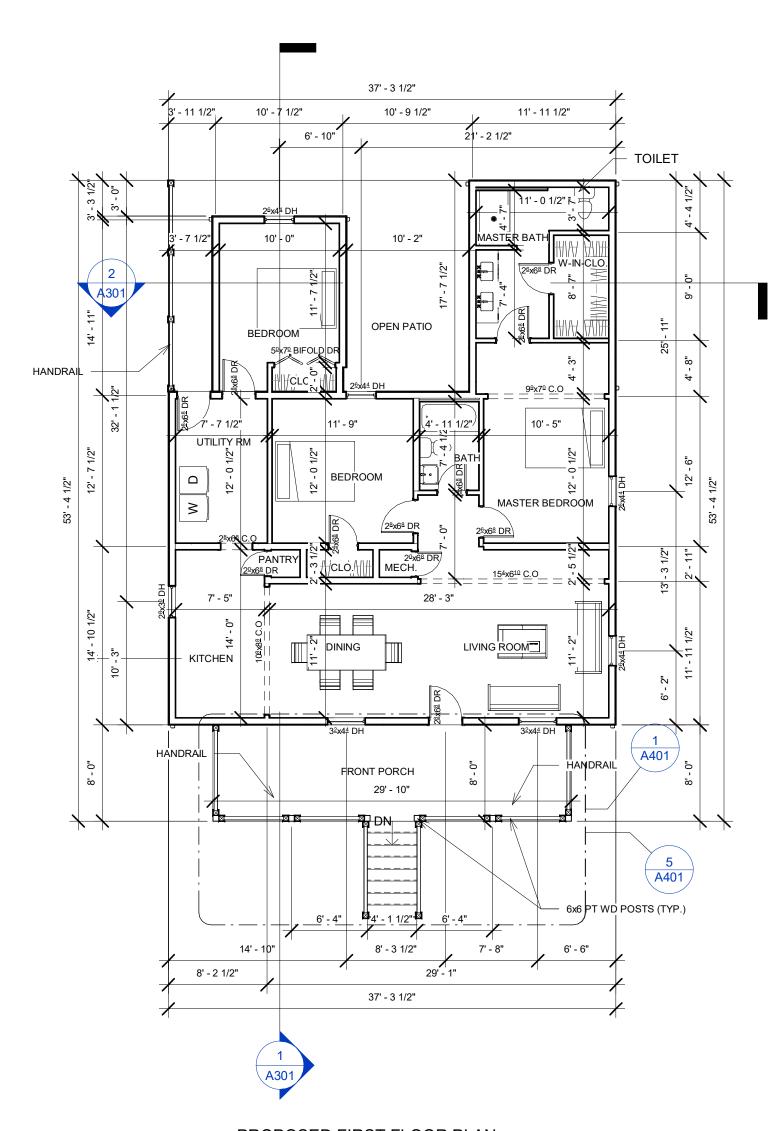
Drawn by MEA

Checked by Checker

A102

Scale 1/8" = 1'-0"





PROPOSED FIRST FLOOR PLAN
1/8" = 1'-0"

HEATED SQUARE FOOTAGE

FIRST FLOOR TOTAL HEATED AREA: 1300 SQ.FT

OTHER SQUARE FOOTAGE

277.50 SQ. FT. OPEN PATIO (REAR): FRONT PORCH: 160 SQ. FT. TOTAL: 437.50 SQ. FT.

TOTAL SQUARE FOOTAGE: 1737.50 SQ. FT.

DOOR NOTES

ALL INTERIOR EGRESS DOORS ARE TO BE A MINIMUM OF 2'-8" WIDE AND 6'-8" HIGH ALL EXTERIOR EGRESS DOORS ARE TO BE A MINIMUM OF 3'-0" WIDE AND 6'-8" HIGH

ALL EXTERIOR WINDOWS MUST MEET EMERGENCY ESCAPE AND RESCUE OPENING REQUIREMENTS AND MUST HAVE A MINIMUM OPENING SIZE OF 24" HIGH AND 20" WIDE ANY WINDOW OR SIDELIGHT WITHIN 24" HORIZONTALLY OF A DOOR MUST BE TEMPERED. ANY WINDOW OR SASH THAT IS 9 SQ. FT. OR MORE AND IS 18" OR LESS FROM A FLOOR

ANY WINDOW WITHIN A TUB OR SHOWER AREA THAT IS LESS THAN 60" FROM THE FLOOR OF THE TUB MUST BE TEMPERED. ANY WINDOW ON A STAIRCASE LANDING OR WITHIN 60" OF A STAIRCASE TREAD MUST

REPLACEMENT WINDOWS MUST COMPLY WITH THE ENERGY CONSERVATION REQUIREMENTS FOR FENESTRATION IN NEW CONSTRUCTION.

STAIR AND RAILING NOTES

ALL STRAIGHT RUN STAIRS ARE TO HAVE TREADS W/ A MINIMUM WIDTH OF 9" W/ 1 1/8" NOSINGS AND RISERS W/ A MAXIMUM HEIGHT OF 8 1/4" ALL STAIR, LANDING, AND BALCONY RAILINGS ARE TO BE 36" HIGH ABOVE NOSINGS, LANDINGS, OR FLOORS FREE STANDING RAILINGS ARE TO HAVE BALUSTER AT 4" OC MAX ALL STAIRS ARE TO HAVE A MINIMUM OF 6'-8" CLEAR HEIGHT ABOVE STAIR NOSINGS

GENERAL NOTES:

- REFER TO FIRST FLOOR FRAMING PLAN TO DETERMINE WHICH WALLS ARE LOAD BEARING, JOIST LAYOUT AND WHERE BEAMS ARE TO BE LOCATED.
- THESE DRAWINGS ALONG WITH THE SPECIFICATIONS AND ADDENDA REPRESENT A PORTION
- OF THE AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THAT THE CONTRACT INCLUDING
- DRAWINGS, SPECIFICATIONS, AND ADDENDA ARE CORRECT PRIOR TO COMMENCING WORK ON SITE. DO NOT SCALE OFF DRAWINGS IF NOT PRINTED TO SCALE, USE DIMENSIONS ONLY, IF IN QUESTION
- CALL MIKE'S CAD & MODELING DESIGN LLC.
- CONTRACTOR SHALL PROVIDE A FLOOR DRAIN IN ANY UTILITY ROOM AND MECHANICAL ROOM, REGARDLESS OF WHETHER INDICATED ON THE DRAWINGS.
- ALL CASE OPENINGS TO BE FRAMED FOR MAXIMUM HEIGHT.
- ALL FLOOR AREA AT MAIN AND SUPPLY LEVELS TO BE 2" LOWER THAN ALL FLOOR LEVELS.
- ALL EXTERIOR DOORS WITH GLAZING TO BE TEMPERED.
- ALL WET AREAS TO HAVE TEMPERED GLASS.
- CHECK ELECTRICAL PLAN FOR LOCATION OF SMOKE DETECTORS.
- ALL CONSTRUCTION TO MEET OR EXCEED ALL LOCAL, STATE, & NATIONAL BUILDING CODES.
- ${\tt ALL\ NEW\ CONSTRUCTION\ (WALLS,\ PORCH,\ POSTS)\ SHALL\ BE\ PAINTED\ OR\ STAINED.}$



(678) 697-4054

Project Name:

PROPOSED SINGLE FAMILY RESIDENCE REMODEL DESIGN

Project Address:

218 MAPLE ST. HAPEVILLE, GA 30354

Owner:

ANTHONY UWECHUE

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No.	Description	Date

PROPOSED FIRST FLOOR PLAN

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019-09-02 Project number 21 OCT. 2019 MEA Drawn by Checker Checked by

A103

1/8" = 1'-0" Scale

K-STYLE 3" AMERIMAX GALVANIZED DOWNSPOUTS (TYP.) LOCATED MIN 20 LIN. FT. —

1 PROPOSED ROOF PLAN 1/8" = 1'-0"



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No.	Description	Date	

PROPOSED ROOF PLAN

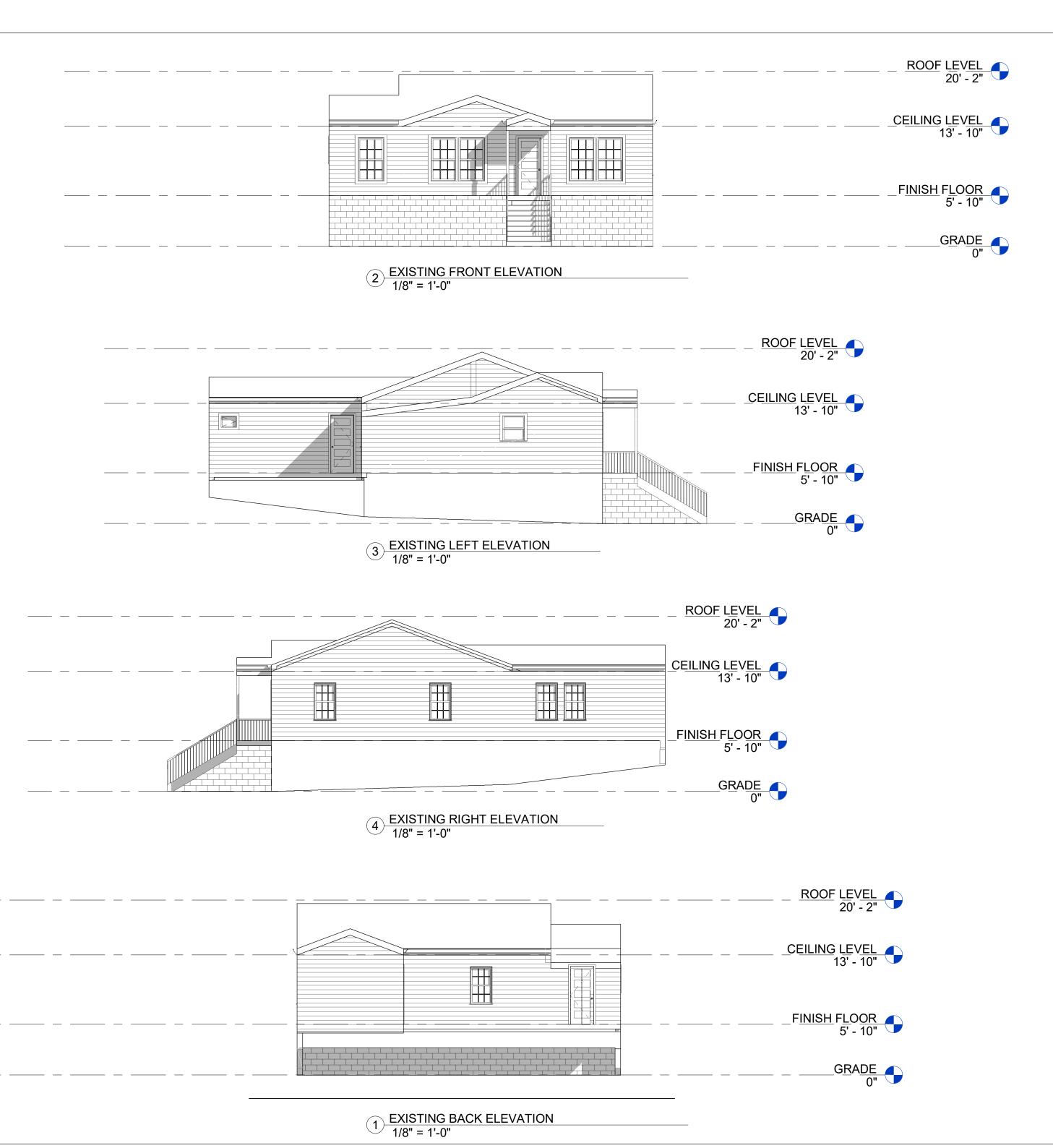
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A104

Checked by

1/8" = 1'-0" Scale





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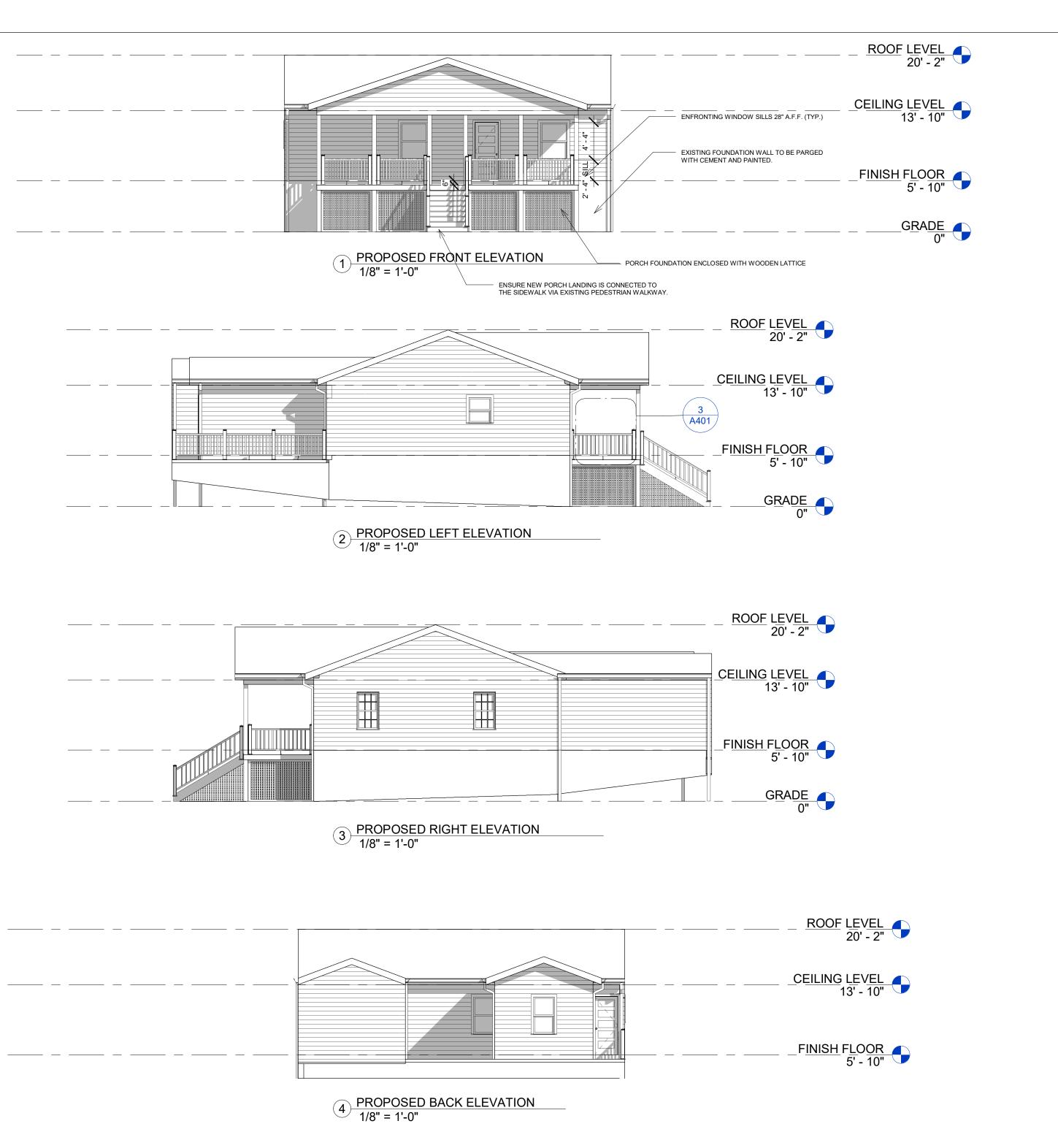
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 MEA

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A201

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PROPOSED ELEVATIONS

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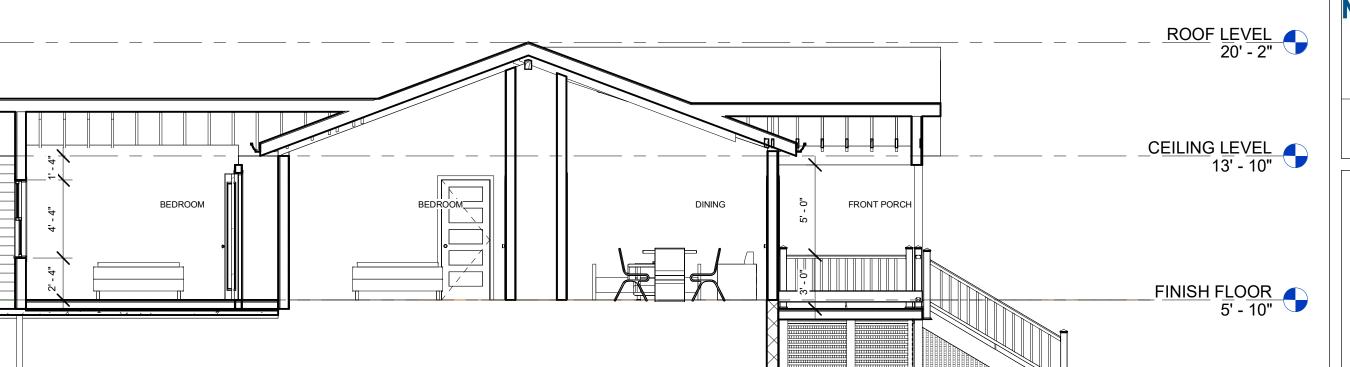
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A202

Scale 1/8" = 1'-0"





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Project Address:

218 MAPLE ST. HAPEVILLE, GA 30354

GRADE 0"

Owner:

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No.	Description	Date

BUILDING/WALL SECTIONS

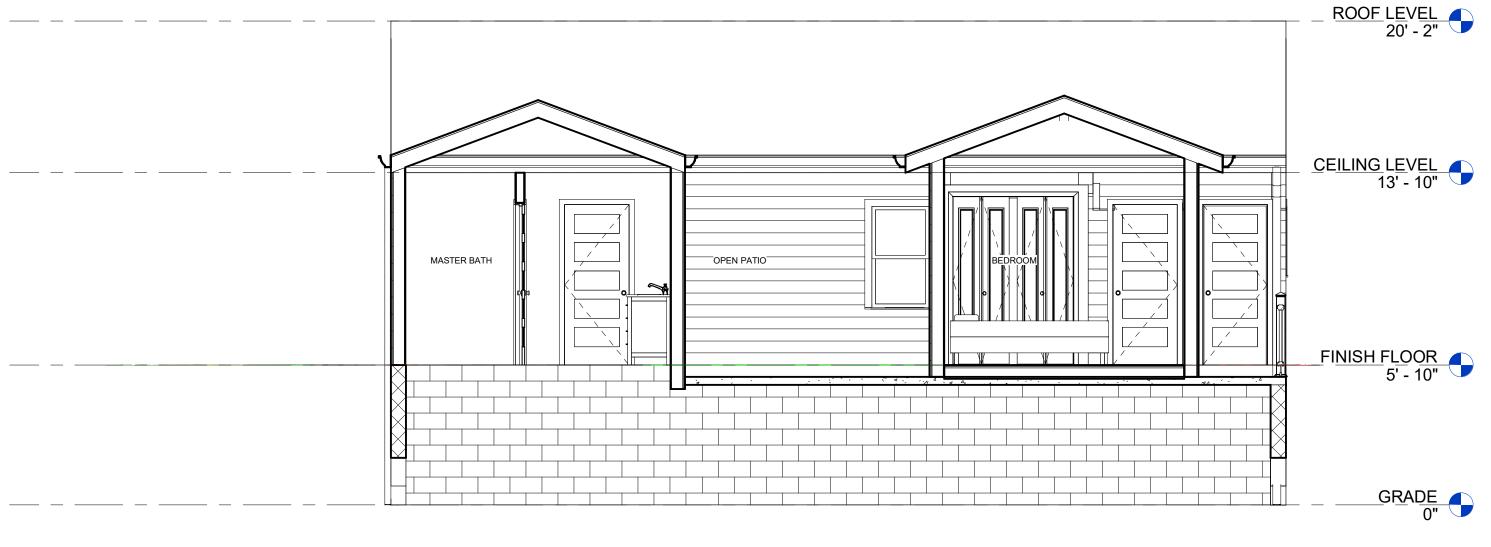
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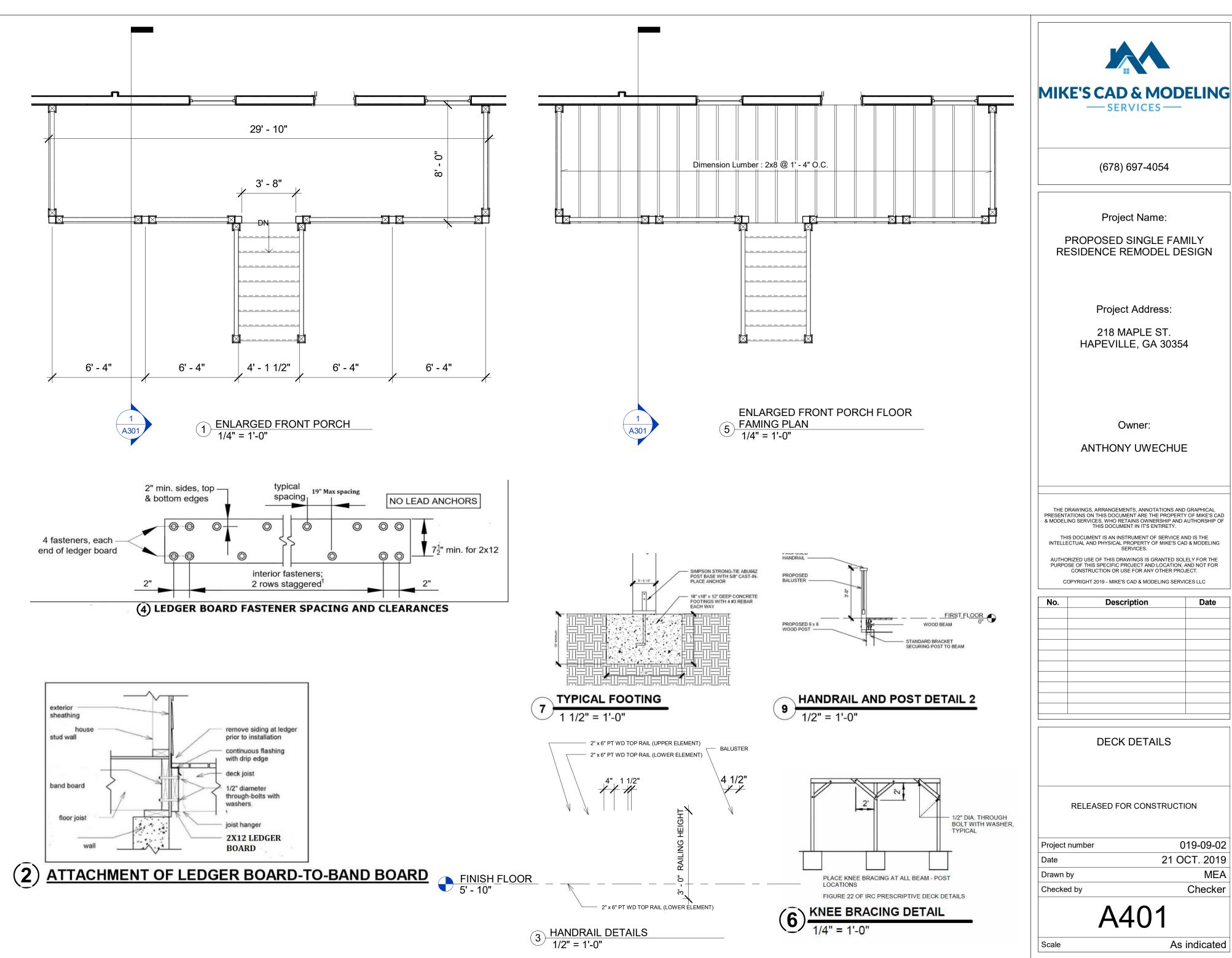
A301

Scale As indicate

1 SECTION 1 3/16" = 1'-0"



2 SECTION 2 1/4" = 1'-0"



Date

MEA

